

PRELIMINARY & FINAL SITE PLAN COMMERCIAL BUILDING

BLOCK 3905, LOTS 12, 13, 14 246-264 SOUTH BROAD STREET VILLAGE OF RIDGEWOOD COUNTY OF BERGEN, NEW JERSEY

PROPERTY OWNERS WITHIN 200'

VILLAGE OF RIDGEWOOD (Per Tax Assessor dated 5-31-22)

Block-Lot: 2209-16
LEE, VERONICA J
7 LENOX AVE
RIDGEWOOD, NJ 07450

Block-Lot: 3905-40.01
GROSMALEDWIN MICHAEL
32 KOSSUTH PL
WAYNE, NJ 07470

Block-Lot: 3905-11
KIM, GEMMA
306 S PLEASANT AVE
RIDGEWOOD, NJ 07450

Block-Lot: 3906-3.01
KIM, SUNG J & YOUNG SOOK
48 LEONARD PL
RIDGEWOOD, N.J. 07450

Block-Lot: 3908-1
PETTINEO, SCOTT & LISA
PO BOX 849
RAMSEY, NJ 07446

Block-Lot: 3906-11
KLEINNECHT, MARGARITA
217 HIGHWOOD AVE
RIDGEWOOD, NJ 07450

Block-Lot: 3909-3.02
YOUNG, GERALD & MARY ANN
46 LEONARD PL
RIDGEWOOD, NJ 07450

Block-Lot: 3902-2
MOLLO, LOUISA C & TONI
32 BRAINARD PL
RIDGEWOOD, NJ 07450

Block-Lot: 3908-10
HALWAGY, GEORGE & CLAUDETTE
316 W GLEN AVE
RIDGEWOOD, NJ 07450

Block-Lot: 3908-2
RELIGIOUS SOCIETY OF FRIENDS
C/O KEIL 234 HIGHWOOD AV
RIDGEWOOD, NJ 07450

Block-Lot: 3908-1
METROPOLITAN A.M.E. ZION CHURCH
299 SOUTH BROAD ST
RIDGEWOOD, NJ 07450

Block-Lot: 3902-6
HILLMAN, FRANK & ROSEMARY
233 S BROAD ST
RIDGEWOOD, NJ 07450

Block-Lot: 2209-14
BERRY, HELEN J
419 SMITH PL
RIDGEWOOD NJ 07450

Block-Lot: 3905-11
WEST BERGEN SPECIALIZED HOUSING INC
120 CHESTNUT ST
RIDGEWOOD, NJ 07450

Block-Lot: 3905-18
GROSMAN, EDWIN & DARIA
32 KOSSUTH PL
WAYNE, NJ 07470

Block-Lot: 3902-4
ASTARITA, ROBERT & BONNIE
202 WOODSIDE AVE
RIDGEWOOD, NJ 07450

Block-Lot: 3906-2
PISTERLA, CAROLINA & WILLET, JACOB
42 LEONARD PL
RIDGEWOOD, NJ 07450

Block-Lot: 3908-3
WOODSIDE GARDENS CONDO ASSN
46-50 LEONARD PL
RIDGEWOOD, NJ 07450

Block-Lot: 3902-6
PEAY, JOHANN R.
295 FERRIS PLACE
RIDGEWOOD, NJ 07450

Block-Lot: 3908-10
WANG, VICTOR & GONG LAURIE
4 CANDLEWOOD DRIVE
OLD TRAPPAN, NJ 07875

Block-Lot: 3902-8
THOMAS, DONALD R. & BARBARA
229 S. BROAD ST
RIDGEWOOD, NJ 07450

Block-Lot: 3902-6
HIGGINS, TERENCE & DEBORAH
24 ELIZABETH ST.
GLEN ROCK, NJ 07462

Block-Lot: 3905-4.01
BND RDO HSG CORP % D MAHAN-WILLIAMS
PO BOX 81
RIDGEWOOD, NJ 07451

Block-Lot: 2306-10
ASIMAKOPOULOS PRTNRSHIP% NICHOLAS
774 ALBEMARLE ST
WYCKOFF, NJ 07481

Block-Lot: 3902-6
PEAY, JOHANN R.
295 FERRIS PLACE
RIDGEWOOD, NJ 07450

Block-Lot: 3902-3
MOCCIO, LOUIS
56 MEADOWBROOK RD
RAMSEY, NJ 07446

Block-Lot: 2905-6
200 SOUTH BROAD ST LLC %A KORRIS
200 S BROAD ST
RIDGEWOOD NJ 07450

Block-Lot: 2306-11
ZEGARRA, DIANA
7 RICHMOND AVE
RIDGEWOOD NJ 07450

Block-Lot: 3905-15
STAFFORD, MATTHEW
85 ARLINGTON AVE
HAWTHORNE, NJ 07856

Block-Lot: 3902-1
THAYER, HENRY & FAITH
208 S BROAD ST
RIDGEWOOD, NJ 07450

Block-Lot: 3905-7
GALARZA, PATRICIA & VICTOR
311 SARHILL LN
WYCKOFF, NJ 07461

Block-Lot: 3905-17
GALARZA, PATRICIA & VICTOR
290 S BROAD ST 1ST FL
RIDGEWOOD, NJ 07450

Block-Lot: 3902-10
LYNCH, BRENDAN C & LITTLEJOHN, SEAN M
223 S BROAD ST
RIDGEWOOD, NJ 07450

UTILITIES & OTHER AGENCIES

ELECTRIC & GAS
PUBLIC SERVICE ELECTRIC & GAS COMPANY
80 PARK PLAZA, T6B
NEWARK, NJ 07102

WATER
RIDGEWOOD WATER DEPARTMENT
DIRECTORS OFFICE
131 NORTH MAPLE AVENUE
RIDGEWOOD, NJ 07451

SEWER
ENGINEERING DIVISION
COLLECTION SYSTEM OPERATIONS
131 NORTH MAPLE AVENUE
RIDGEWOOD, NJ 07451

CABLE TV
CABLEVISION
40 POTASH ROAD
OAKLAND, NJ 07436

TELEPHONE
VERIZON NJ INC
MARK BOCHIERI DIRECTOR-EXTERNAL AFFAIRS
25 MAIN STREET
HACKENSACK, NJ 07601

RAILROAD
STATE OF NJ DOT
MARKET STREET & MCCARTER HIGHWAY
NEWARK, NJ 07101



500' RADIUS MAP

SCALE: 1"=200'

DRAWING LIST	
C1.1	COVER SHEET
C2.1	DEMOLITION & EROSION CONTROL PLAN
C2.2	SITE PLAN
C2.3	GRADING, UTILITY & EROSION CONTROL PLAN
C2.4	LANDSCAPE & LIGHTING PLAN
C2.5	LIGHTING INTENSITIES PLAN
C2.6	VEHICLE CIRCULATION PLANS
C3.1	SITE DETAILS
C3.2	UTILITY DETAILS
C3.3	DRAINAGE DETAILS
C3.4	LANDSCAPE DETAILS

ZONING NOTES

- OWNER/APPLICANT: LES DANN LLC
76 MOUNTAINVIEW BLVD
WAYNE, NJ 07470
- LOCATION: 246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
COUNTY OF BERGEN, NEW JERSEY
BLOCK 3905, LOTS 12,13,14
TAX MAP SHEET #99
- ZONE: R-3 TWO-FAMILY RESIDENCE DISTRICT (ADJACENT TO AH-1)
- USE: EXISTING - COMMERCIAL (E), ONE FAMILY DWELLING (PERMITTED)
PROPOSED - COMMERCIAL (V)

5. BULK REQUIREMENTS (ARTICLE X § 190-106):

	REQUIRED	EXISTING L.12	EXISTING L.13	EXISTING L.14	PROPOSED
§ 190-106(E)(1)	MAX. BLDG HEIGHT (FT):	30	26	30	31.2(V)
§ 190-106(E)(2)	MIN. FRONT YARD (FT):	40	20.2(E)	23.3(E)	28.8(V)
§ 190-106(E)(3)	MIN. SIDE YARD (FT):	10	2.8(E)	8.8(E)	10
§ 190-106(E)(4)	MIN. BOTH SIDE YARD* (%):	33	12.28(E)	42.68	41.1
	MIN. REAR YARD				
§ 190-106(E)(5)	MIN. REAR YARD (FT):	30	131.6	219.6	5.2(E)
§ 190-119(A)(3)	MIN. REAR YARD ABUTTING RAILROAD (FT):	45	131.6	219.6	5.2(E)
§ 190-106(E)(6)	MIN. LOT AREA (SF):	8,400	23,919	16,634	73,810
	MIN. LOT WIDTH				
§ 190-106(E)(7)	Ø MIN. FRONT YARD SETBACK (FT):	60	108.4	60.2	88.9
§ 190-106(E)(7)	WITHIN 140 FT OF FRONT LOT LINE (FT):	50	88.2	55.3	251.95
§ 190-106(E)(8)	MIN. AVERAGE LOT WIDTH** (SF):	60	102.81	60.03	260.84
§ 190-106(E)(9)	MIN. LOT DEPTH (FT):	120	299.15	299.15	277.89
	MAX. COVERAGE BY ABOVE GRADE STRUCTURES				
§ 190-106(E)(10)	TOTAL (%):	25	24.08	9.43	32.8(V)
§ 190-106(E)(11)	WITHIN 140 FT OF FRONT LOT LINE (%):	25	39.58 (E)	10.79	33.9(V)
§ 190-106(E)(12)	MAX. GROSS BUILDING AREA (14,000-19,249 SF)				
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	29/4,620	N/A	10/1,667	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	29/4,620	N/A	19.7/1,667	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY: LESSER OF (%/SF):	6/962	N/A	3.6/599	N/A
§ 190-106(E)(12)	MAX. GROSS BUILDING AREA (19,250-24,999 SF)				
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	24/5,000	24.05/5,752(E)	N/A	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	24/5,000	39.58/5,728(E)	N/A	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	5/1,000	N/A	N/A	N/A
§ 190-106(E)(12)	MAX. GROSS BUILDING AREA (25,000 SF AND OVER)				
§ 190-106(E)(12)	PRINCIPAL BUILDING (%):	20	N/A	N/A	5.45
§ 190-106(E)(13)	WITHIN 140 FT OF FR LOT LINE (%):	20	N/A	N/A	4.36
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	4	N/A	N/A	9.18(E)
§ 190-119(H)(1)	MAX. IMPROVEMENT COVERAGE (14,000-24,999 SF)				
§ 190-119(H)(2)	TOTAL (% MAX.(FT))	40/8,750	100/23,919(E)	76.01/12,643 (E)	N/A
§ 190-119(H)(2)	WITHIN 140FT OF FR LOT LINE(% MAX.(FT)):	40/8,750	100/14,470(E)	30.18/5,019	N/A
§ 190-119(H)(1)	MAX. IMPROVEMENT COVERAGE (25,000 SF AND OVER)				
§ 190-119(H)(1)	TOTAL (%):	35	N/A	N/A	94/31,291(E)
§ 190-119(H)(2)	WITHIN 140FT OF FRONT LOT LINE(%):	35	N/A	N/A	85.7/11,757 (E)
	RETAINING WALLS				
§ 190-124(F)(3)	MAX. HEIGHT (FT)	6	3.9	2.2	3
§ 190-124(F)(2b)	MIN. REAR YARD SETBACK (FT)***	5	>50	>50	0(E)
	FENCES				
§ 190-119(F)(3a)	MAX. HEIGHT REAR YARD (FT)	6	N/A	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT SIDE YARD (FT)	6	5	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT FRONT YARD (FT)	4	6 (E)	N/A	N/A
	EXTERIOR EQUIPMENT				
§ 190-124(M)(2)	MIN. FRONT YARD SETBACK (FT)	40	>40	N/A	>40
§ 190-124(M)(3)	MIN. SETBACK FROM RESIDENTIAL PROPERTY (FT)	10	0 (E)	N/A	>10

6. SIGNS (§ 190-122. E) (R-3 ZONE NOT PERMITTED, ZONE C BULK SCHEDULE BELOW)

	REQUIRED	PROPOSED
MAX. # OF FREESTANDING SIGNS	1	1
MAX. # OF AFFIXED SIGNS PER BUILDING	1	0
MAX. AREA (SF)	12	12
MIN. SETBACK (FT)	5	6
MAX. HEIGHT (FT)	10	4.2

7. OFF-STREET PARKING (ZONE C, AUTOMOTIVE REPAIR PERMITTED) (ARTICLE X § 190-121)

	REQUIRED	PROPOSED
1 SPACE PER 250 SF GROSS FLOOR AREA		
= 32,314 / 250 = 129.3	130	91(V) (88+3 EVSE CREDIT)
PARKING SPACE SIZE		
NO CURB OVERHANG (FTxFT)	9x20	9x18(V)
WITH 2 FT OVERHANG (FTxFT)	9x18	9x18

* REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

NON-RESIDENTIAL	REQUIRED	PROVIDED
MIN. (EVSE)(78 - 100 SPACES PROVIDED):	3	3

*LOT WIDTH Ø MIN. FRONT YARD SETBACK
**CALCULATED SO THAT AT LEAST 8,400 SF OF LOT AREA BE PROVIDED WITHIN 140 FT OF FRONT LOT LINE
***A HORIZONTAL DISTANCE NOT LESS THAN ONE FOOT FOR EACH FOOT OF HEIGHT OF THE RETAINING WALL
****NOT APPLICABLE TO COMMERCIAL. SHOWN FOR COMPARISON
*****6 FT FENCE ON 5 FT WALL

NC = NO CHANGE
(V) = VARIANCE
(E) = EXISTING NON-CONFORMITY
N/A = NOT APPLICABLE

APPROVED BY THE VILLAGE OF RIDGEWOOD
BOARD OF ADJUSTMENT

CHAIRMAN	DATE
SECRETARY	DATE
BOROUGH ENGINEER	DATE

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GLEN ROCK, NJ 07452
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F 201.670.9788
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PROFESSIONAL ENGINEER
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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

REVISION

NO.	DATE	REVISION
3	5-18-23	REVISE ZONING NOTES
2	2-11-23	REVISE BULK REQUIREMENTS AND DRAWING LIST
1	10-20-22	ADD EVSE AND SIGN SCHEDULE

COVER SHEET

DRAWING TITLE
PROJECT
**MOUNTAIN VIEW
AUTO BODY**

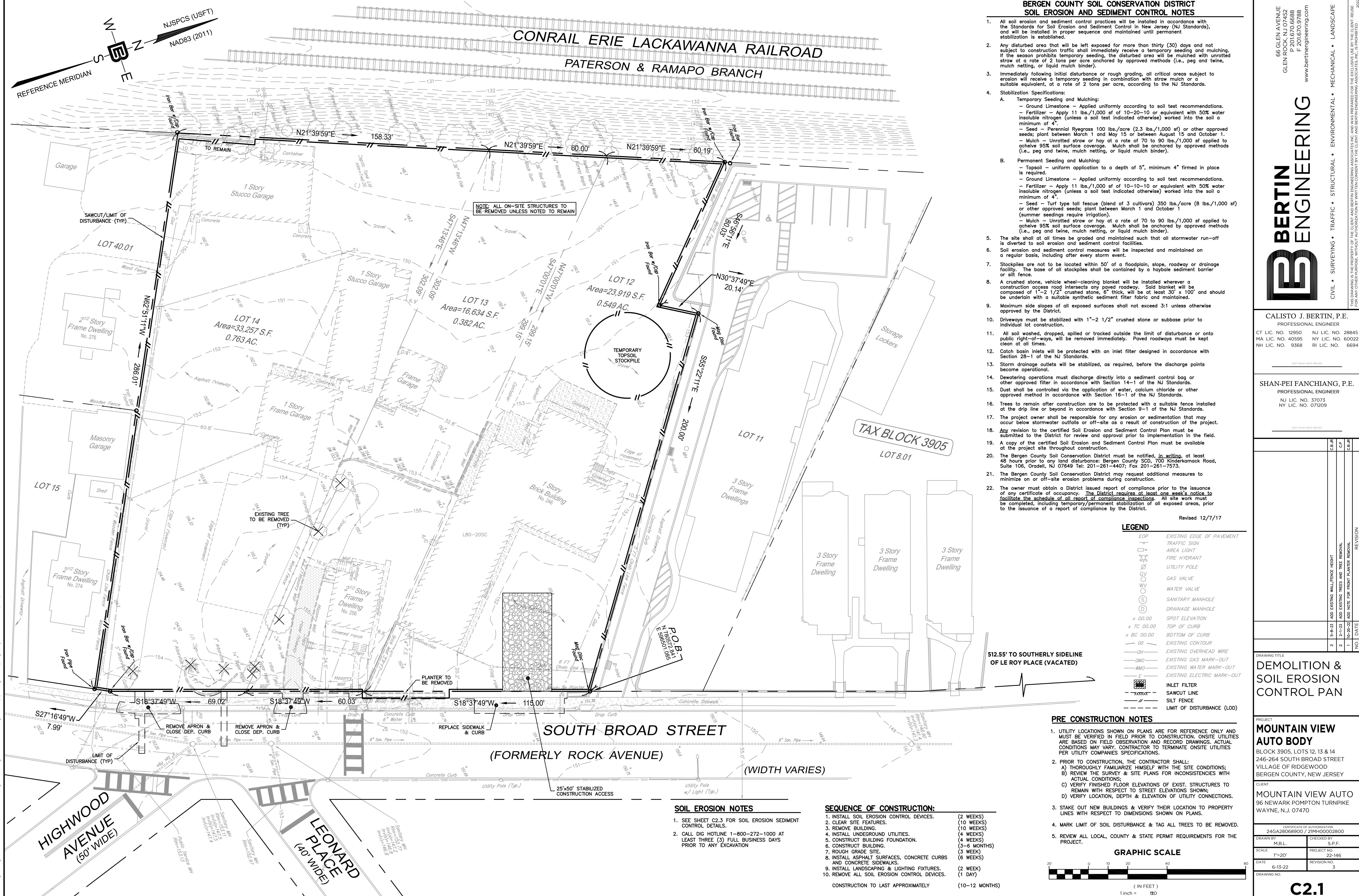
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY	CHECKED BY
M.B.L.	S.P.F.
SCALE	PROJECT NO.
AS SHOWN	22-146
DATE	REVISION NO.
6-13-22	3

DRAWING NO.
C1.1



**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unrotted straw at a rate of 2 tons per acre anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:
 - Temporary Seeding and Mulching:
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 11 lbs./1,000 sf of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
 - Seed - Perennial Ryegrass 100 lbs./acre (2.3 lbs./1,000 sf) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
 - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
 - Permanent Seeding and Mulching:
 - Topsoil - uniform application to a depth of 5", minimum 4" firmed in place is required.
 - Ground Limestone - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 11 lbs./1,000 sf of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
 - Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (8 lbs./1,000 sf) or other approved seeds; plant between March 1 and October 1 (summer seedings require irrigation).
 - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater run-off is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1"-2 1/2" crushed stone, 6" thick will be anchored by approved methods and underlain with a suitable synthetic filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1"-2 1/2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the schedule of all compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

Revised 12/7/17

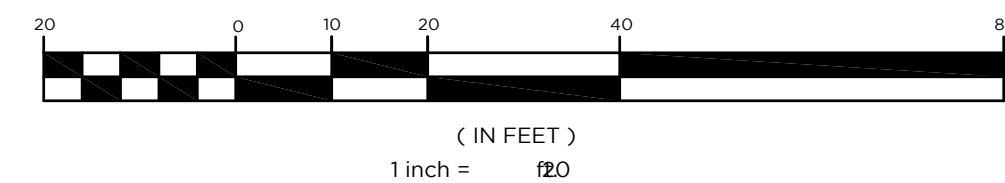
LEGEND

- EOP EXISTING EDGE OF PAVEMENT
- TRAFFIC SIGN
- AREA LIGHT
- FIRE HYDRANT
- UTILITY POLE
- GAS VALVE
- WATER VALVE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- EXISTING CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING GAS MARK-OUT
- EXISTING WATER MARK-OUT
- EXISTING ELECTRIC MARK-OUT
- INLET FILTER
- SAWCUT LINE
- SILT FENCE
- LIMIT OF DISTURBANCE (LOD)

PRE CONSTRUCTION NOTES

- UTILITY LOCATIONS SHOWN ON PLANS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. ONSITE UTILITIES ARE BASED ON FIELD OBSERVATION AND RECORD DRAWINGS. ACTUAL CONDITIONS MAY VARY. CONTRACTOR TO TERMINATE ONSITE UTILITIES PER UTILITY COMPANIES SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL:
 - THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS;
 - REVIEW THE SURVEY & SITE PLANS FOR INCONSISTENCIES WITH ACTUAL CONDITIONS;
 - VERIFY FINISHED FLOOR ELEVATIONS OF EXIST. STRUCTURES TO REMAIN WITH RESPECT TO STREET ELEVATIONS SHOWN;
 - VERIFY LOCATION, DEPTH & ELEVATION OF UTILITY CONNECTIONS.
- STAKE OUT NEW BUILDINGS & VERIFY THEIR LOCATION TO PROPERTY LINES WITH RESPECT TO DIMENSIONS SHOWN ON PLANS.
- MARK LIMIT OF SOIL DISTURBANCE & TAG ALL TREES TO BE REMOVED.
- REVIEW ALL LOCAL, COUNTY & STATE PERMIT REQUIREMENTS FOR THE PROJECT.

GRAPHIC SCALE



SOIL EROSION NOTES

- SEE SHEET C2.3 FOR SOIL EROSION SEDIMENT CONTROL DETAILS.
- CALL DIG HOTLINE 1-800-272-1000 AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO ANY EXCAVATION

SEQUENCE OF CONSTRUCTION:

- INSTALL SOIL EROSION CONTROL DEVICES. (2 WEEKS)
- CLEAR SITE FEATURES. (10 WEEKS)
- REMOVE BUILDING. (10 WEEKS)
- INSTALL UNDERGROUND UTILITIES. (4 WEEKS)
- CONSTRUCT BUILDING FOUNDATION. (3-6 MONTHS)
- CONSTRUCT BUILDING. (3 WEEKS)
- ROUGH GRADE SITE. (6 WEEKS)
- INSTALL ASPHALT SURFACES, CONCRETE CURBS AND CONCRETE SIDEWALKS. (2 WEEK)
- INSTALL LANDSCAPING & LIGHTING FIXTURES. (1 DAY)
- REMOVE ALL SOIL EROSION CONTROL DEVICES. (10-12 MONTHS)

NOTE: ALL ON-SITE STRUCTURES TO BE REMOVED UNLESS NOTED TO REMAIN

512.55' TO SOUTHERLY SIDELINE OF LE ROY PLACE (VACATED)

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NY LIC. NO. 071209

NO.	DATE	ADD NOTE FOR FRONT PLANTER REMOVAL	ADD EXISTING WALL/FENCE HEIGHT	C.B.R.	C.P.	REVISION
3	5-8-23					
2	2-11-23					
1	10-20-22					

DRAWING TITLE
DEMOLITION & SOIL EROSION CONTROL PLAN

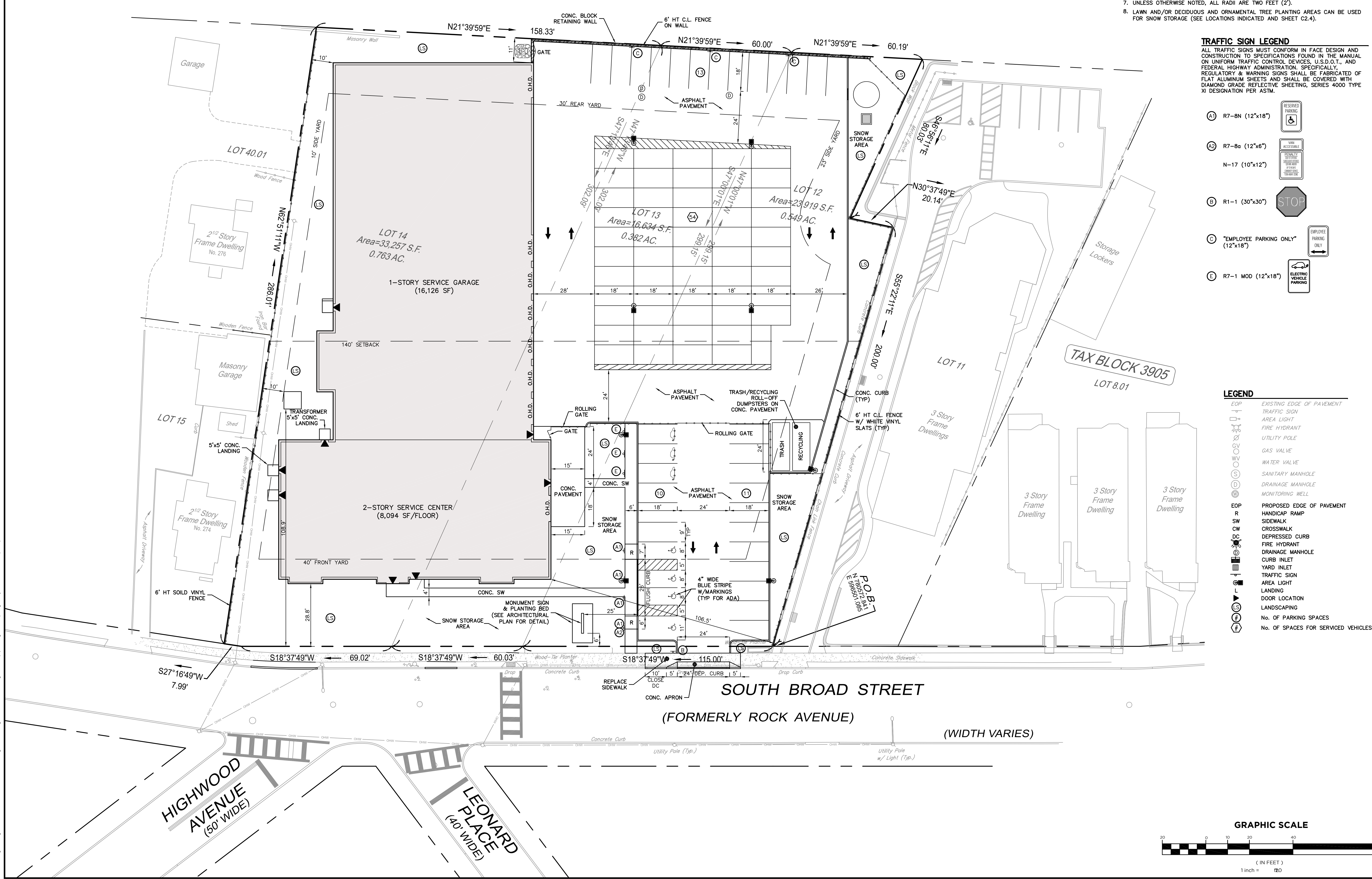
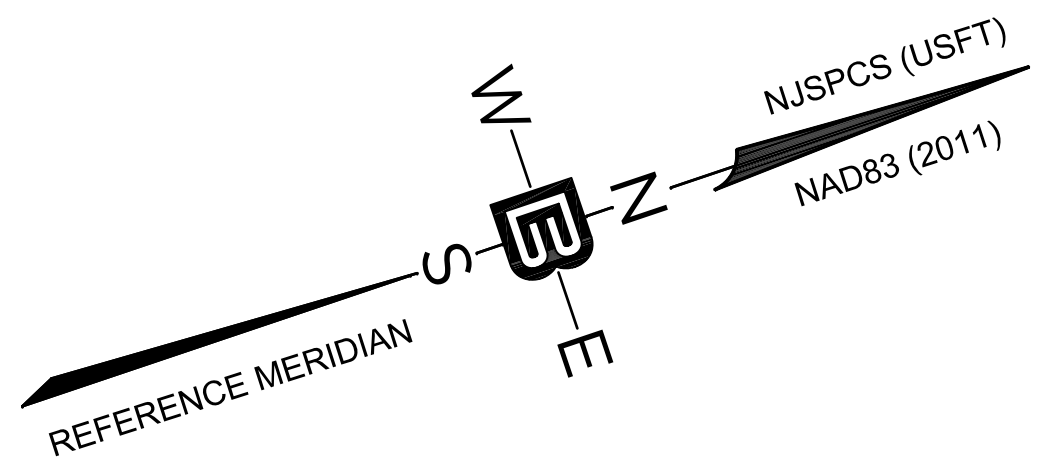
PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH0002800
DRAWN BY: M.B.L. CHECKED BY: S.P.F.
SCALE: 1"=20' PROJECT NO: 22-146
DATE: 6-13-22 REVISION NO: 3
DRAWING NO:

C2.1

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- GENERAL NOTES**
1. SITE PLAN BASED ON: "LOCATION AND TOPOGRAPHIC SURVEY OF 246-264 SOUTH BROAD STREET, LOT 12, LOT 13 AND LOT 14 IN BLOCK 3905, VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, N.J.", PREPARED BY BERTIN ENGINEERING, MILOSLAV REHAK, N.J.PLS NO. 43233, FILE NO. 22-146, DWG. NO. SV-1, DATED MARCH 29, 2022.
 2. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
 3. LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
 4. UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
 5. THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
 6. UNLESS OTHERWISE NOTED, ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURBS OR FACE OF WALLS.
 7. UNLESS OTHERWISE NOTED, ALL RADII ARE TWO FEET (2').
 8. LAWN AND/OR DECIDUOUS AND ORNAMENTAL TREE PLANTING AREAS CAN BE USED FOR SNOW STORAGE (SEE LOCATIONS INDICATED AND SHEET C2.4).

TRAFFIC SIGN LEGEND

ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.

- (A) R7-8N (12"x18")
- (B) R7-8a (12"x6")
- (C) N-17 (10"x12")
- (D) R1-1 (30"x30")
- (E) "EMPLOYEE PARKING ONLY" (12"x18")
- (F) R7-1 MOD (12"x18")

- LEGEND**
- EEP EXISTING EDGE OF PAVEMENT
 - Traffic Sign
 - Area Light
 - Fire Hydrant
 - Utility Pole
 - Gas Valve
 - Water Valve
 - Sanitary Manhole
 - Drainage Manhole
 - Monitoring Well
 - EEP PROPOSED EDGE OF PAVEMENT
 - R HANDICAP RAMP
 - SW SIDEWALK
 - CW CROSSWALK
 - DC DEPRESSED CURB
 - Fire Hydrant
 - Drainage Manhole
 - Curb Inlet
 - Yard Inlet
 - Traffic Sign
 - Area Light
 - Landing
 - Door Location
 - Landscaping
 - No. of PARKING SPACES
 - No. of SPACES FOR SERVICED VEHICLES

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NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
3	5-8-23	RELOCATE AND ADD DIMS FOR TRANSFORMER
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
1	10-20-22	ADD EV PARKING, RECYCLING CONTAINERS AND MONUMENT SIGN WITH PLANTING BED

DRAWING TITLE: **SITE PLAN**

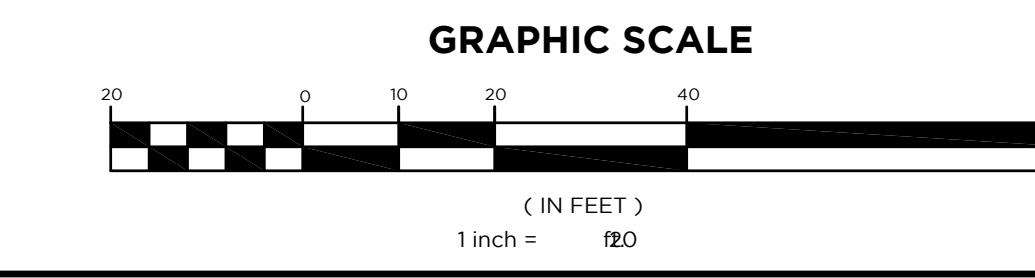
PROJECT: **MOUNTAIN VIEW AUTO BODY**
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

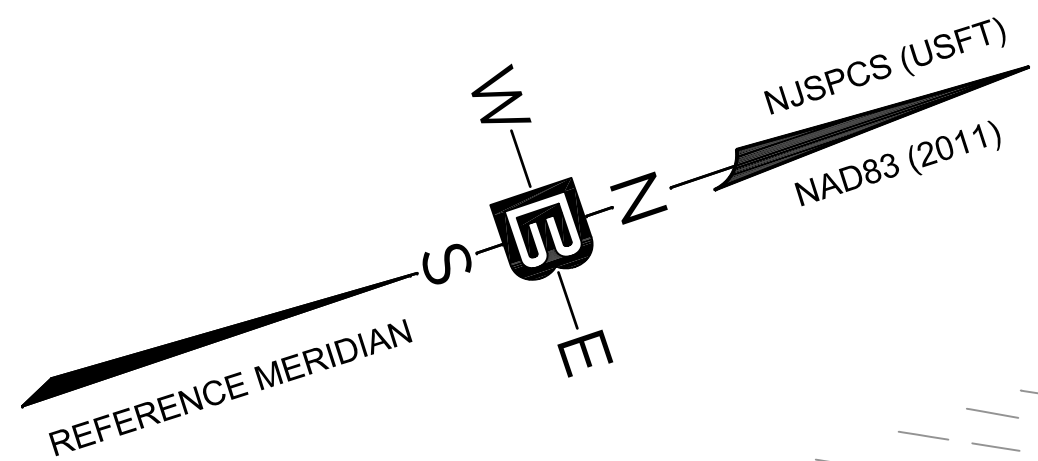
CLIENT: **MOUNTAIN VIEW AUTO**
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION:
24GA28068900 / 21MH00002800

DRAWN BY: M.B.L.	CHECKED BY: S.P.F.
SCALE: 1"=20'	PROJECT NO: 22-146
DATE: 6-13-22	REVISION NO: 3

C2.2





CONRAIL ERIE LACKAWANNA RAILROAD PATERSON & RAMAPO BRANCH

UTILITY NOTES

- ### 1.0 GENERAL
- 1.1 ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
 - 1.2 METER LOCATIONS SHOWN HERE ARE SCHEMATIC. ACTUAL LOCATIONS TO BE DETERMINED BY UTILITY & ARCHITECT.
 - 1.3 REFER TO PLUMBING PLANS FOR LOCATION OF DOWNSPOUTS, SANITARY LATERALS & UTILITY SERVICE ENTRANCES.
 - 1.4 ALL UTILITIES IN PARKING LOT ARE TO BE PROTECTED FROM IMPACT.
 - 1.5 CONTACT UTILITIES TO DETERMINE EXACT LOCATION OF CONNECTION AND WHERE PRACTICAL, IF EXISTING CONNECTIONS ARE TO BE MAINTAINED.
 - 1.6 DISCONNECT ALL UTILITIES. DETERMINE, WHERE APPLICABLE, IF ANY EXISTING LATERALS ARE TO BE REUSED. UNUSED SANITARY SEWER LATERALS ARE TO BE REMOVED TO THE MAIN AND THE MAIN SEALED.
 - 1.7 ANY ADDITIONAL EXISTING UTILITY CONNECTIONS FOUND ARE TO BE ABANDONED AND MUST BE CUT AND CAPPED AT MAIN OR REUSED IF APPROVED BY ARCHITECT.
- ### 2.0 WATER
- 2.1 WHERE WATER MAIN IS LOCATED WITHIN 10' HORIZONTALLY OF THE SEWER MAIN, IT SHALL BE AT LEAST 18" HIGHER OR CONCRETE ENCASED.
 - 2.2 WATER LATERALS TO BE SIZED BY MECHANICAL ENGINEER.
- ### 3.0 STORM & SANITARY SEWER
- 3.1 COORDINATE SEWER CONNECTIONS WITH PLUMBING PLANS.
 - 3.2 ALL WORK TO BE IN CONFORMANCE WITH THE GUIDELINES OF THE LOCAL PLUMBING SUBCODE.
 - 3.3 THE LOCAL MUA SHALL BE NOTIFIED AT THE COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO FINAL CONNECTION TO THE COLLECTION SYSTEM AND BACKFILL.
 - 3.4 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR THE PROPOSED SEWER UP TO THE POINT OF CONNECTION TO THE MUNICIPAL SYSTEM.
 - 3.5 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR ANY NEGATIVE DRAINAGE IMPACTS TO ADJACENT PROPERTIES DUE TO ON-SITE IMPROVEMENTS. SHOULD A NEGATIVE IMPACT BE IDENTIFIED UPON COMPLETION OF THE PROJECT, THE IMPACT SHALL BE ADDRESSED IMMEDIATELY.
- ### 4.0 ELECTRIC/COMMUNICATIONS
- 4.1 COORDINATE WITH PSE&G, VERIZON, AND CABLE COMPANIES.
- ### 5.0 NATURAL GAS
- 5.1 NATURAL GAS PIPES TO BE SIZED BY PSE&G.

LEGEND

- EOP EXISTING EDGE OF PAVEMENT
- TRAFFIC SIGN
- AREA LIGHT
- FIRE HYDRANT
- UTILITY POLE
- SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- GAS VALVE
- WATER VALVE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- MONITORING WELL
- TELEPHONE BOOTH
- TREELINE
- EXISTING OVERHEAD WIRE
- EXISTING GAS MARK-OUT
- EXISTING WATER MARK-OUT
- EXISTING ELECTRIC MARK-OUT
- EOP PROPOSED EDGE OF PAVEMENT
- R HANDICAP RAMP
- L LANDING
- SW SIDEWALK
- DC DEPRESSED CURB
- DS DOWNSPOUT
- FIRE HYDRANT
- DRAINAGE MANHOLE
- CURB INLET
- YARD INLET
- INLET FILTER
- SAN. MAN HOLE
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- PROPOSED SANITARY LINE
- DRAINAGE LINE (UNDER 15")
- DRAINAGE LINE (15" & UP)
- SAWCUT LINE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR LINE
- MEET EXISTING GRADE
- EXISTING TO REMAIN
- HIGH POINT
- TRAFFIC SIGN
- AREA LIGHT

SOIL EROSION NOTES

1. SEE SHEET C2.1 FOR BERGEN COUNTY SOIL CONSERVATION NOTES AND SEQUENCE OF CONSTRUCTION.

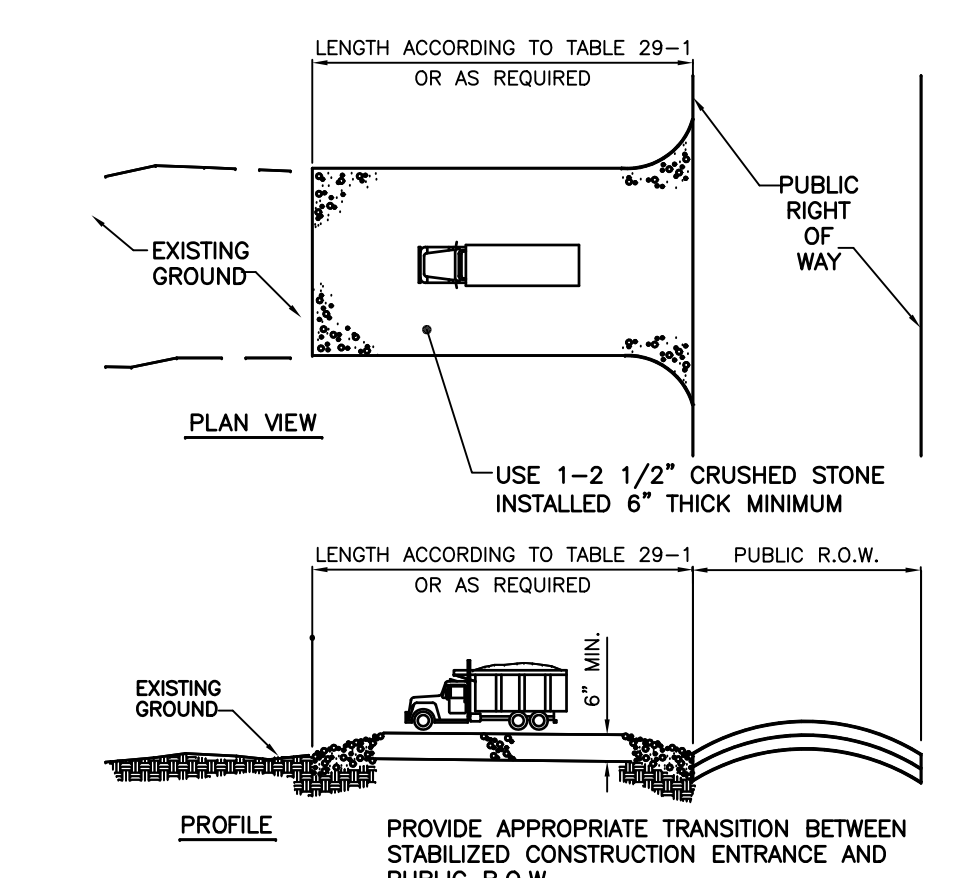
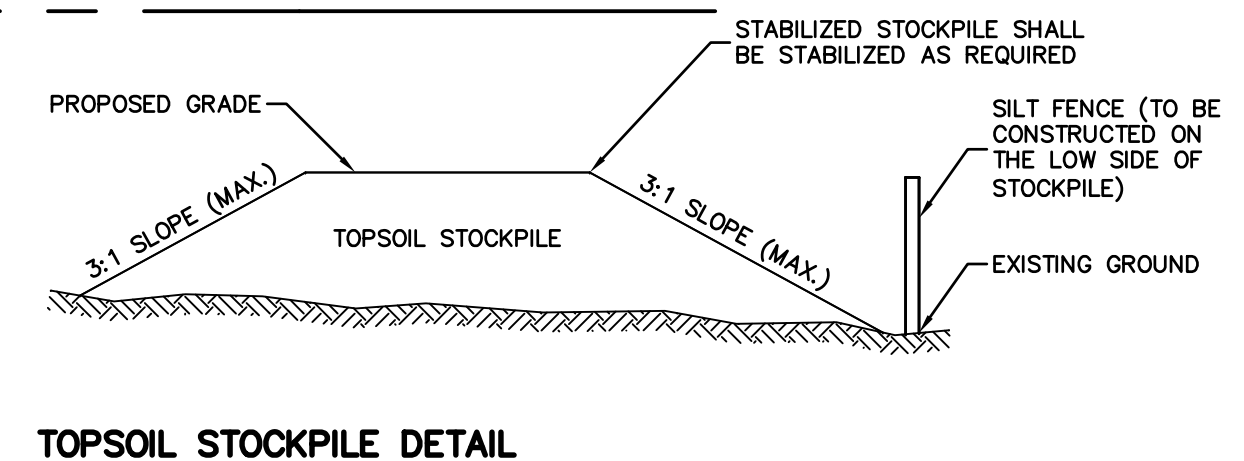
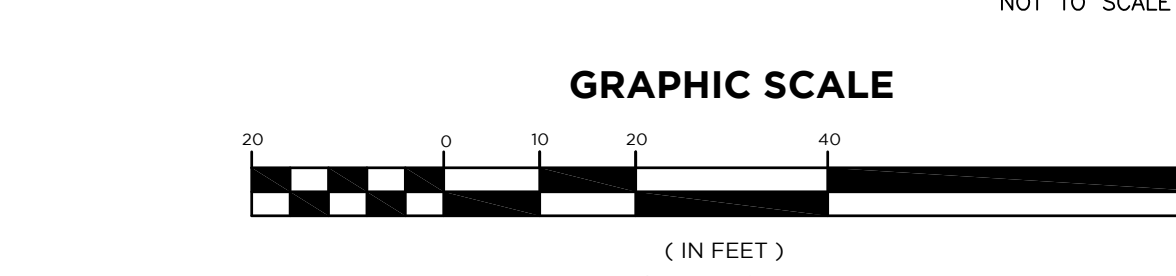
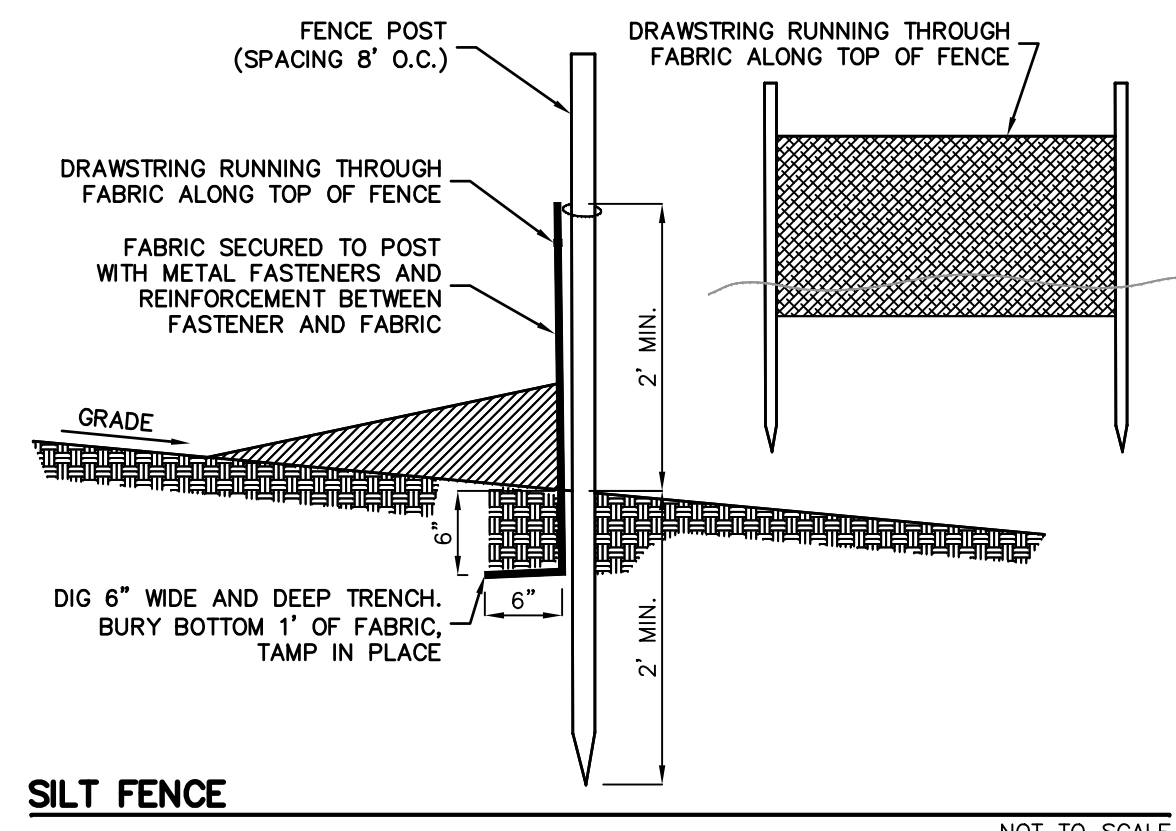


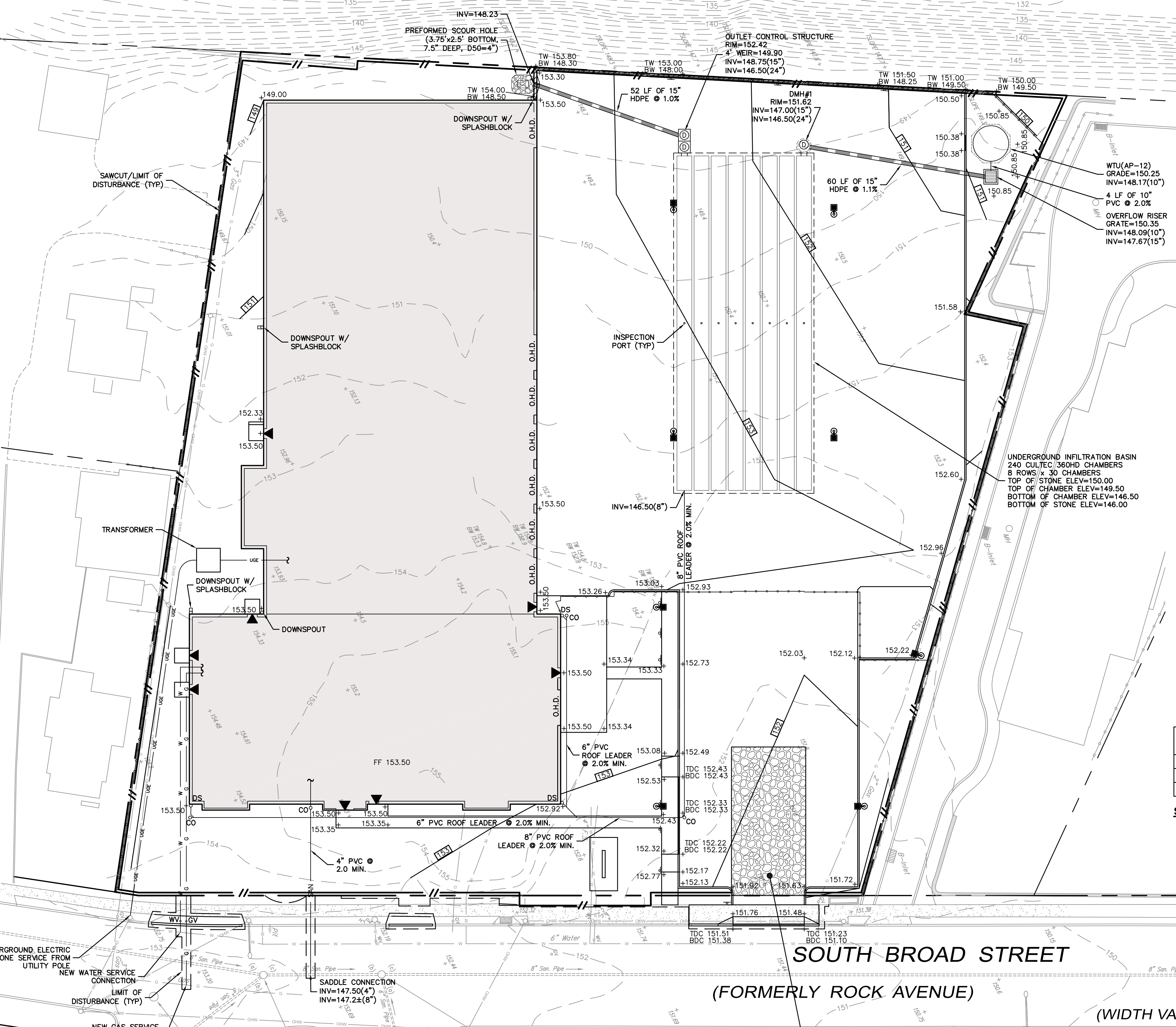
TABLE 29-1: LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

STABILIZED CONSTRUCTION ACCESS NOT TO SCALE



TOPSOIL STOCKPILE DETAIL NOT TO SCALE



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SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
3	5-8-23	UPDATE PLAN FOR SITE LAYOUT CHANGE
2	2-11-23	ADJUST WATER TREATMENT UNIT LOCATION AND GRADING
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED

DRAWING TITLE
**GRADING
UTILITY & SOIL
EROSION
CONTROL PLAN**

PROJECT
**MOUNTAIN VIEW
AUTO BODY**
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

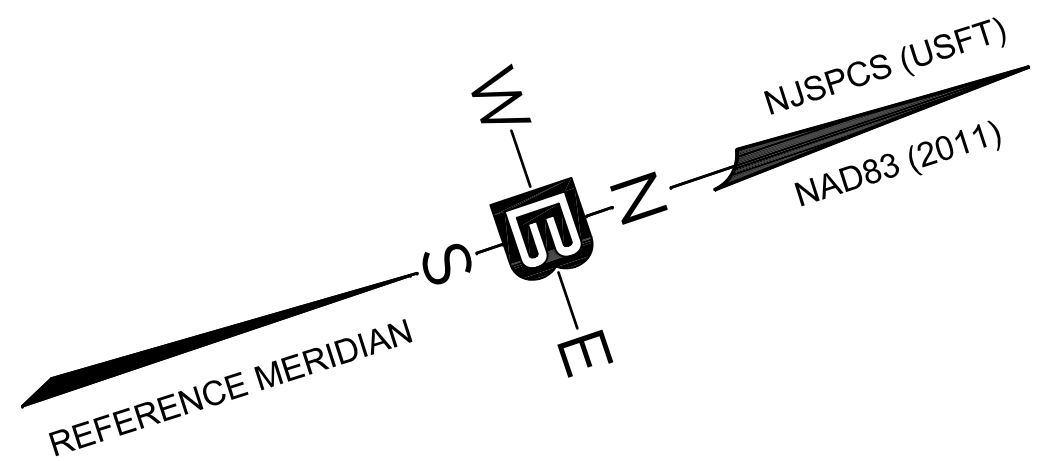
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

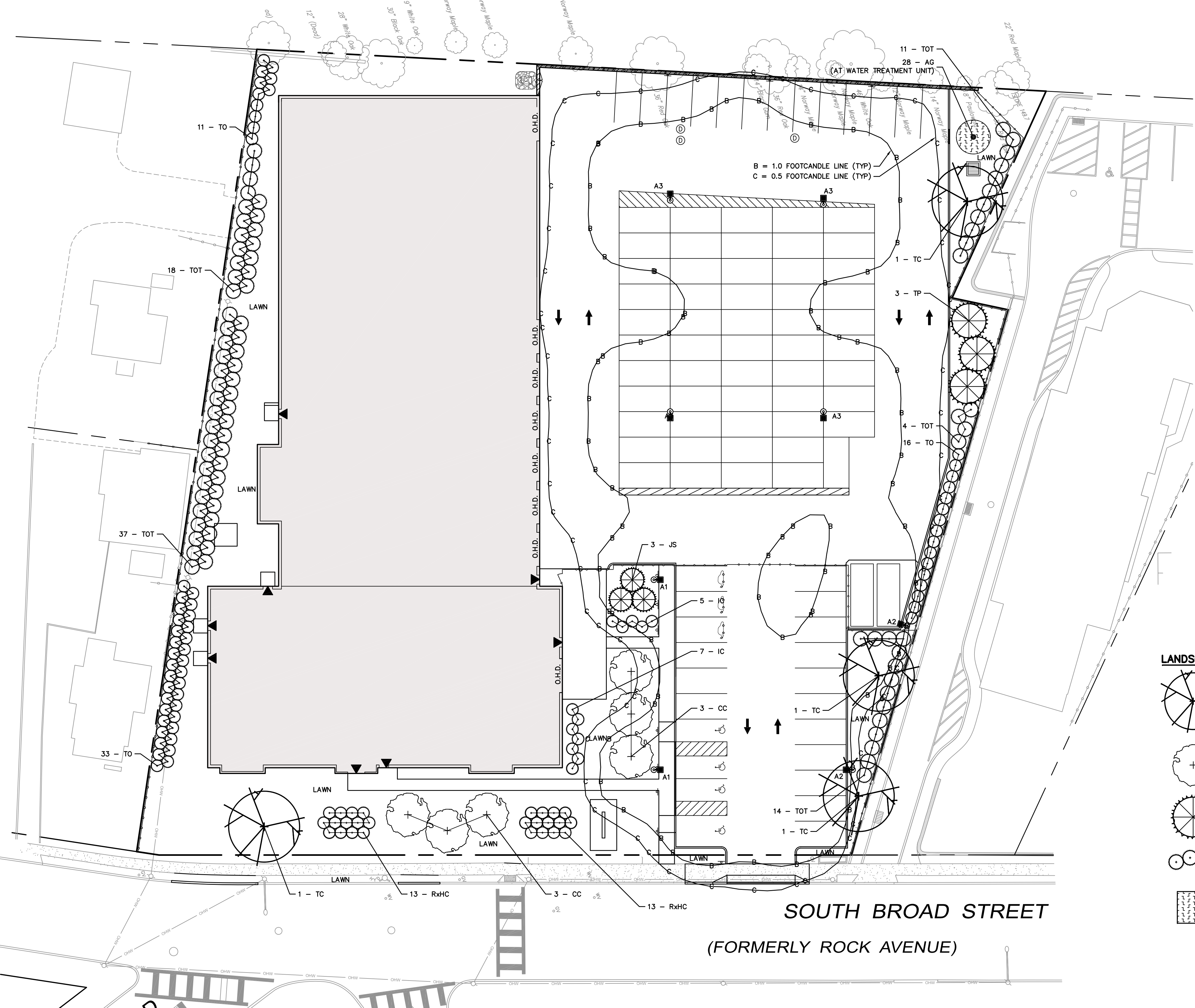
DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 3

DRAWING NO.
C2.3

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**CONRAIL ERIE LACKAWANNA RAILROAD
PATERSON & RAMAPO BRANCH**



LIGHTING SCHEDULE

SYM	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
A1	ISI INDUSTRIES (1) SLIM-LED-09L-SIL-FIT-40-70CRI	(1) LED	9860	16 FT., Neutral White LED's Forward Throw Distribution	0.85	2
A2	ISI INDUSTRIES (1) SLIM-LED-09L-SIL-FIT-40-70CRI-IL	(1) LED	6460	16 FT., Neutral White LED's Forward Throw Distribution w/ Integral Louver	0.85	2
A3	ISI INDUSTRIES (1) SLIM-LED-09L-SIL-5W-40-70CRI	(1) LED	9270	16 FT., Neutral White LED's Type 5W Distribution	0.85	4

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		MATURE SIZE		SPACING
				HEIGHT	ROOT	HEIGHT	SPREAD	
DECIDUOUS SHADE TREES								
TC	4	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LINDEN	10' - 12' 2" CAL. (MIN.)	B&B	40'-50'	30'-35'	35' O.C. (MIN.)
ORNAMENTAL TREES								
CC	6	CERCIS CANADENSIS	EASTERN REDBUD	4' - 6' 2" CAL. (MIN.)	B&B	20'-30'	20'-30'	15' O.C.
EVERGREEN TREES								
JS	4	JUNIPERUS SCOPULORUM "WICHTA BLUE"	WICHTA BLUE ROCKY MOUNTAIN JUNIPER	4' - 6'	10 GAL	15'-20'	6'-10'	8' O.C.
TP	3	THUJA PLICATA X STANDISHII "GREEN GIANT"	THUJA GREEN GIANT	5' MIN.	10 GAL	30'-20'	12'-15'	12' O.C.
EVERGREEN SHRUBS								
IC	12	ILEX GRENATA "HELLER"	DWARF JAPANESE HOLLY	15" - 18"	1 GAL	3'-4'	4'-5'	4' O.C.
RxHC	26	RHOODODENDON X "HINO-CRIMSON"	HINO-CRIMSON AZALEA	15" - 18"	1 GAL	3'-5'	3'-5'	4' O.C.
TO	60	THUJA OCCIDENTALIS "SMARAGD"	EMERALD GREEN ARBORVITAE	5' MIN.	10 GAL	10'-15'	3'-5'	4' O.C.
TOT	84	THUJA OCCIDENTALIS "TECHNY"	TECHNY ARBORVITAE	5' MIN.	10 GAL	12'-15'	6'-8'	5' O.C.
DECORATIVE GRASSES								
AG	28	ANDROPOGON GERARDII	BIG BLUESTEM	15" - 18"	1 GAL	4'-8'	2'-3'	2' O.C.

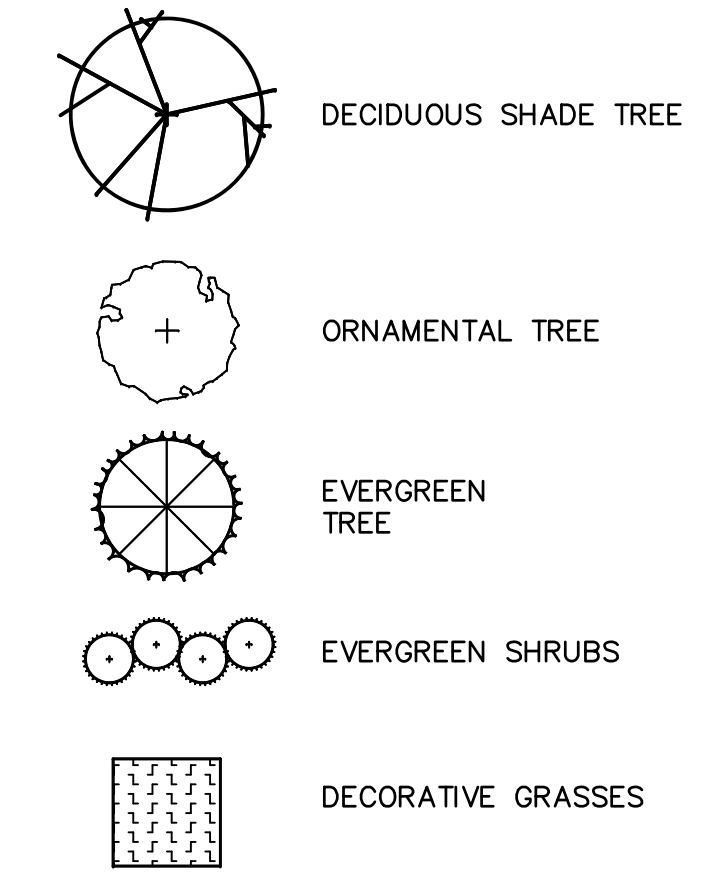
LANDSCAPE MAINTENANCE NOTES

- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- TREES AND SHRUBS:** MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND CUTY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS:** MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
- MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECT AND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
- NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL, (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

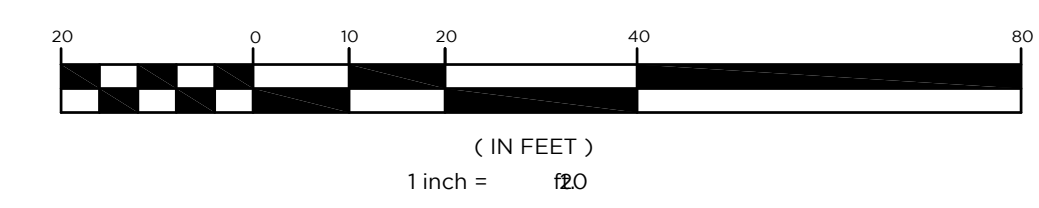
LANDSCAPE NOTES

- ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
- ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. Z 60.1-1969.
- SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
- TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
- IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DELETERIOUS TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
- PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
- CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
- UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTING AND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURE MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILLED/RIPPED TO SOFTEN SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
- FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.

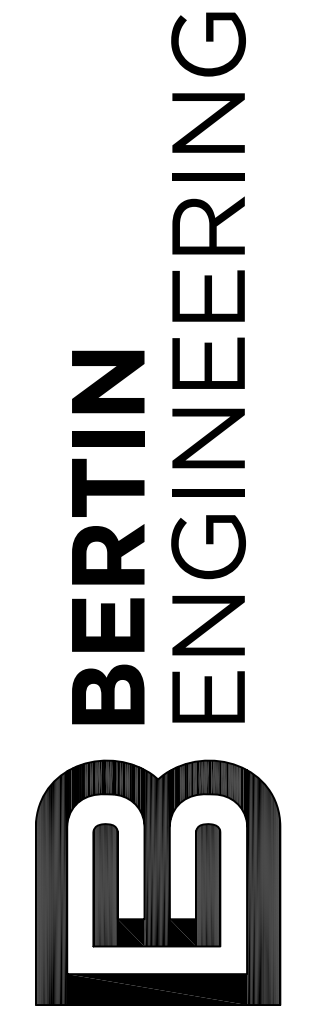
LANDSCAPE KEY



GRAPHIC SCALE



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SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION	C.B.R.	J.A.S.
3	5-8-23	REVISE LANDSCAPING ALONG NORTH AND SOUTH LOT LINES		
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING		
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED AND ADJUST PROPOSED PLANTING		

LANDSCAPE & LIGHTING PLAN

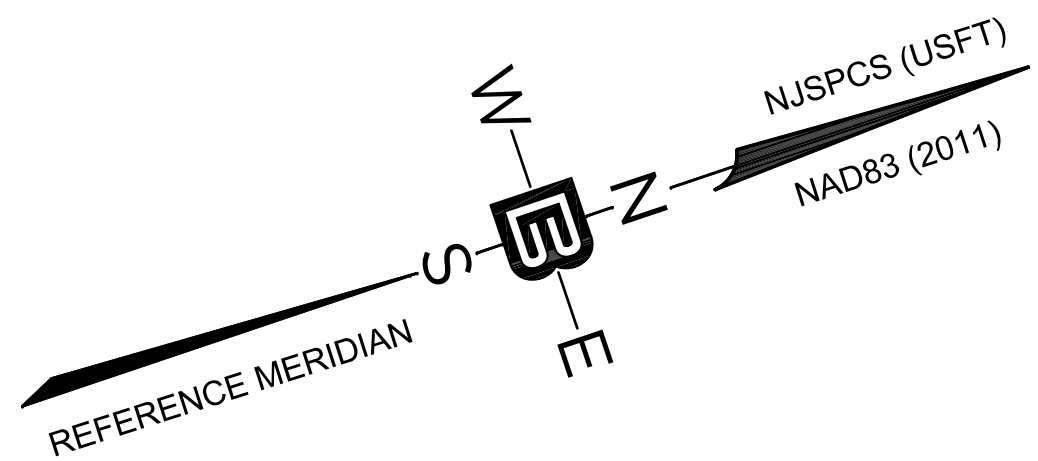
PROJECT
**MOUNTAIN VIEW
AUTO BODY**
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800
DRAWN BY: M.B.L. CHECKED BY: S.P.F.
SCALE: 1"=20' PROJECT NO.: 22-146
DATE: 6-13-22 REVISION NO.: 3
DRAWING NO.

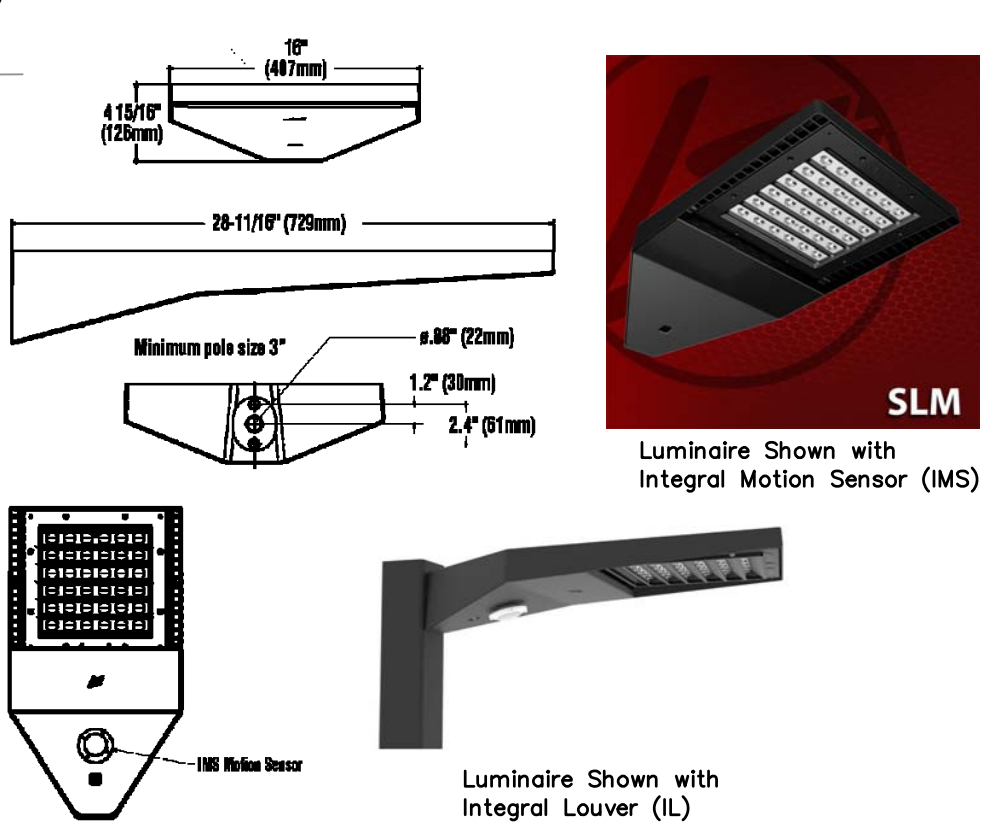
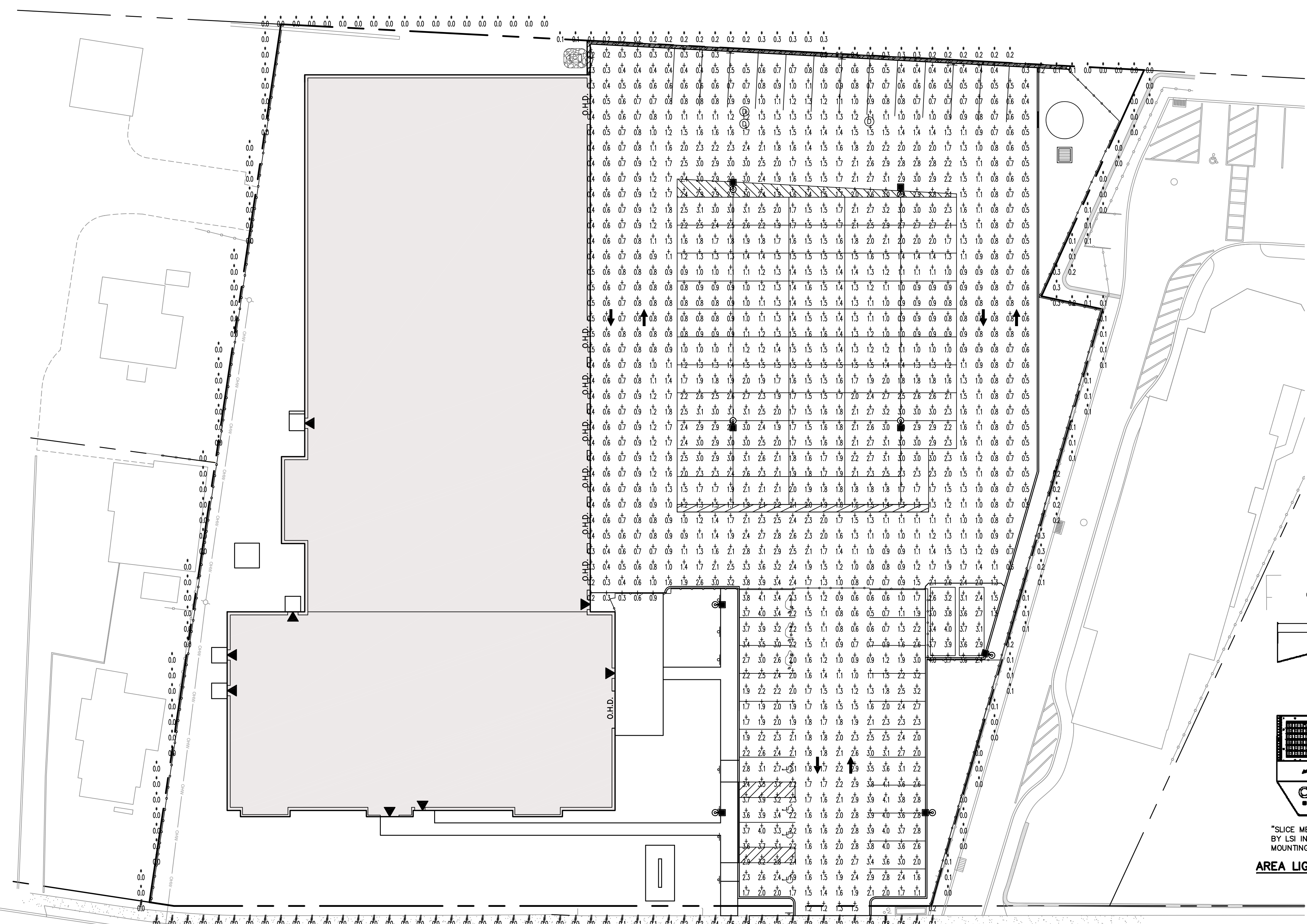
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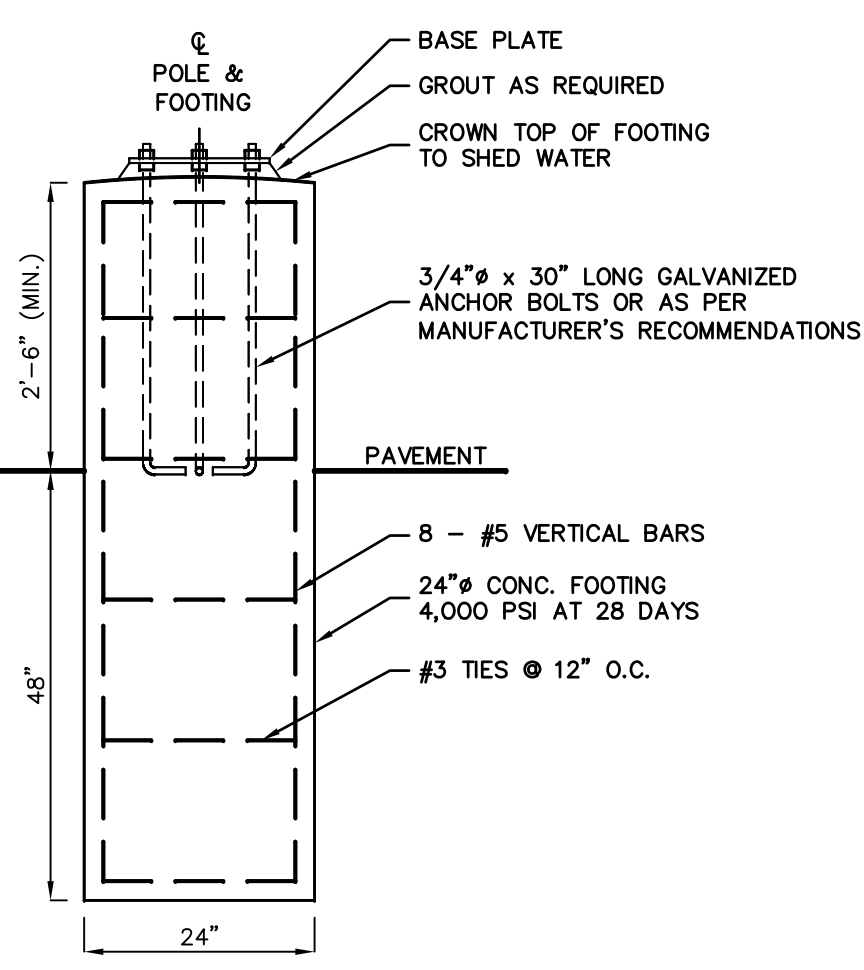
CONRAIL ERIE LACKAWANNA RAILROAD
PATERSON & RAMAPO BRANCH

AREA NAME	DIMENSIONS	GRID / TYPE	# PTS	SPIC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
Area 1	300.00x400.00ft	Grid F / H-H	1256	5.00	<<-> Pavement	1.57	4.13	0.19	22.06	18.31
			176	5.00	<-> Off-Site Private	0.08	0.50	0.00	N/A	N/A
			52	5.00	<-> Off-Site Public	0.23	1.00	0.00	N/A	N/A

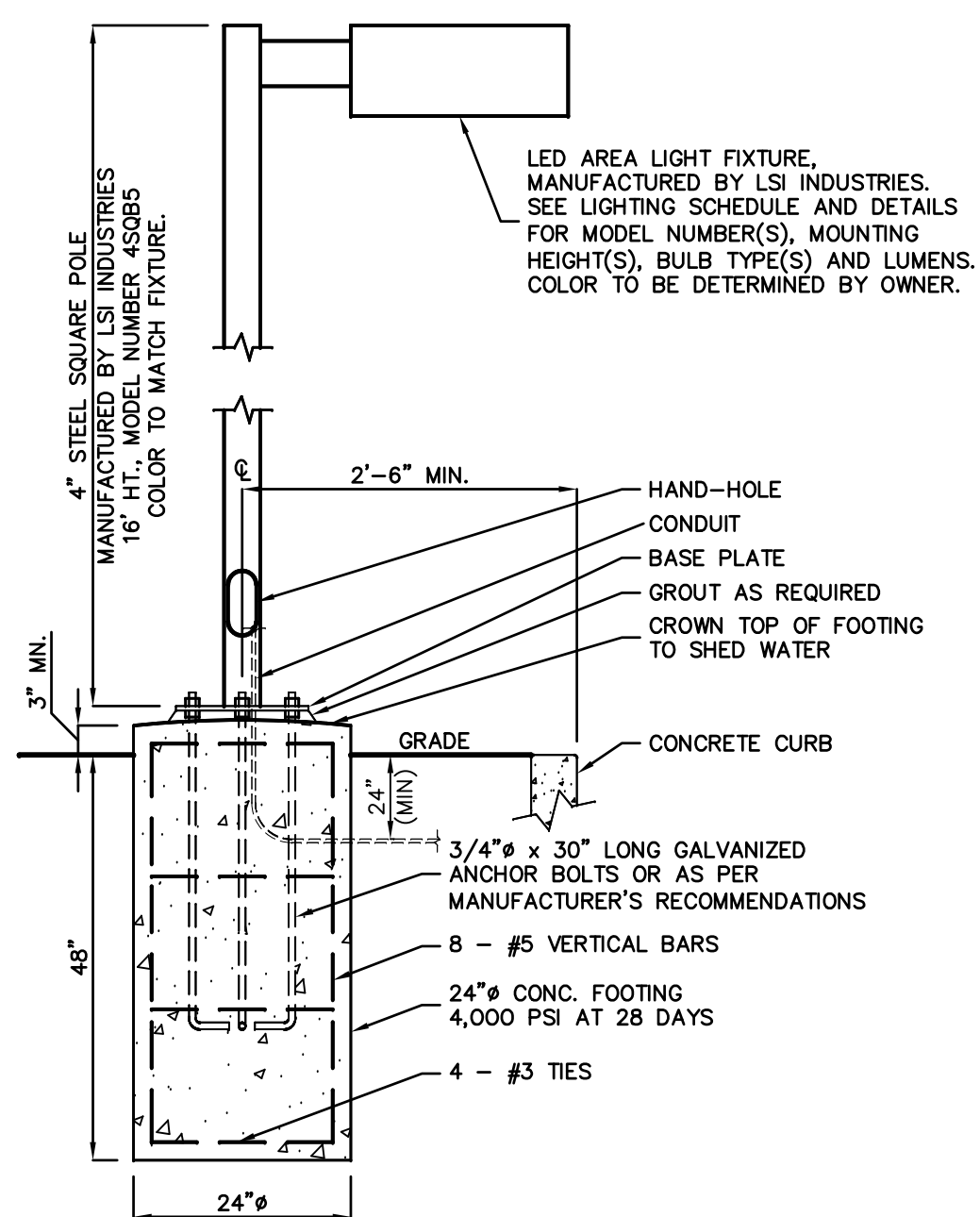


"SLICE MEDIUM - SLM" OUTDOOR LED AREA LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

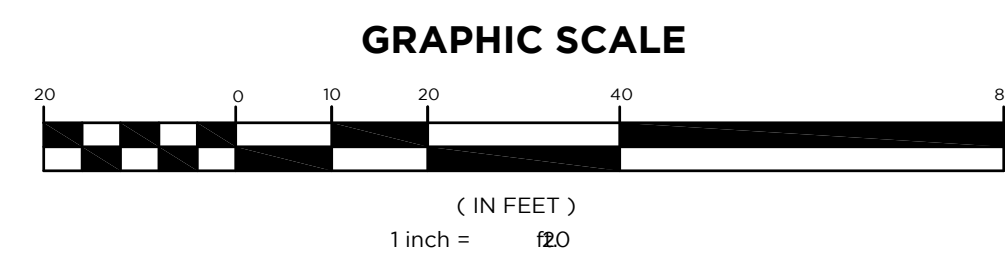
AREA LIGHT FIXTURE DETAIL



AREA LIGHT FOOTING IN PAVEMENT DETAIL



AREA LIGHT & FOOTING DETAIL



LIGHTING SCHEDULE

SYM	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
A1	LSI INDUSTRIES (1) SLM-LED-09L-SL-FIT-40-70CRI	(1) LED	9860	16 FT., Neutral White LED's Forward Throw Distribution	0.85	2
A2	LSI INDUSTRIES (1) SLM-LED-09L-SL-FIT-40-70CRI-IL	(1) LED	6460	16 FT., Neutral White LED's Forward Throw Distribution w/ Integral Lower	0.85	2
A3	LSI INDUSTRIES (1) SLM-LED-09L-SL-SW-40-70CRI	(1) LED	9270	16 FT., Neutral White LED's Type SW Distribution	0.85	4

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 MA LIC. NO. 40595 NY LIC. NO. 60022
 NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.
 PROFESSIONAL ENGINEER
 NJ LIC. NO. 37073
 NY LIC. NO. 071209

NO.	DATE	REVISION
3	5-8-23	UPDATE PLAN PER SITE LAYOUT CHANGE
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED

LIGHTING INTENSITIES PLAN

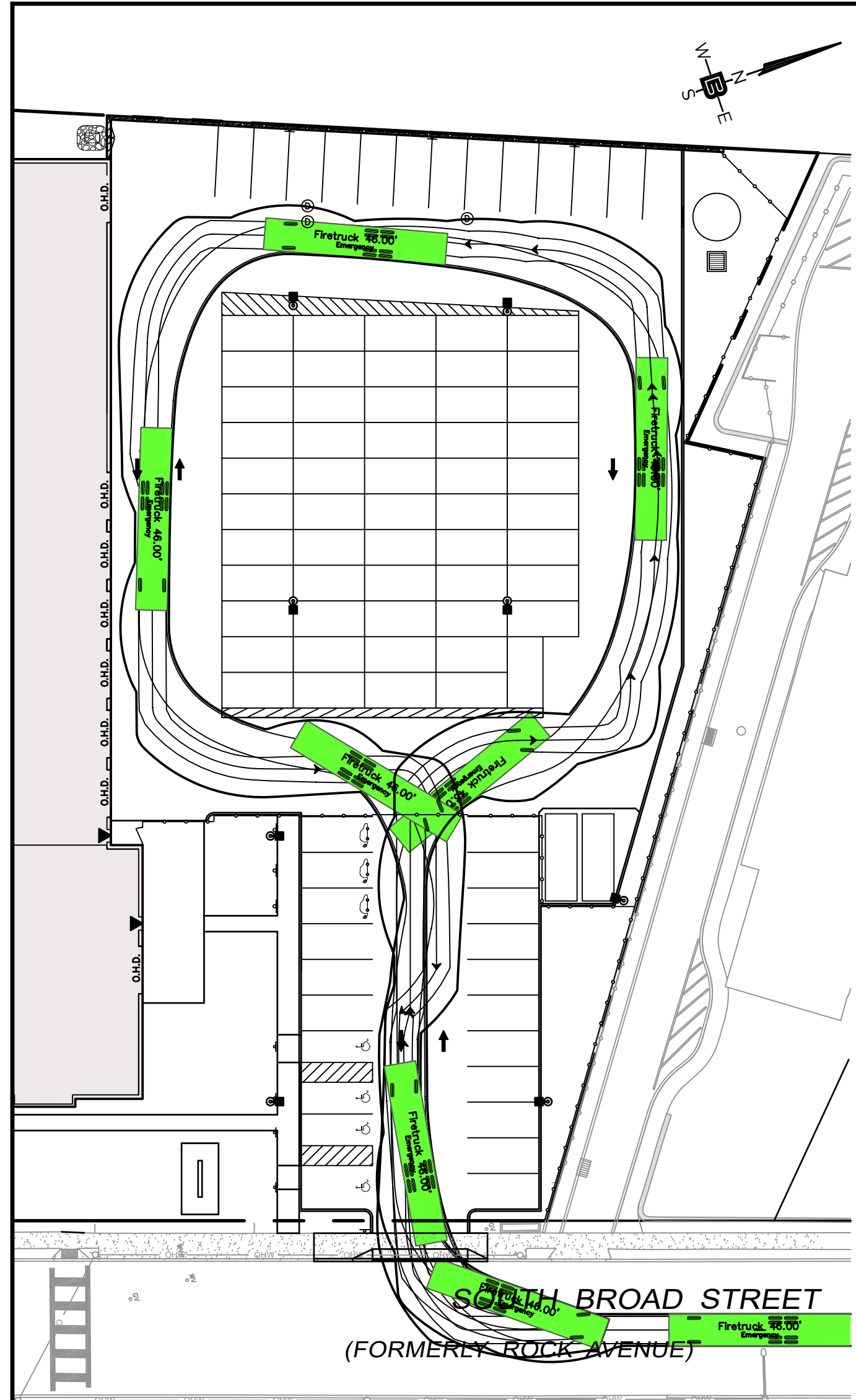
PROJECT
MOUNTAIN VIEW AUTO BODY
 BLOCK 3905, LOTS 12, 13 & 14
 246-264 SOUTH BROAD STREET
 VILLAGE OF RIDGWOOD
 BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
 96 NEWARK POMPTON TURNPIKE
 WAYNE, N.J. 07470

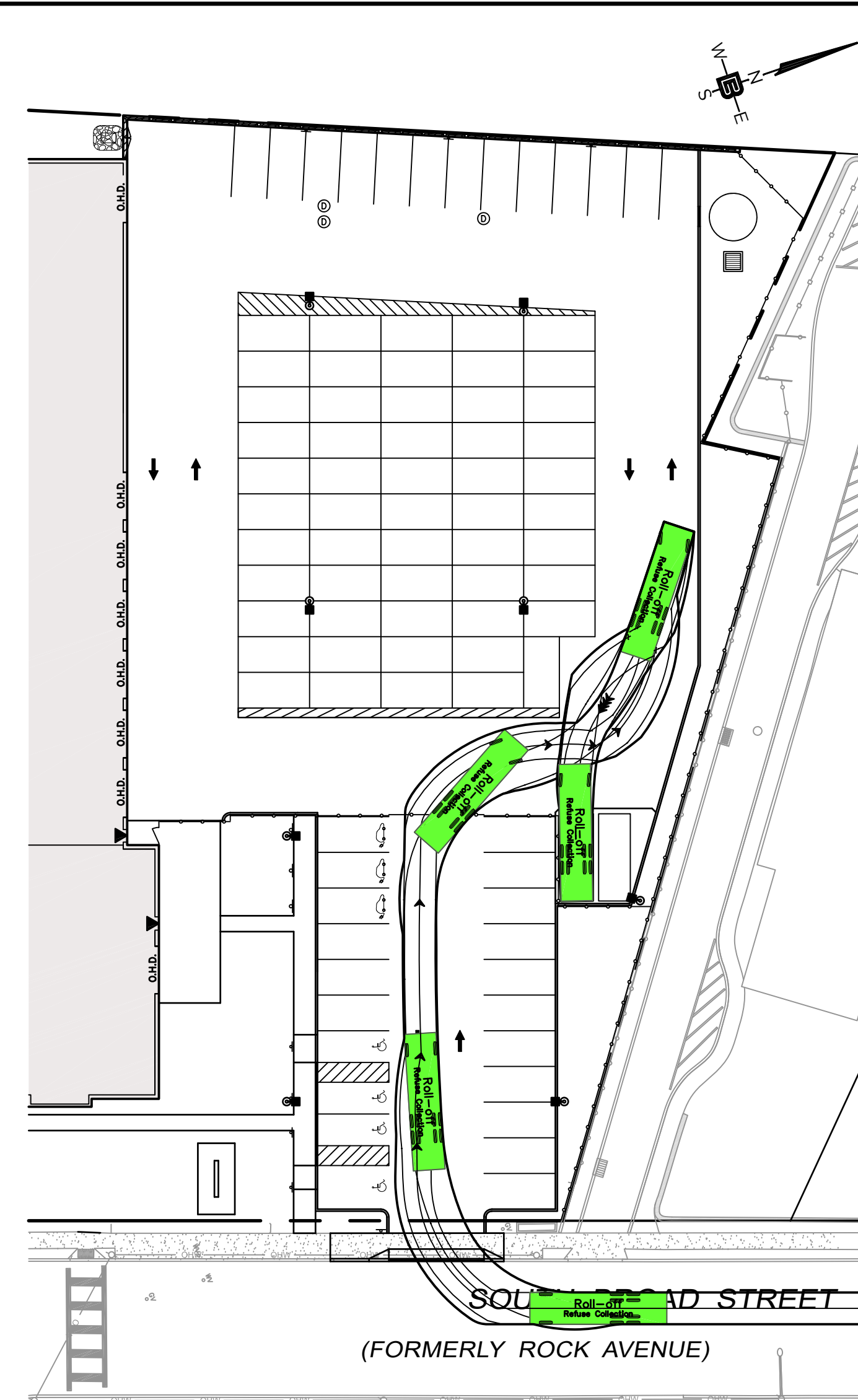
CERTIFICATE OF AUTHORIZATION
 24GA28068900 / 21MH00002800
 DRAWN BY: M.B.L. CHECKED BY: S.P.F.
 SCALE: 1"=20' PROJECT NO: 22-146
 DATE: 6-13-22 REVISION NO: 3
 DRAWING NO:

C2.5

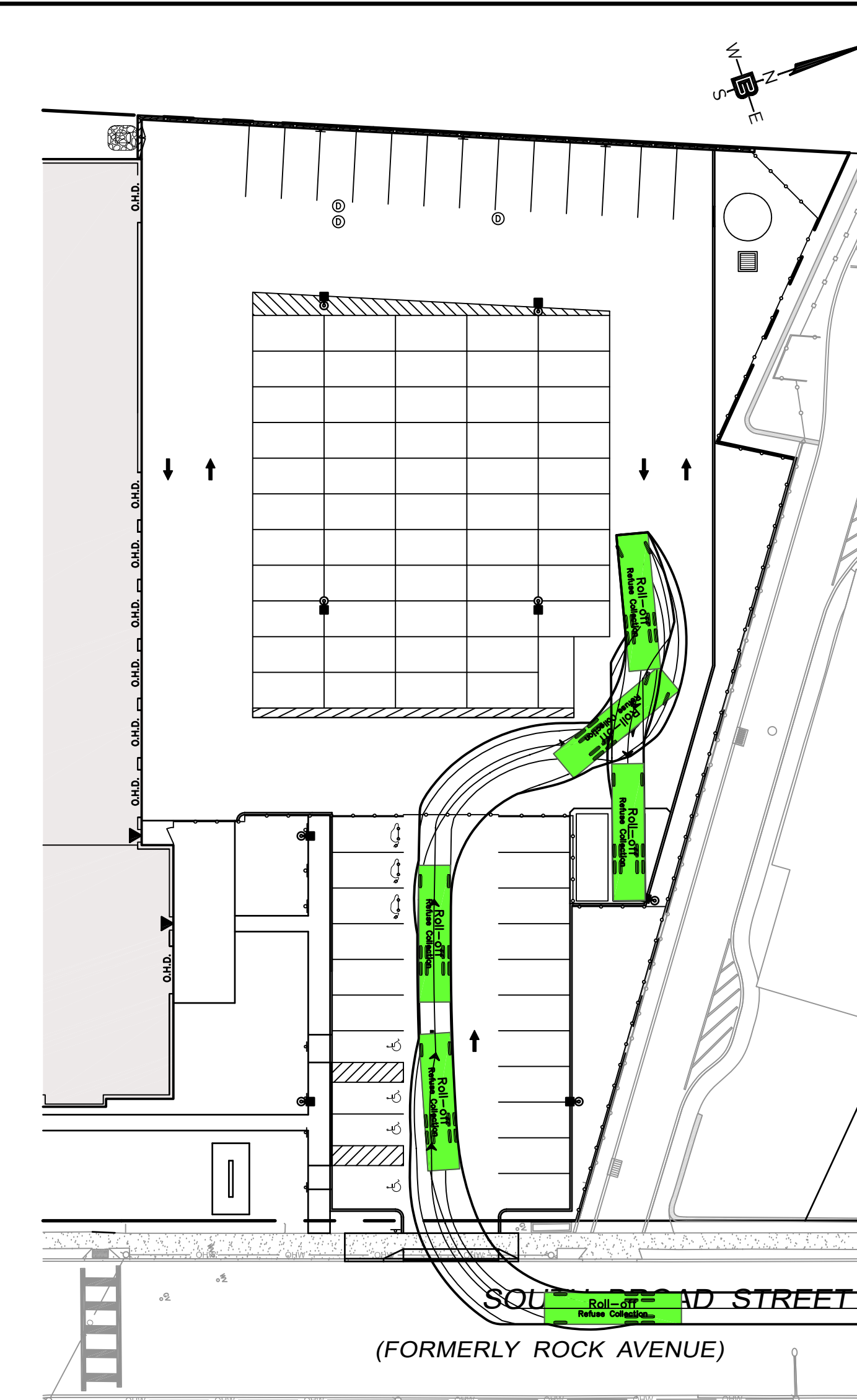
© Bertin Engineering Associates, Inc. Y:\2022\22-146 RidgeWood\Design\Civil\CADD\dwg\22-146-planning-landscaping.dwg May 09, 2023 - 12:15pm cpattmann



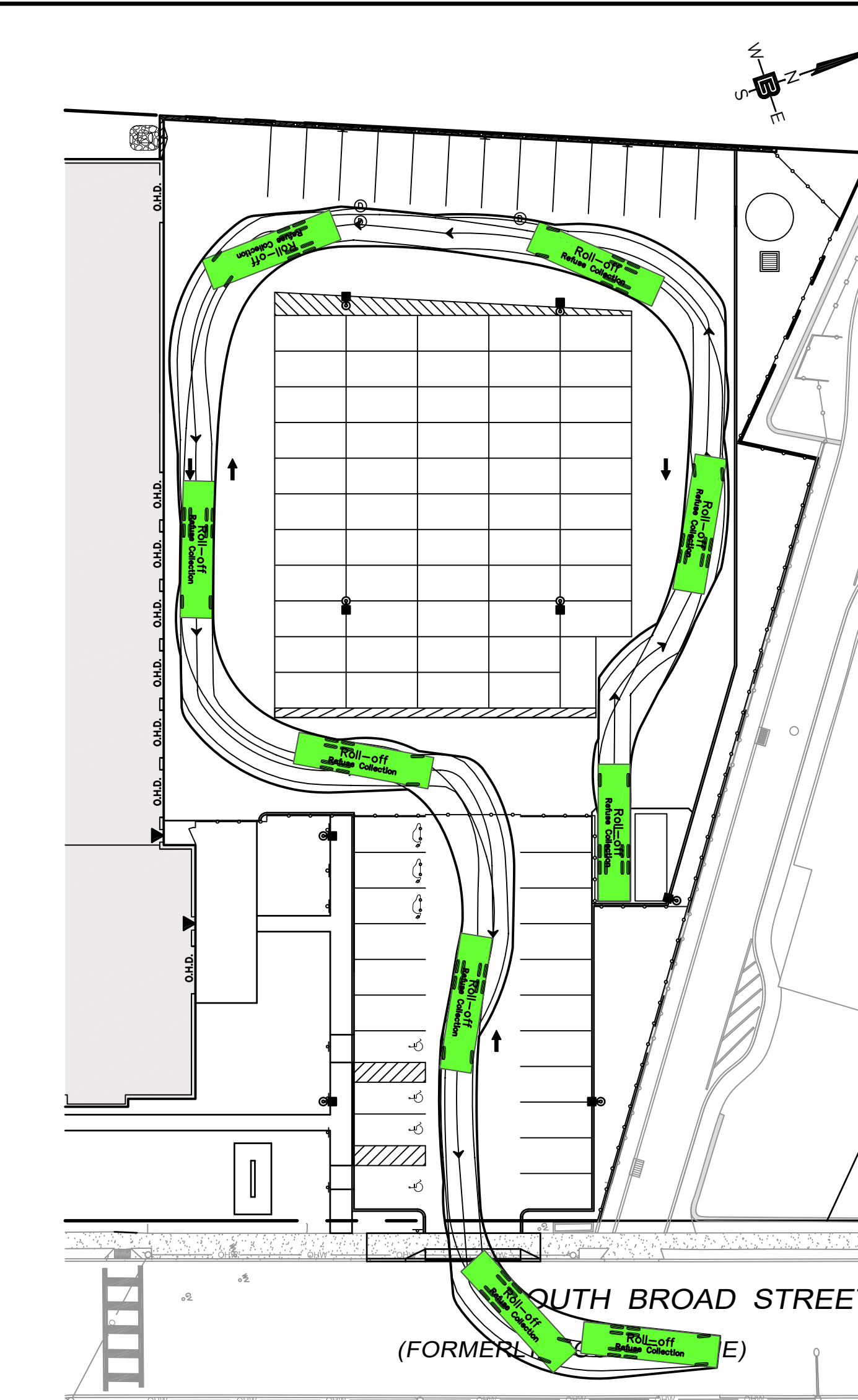
FIRETRUCK CIRCULATION PATH
SCALE: 1" = 30'



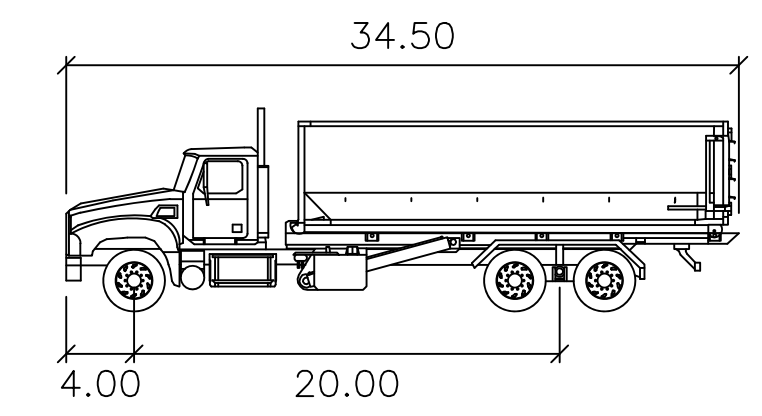
**ROLL OFF DUMPSTER TRUCK CIRCULATION PATH:
ENTERING SITE TO DUMPSTER LOCATION #1**
SCALE: 1" = 30'



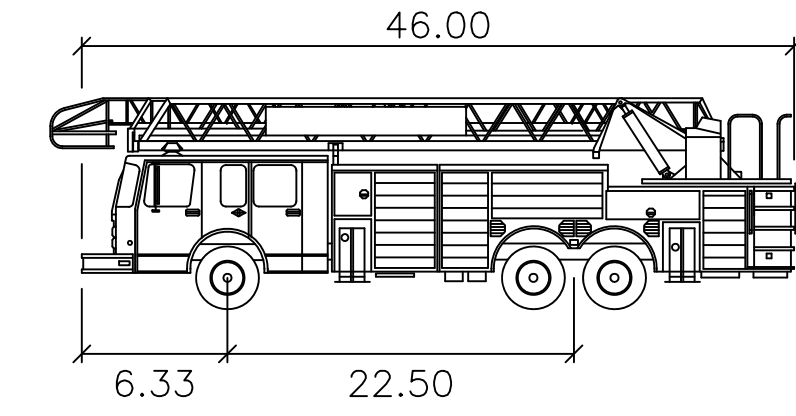
**ROLL OFF DUMPSTER TRUCK CIRCULATION PATH:
ENTERING SITE TO DUMPSTER LOCATION #2**
SCALE: 1" = 30'



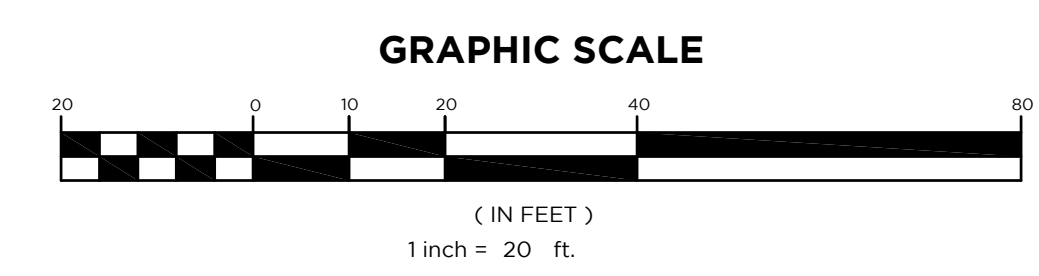
**ROLL OFF DUMPSTER TRUCK CIRCULATION PATH:
EXITING SITE**
SCALE: 1" = 30'



Roll-off
Width : 8.00
Track : 8.00
Lock to Lock Time : 6.0
Steering Angle : 31.8



Firetruck 46.00'
Width : 7.99
Track : 6.91
Lock to Lock Time : 6.0
Steering Angle : 40.0



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NY LIC. NO. 071209

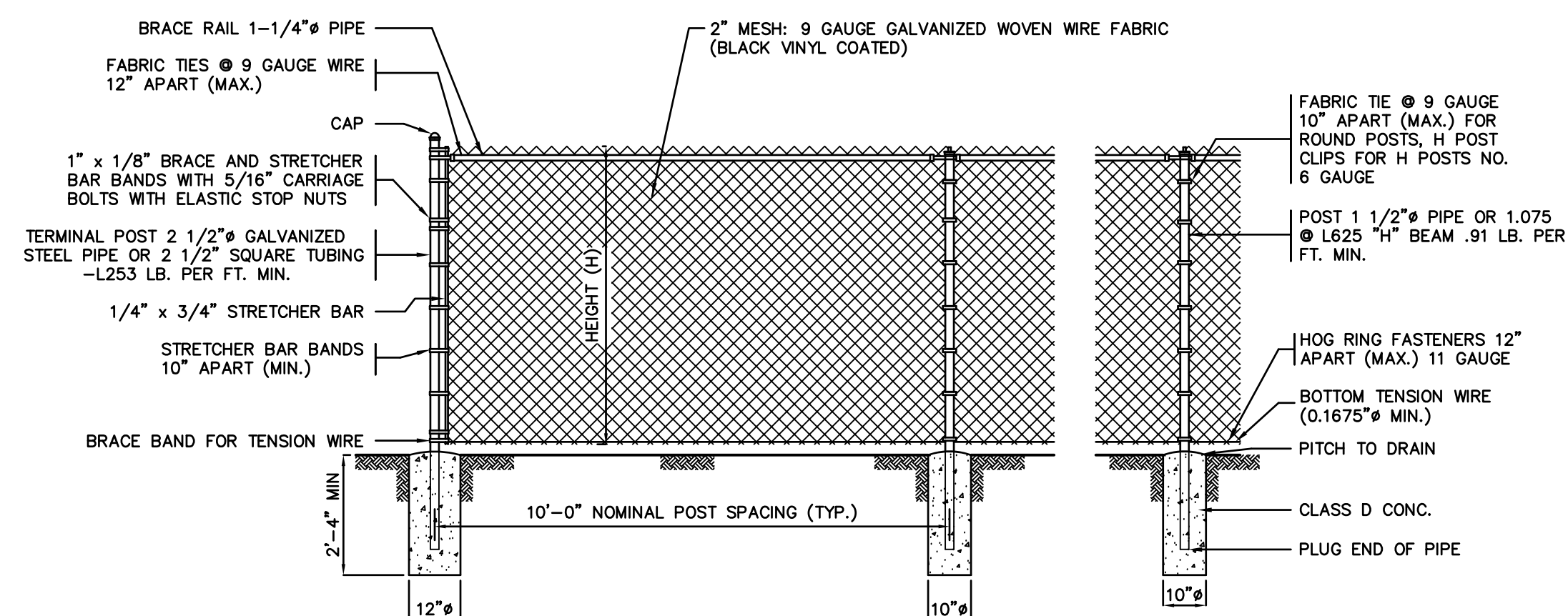
DRAWING TITLE
VEHICLE CIRCULATION PLANS

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY J.A.S.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 2-1-23	REVISION NO. 0
DRAWING NO.	

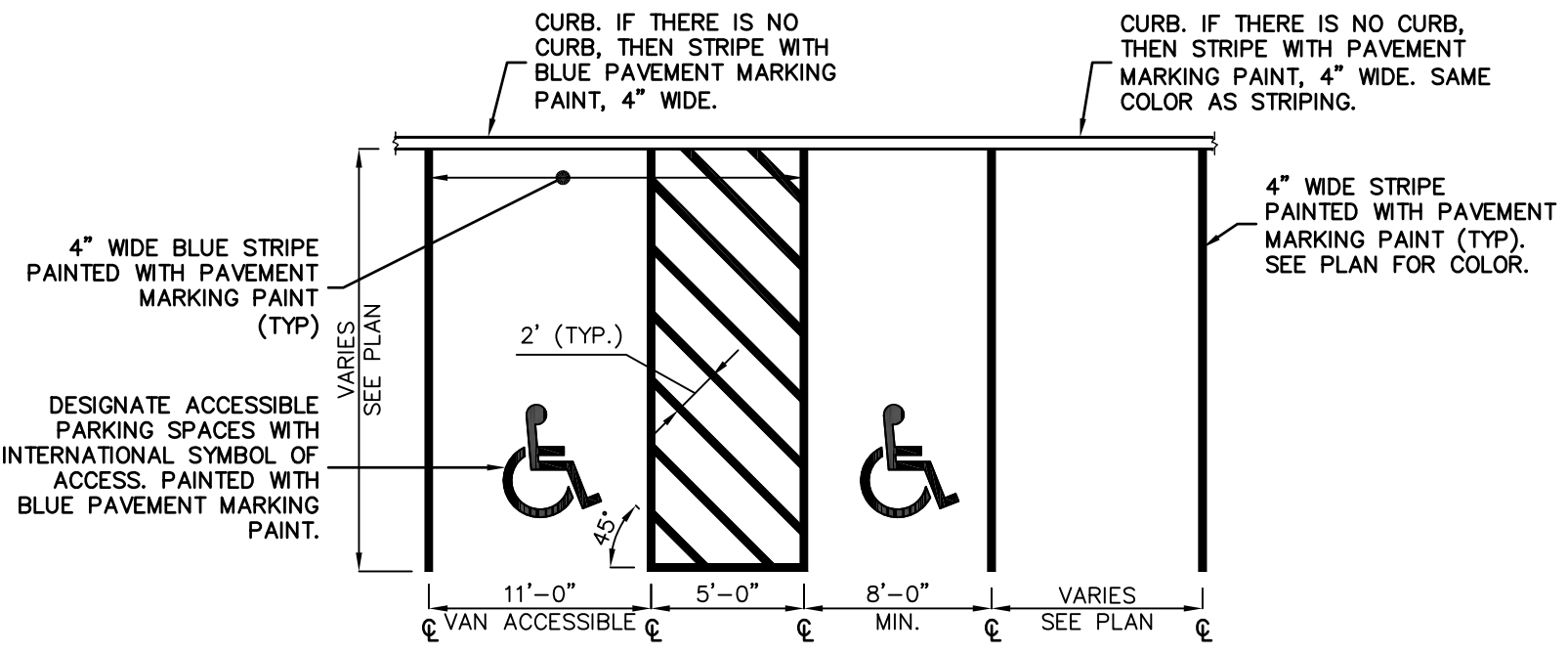
C2.6



- NOTES
1. ALL TIES, HOG RINGS AND CLIPS SHALL BE GALVANIZED.
 2. CAP NOT REQUIRED FOR "H" BEAMS.
 3. FABRIC SHALL BE GALVANIZED WIRE, ALL PIPE TO CONFORM TO CURRENT ASTM DESIGNATION F 1083, SCHEDULE 40, PLAIN END.
 4. BRACE RAIL AND ROD AT CORNER AND END SECTION ONLY.
 5. ALL REFERENCES TO PIPE DIAMETER ARE ASTM NOMINAL SIZE.
 6. WITH THE APPROVAL OF THE ENGINEER, IN SOFT MARSHY GROUND, POSTS MAY BE DRIVEN, THE CONCRETE FOOTING DELETED AND APPROVED DRIVE ANCHORS USED.

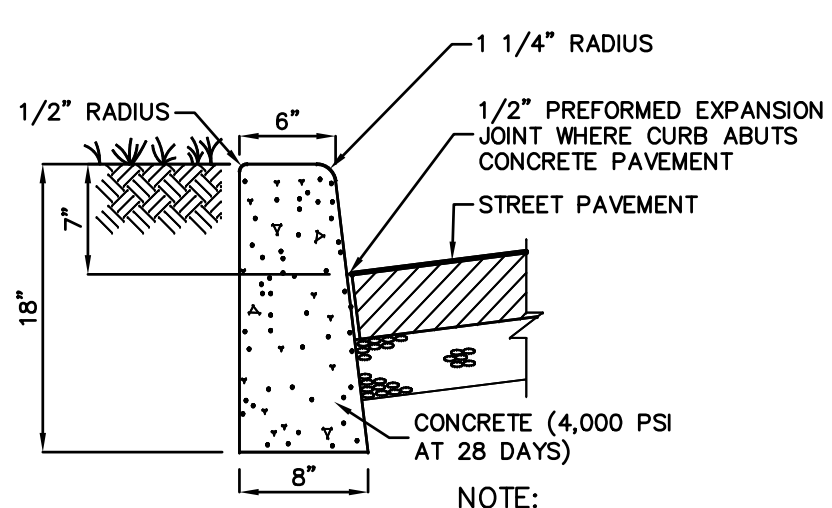
CHAIN LINK FENCE DETAIL

NOT TO SCALE



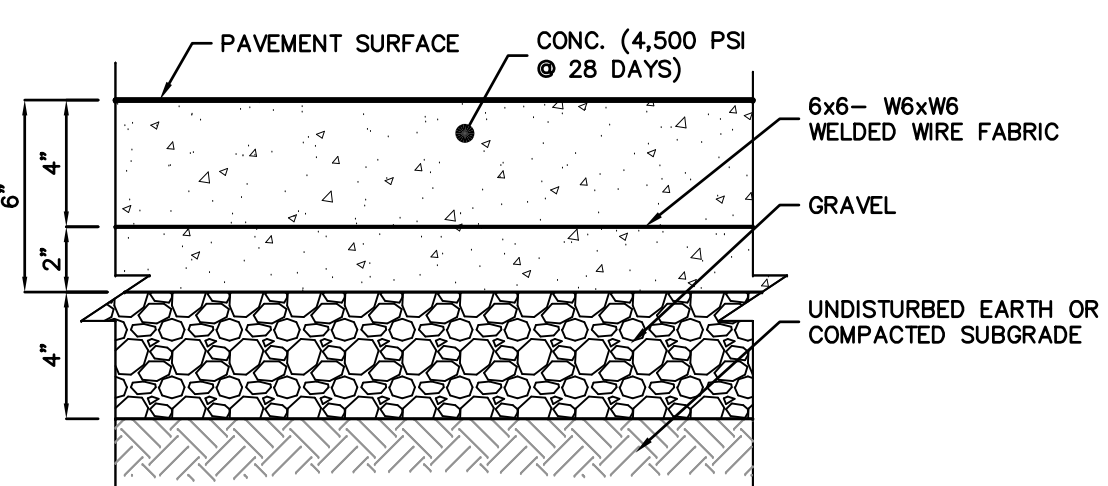
PARKING SPACE STRIPING

NOT TO SCALE



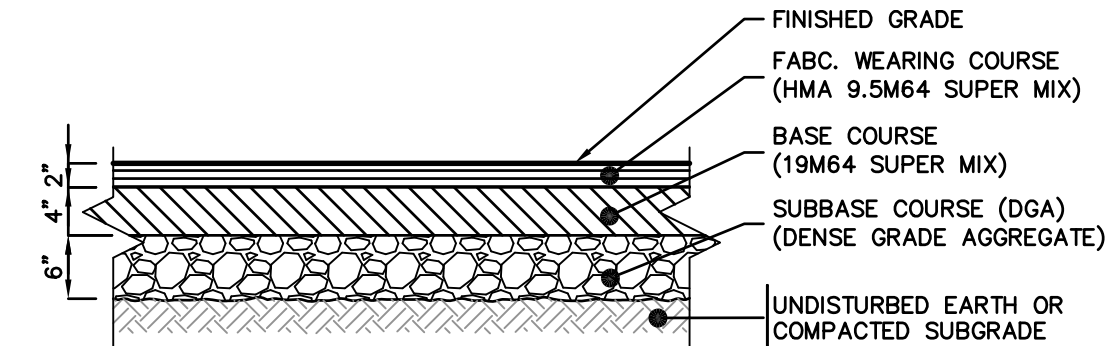
INTERIOR CURB

NOT TO SCALE



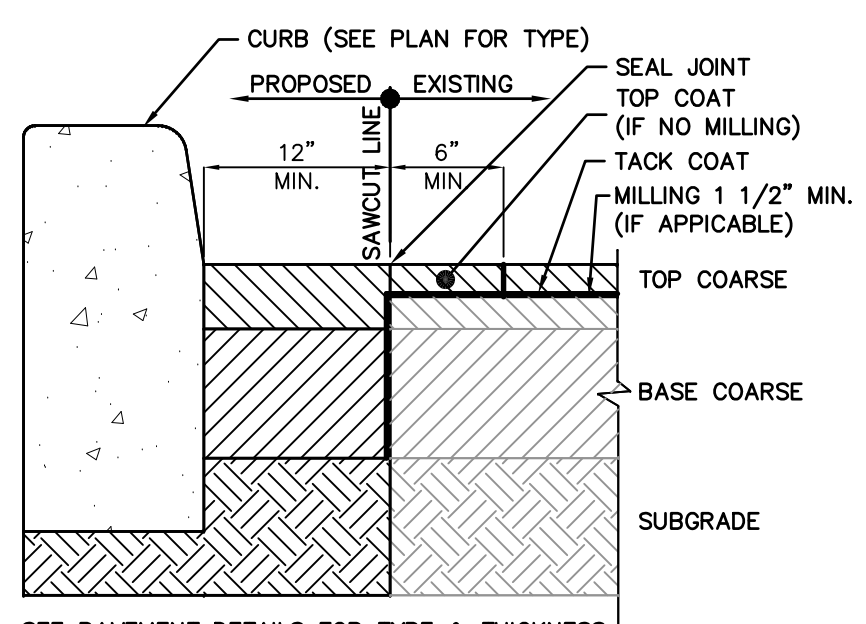
CONCRETE PAVEMENT DETAIL

NOT TO SCALE



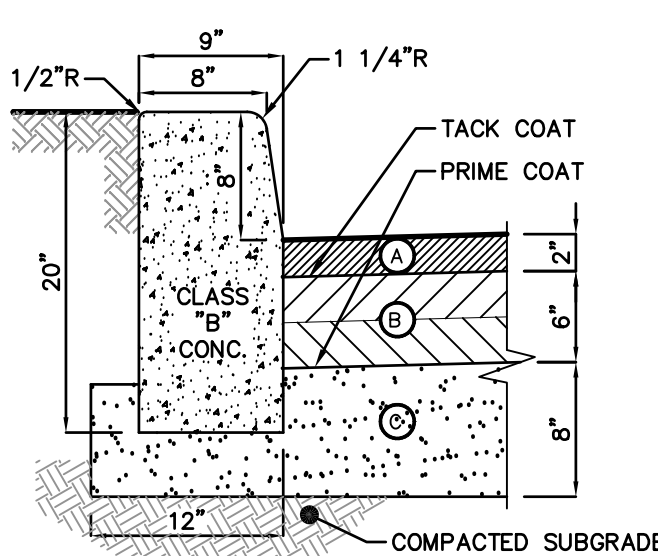
ASPHALT PAVEMENT DETAIL

NOT TO SCALE



PAVEMENT SAWCUT DETAIL FOR NEW CURB

NOT TO SCALE



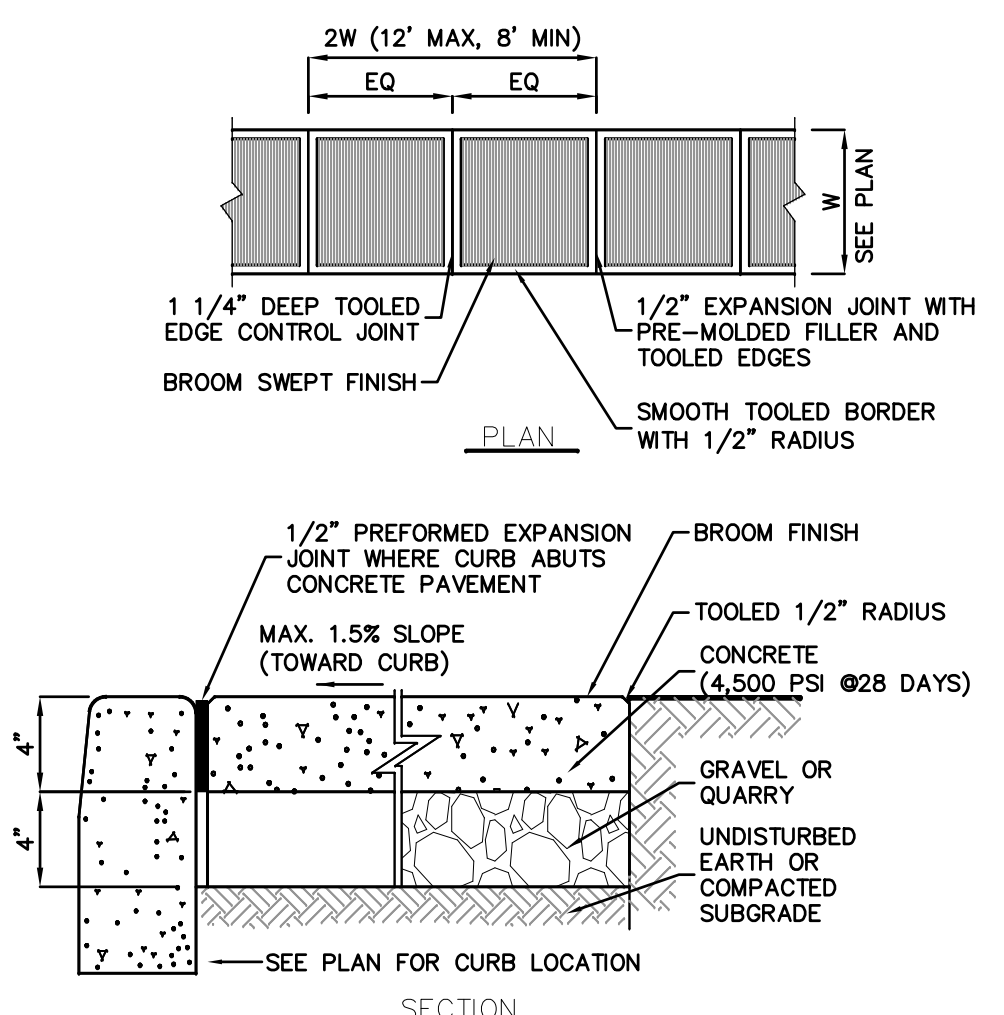
BERGEN COUNTY CURB

NOT TO SCALE

- NOTE:
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED 10'-0" APART & SHALL BE FILLED WITH PREFORMED BITUMINOUS JOINT FILLER AASHO DESIGNATION M215 RECESSED 1/4" FROM TOP & FACE
- Ⓐ BITUMINOUS CONCRETE SURFACE COURSE (MIX 1-4 OR 1-5)
 - Ⓑ BITUMINOUS BASE COURSE (2-3" LIFTS)
 - Ⓒ DENSE GRADE AGGREGATE BASE COURSE

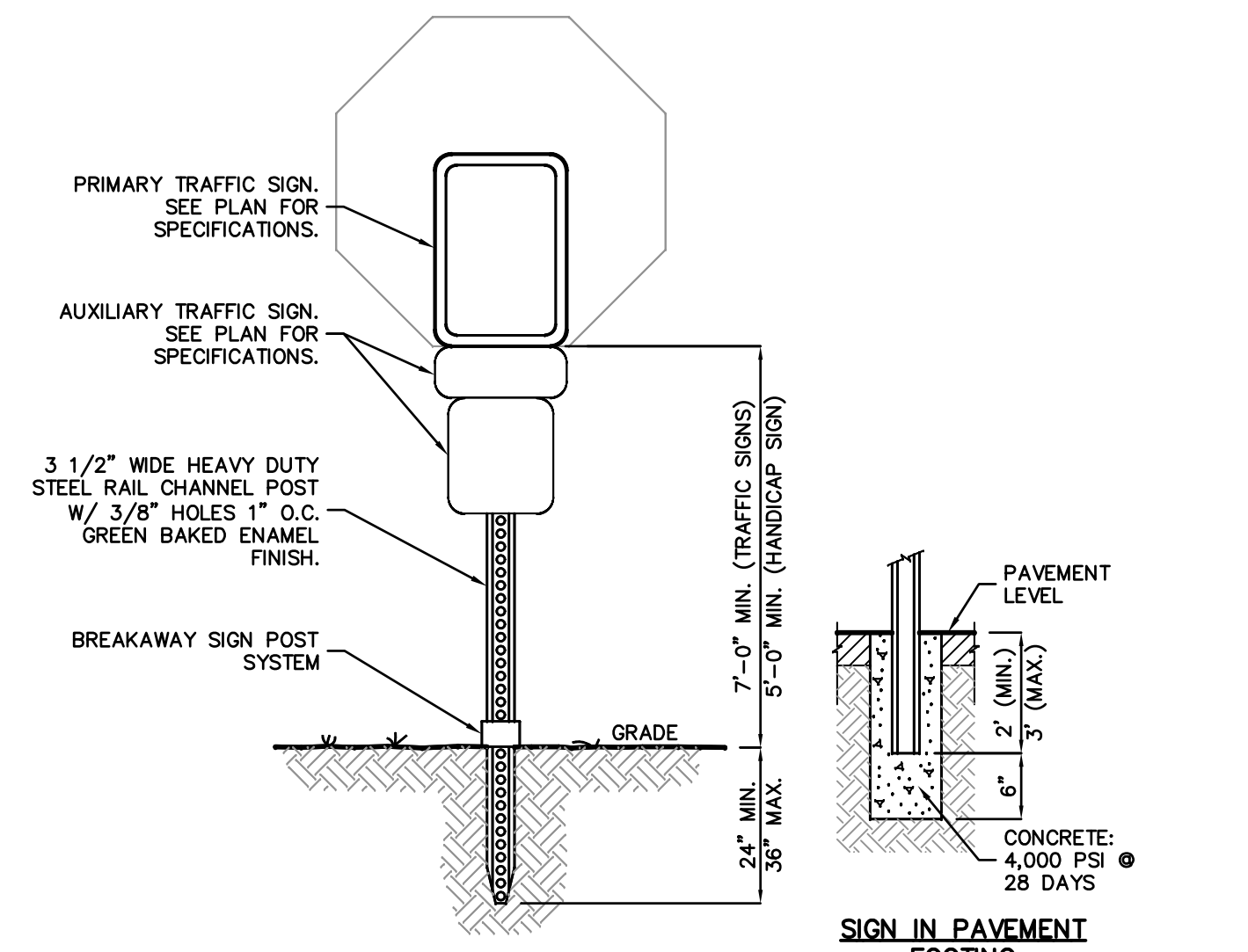
BERGEN COUNTY CURB

NOT TO SCALE



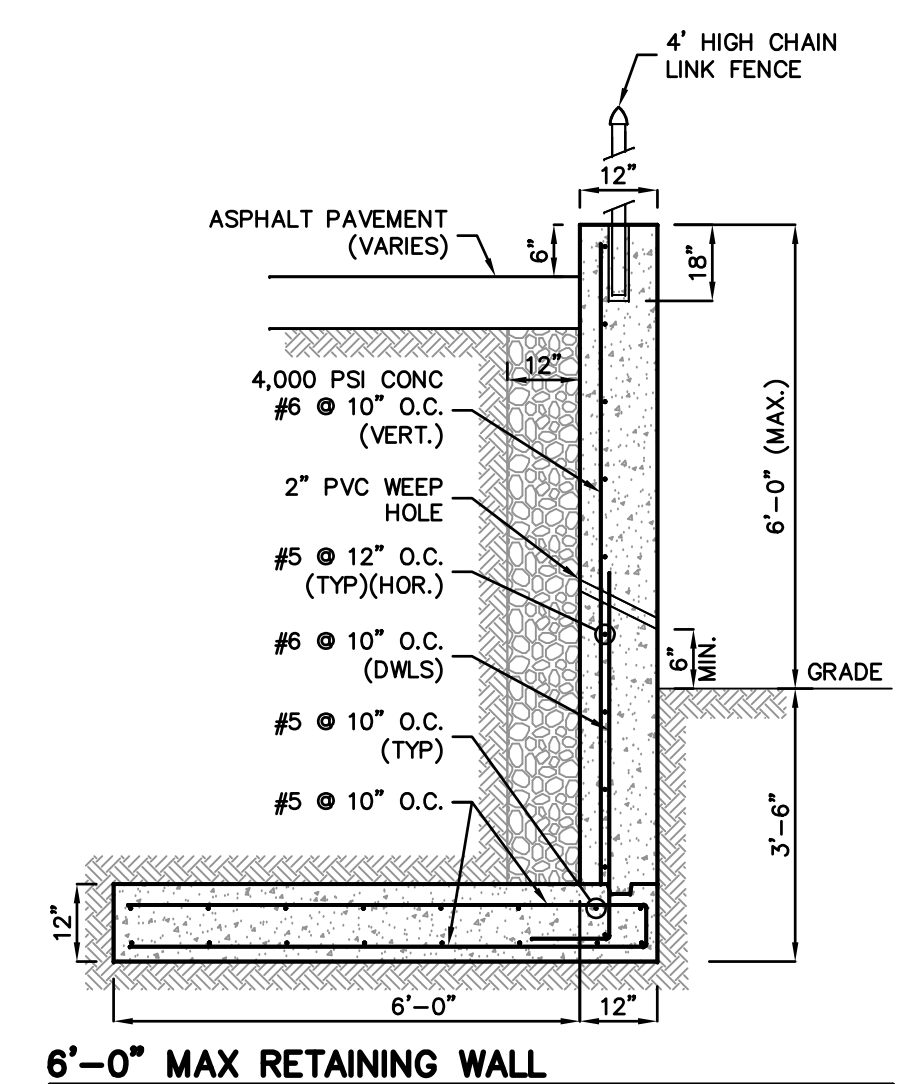
CONCRETE SIDEWALK DETAIL

NOT TO SCALE



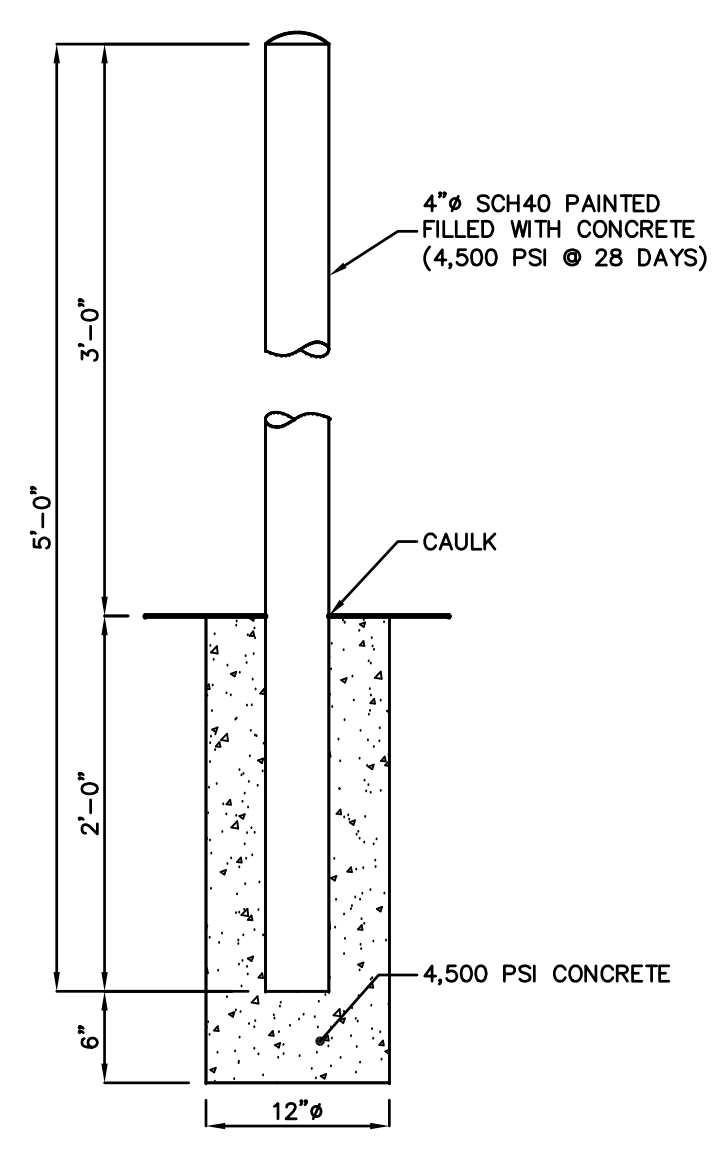
TRAFFIC SIGN DETAIL

NOT TO SCALE



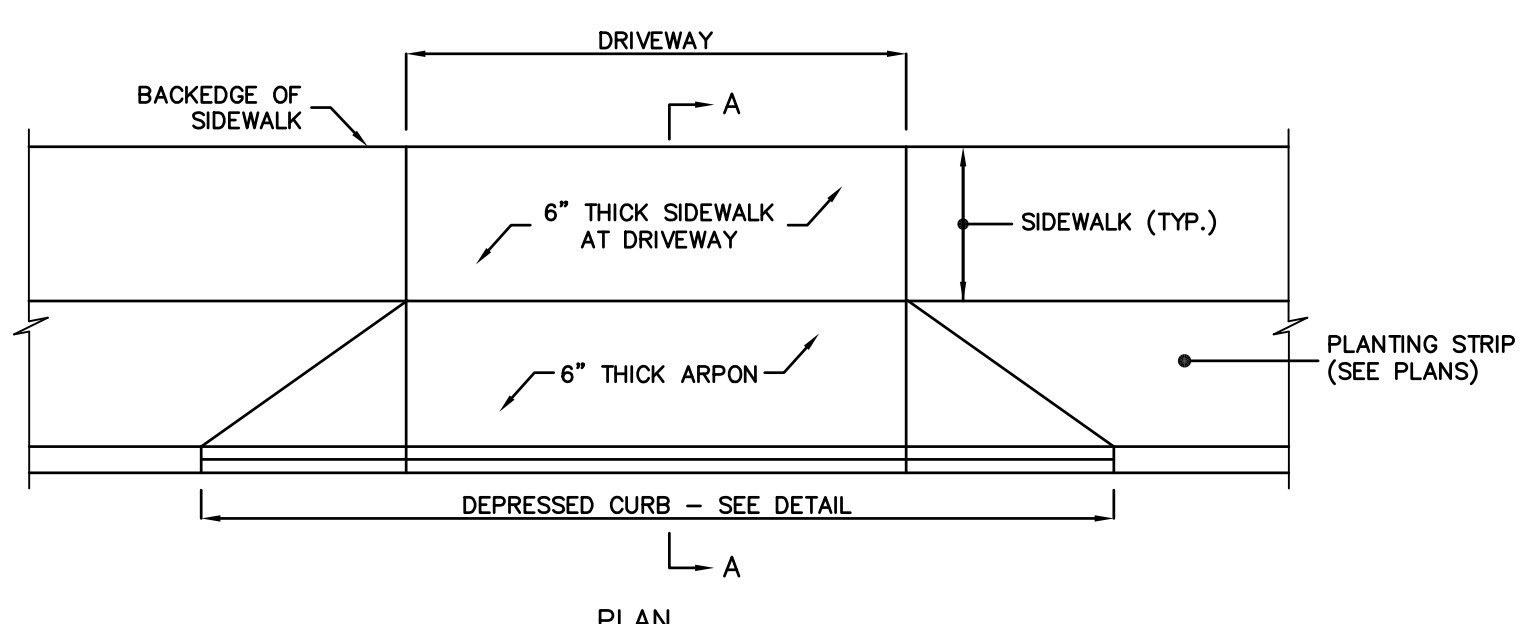
6'-0" MAX RETAINING WALL

NOT TO SCALE



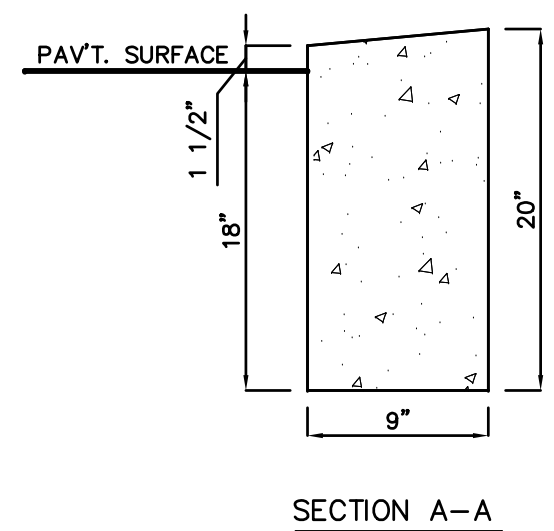
PIPE BOLLARD

NOT TO SCALE



CONCRETE APRON

NOT TO SCALE



BERGEN COUNTY DEPRESSED CURB DETAIL

NOT TO SCALE

CT4000 Family
ChargePoint® Charging Stations



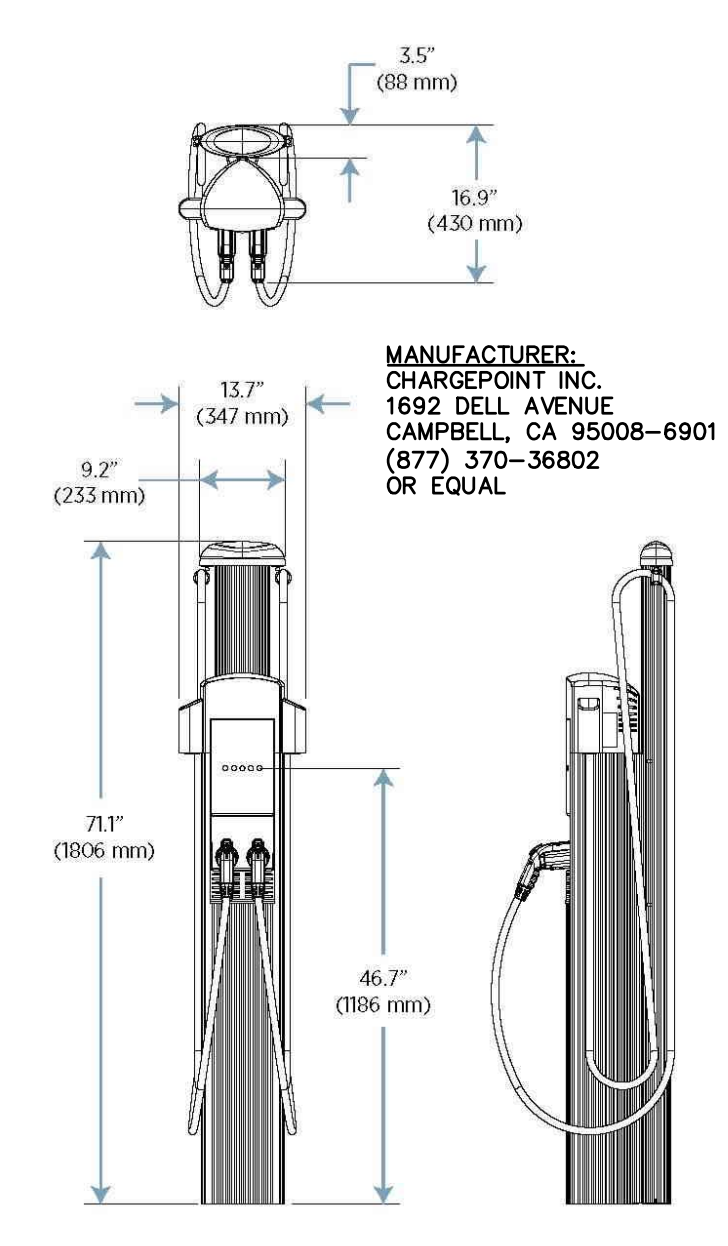
The standard EV Charging Only sign is easily replaceable with your branding.

The cap of the CT4000 family is also available for custom branding.

The 5.7" LCD display provides full motion charging instructions in a clear and simple format. It also allows station owners to deliver advertising messaging.

Driver interaction is supported in any weather by fine rugged, back-lit buttons with audio feedback.

CT4021 Bollard



MANUFACTURER: CHARGEPOINT INC. 1692 DELL AVENUE CAMPBELL, CA 95008-6901 (677) 370-36802 OR EQUAL

ELECTRIC VEHICLE BOLLARD CHARGE STATION - DUAL

NOT TO SCALE

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NY LIC. NO. 071209

NO.	DATE	REVISION
1	10-20-22	ADD DUMPSTER WITH COVER DETAIL AND EV CHARGING STATION
2	2-11-23	REMOVE DUMPSTER WITH COVER DETAIL

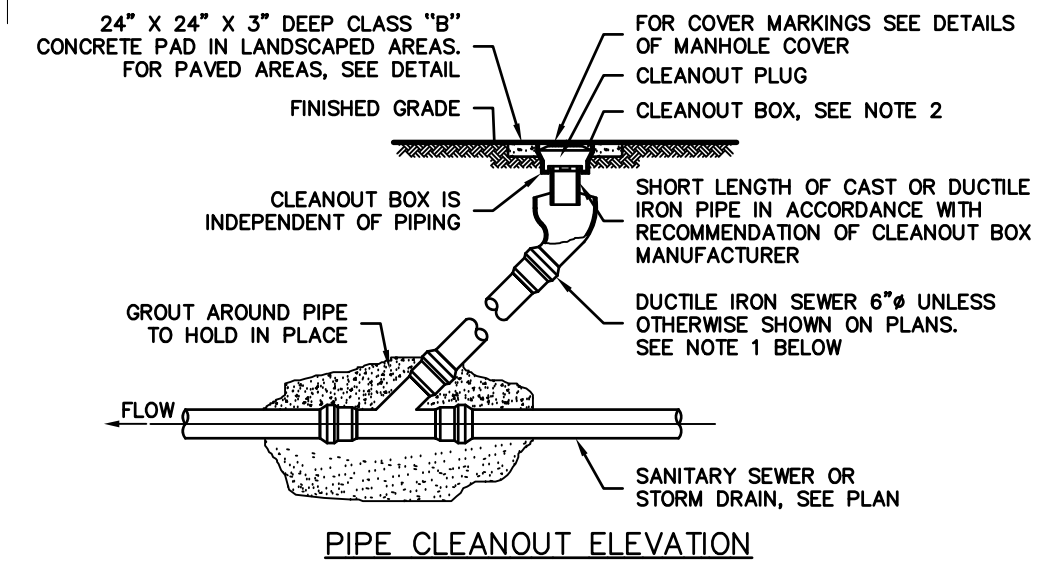
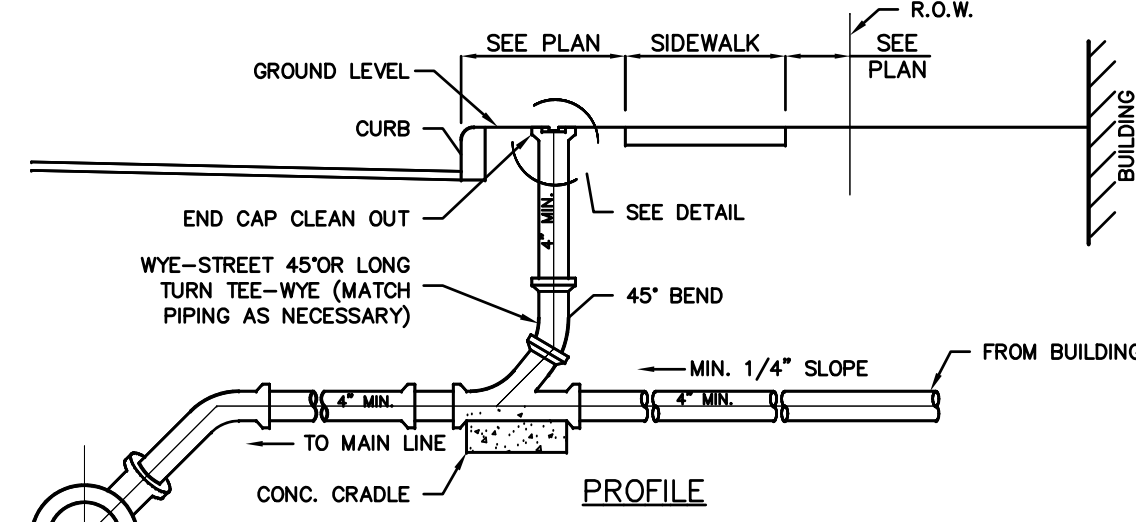
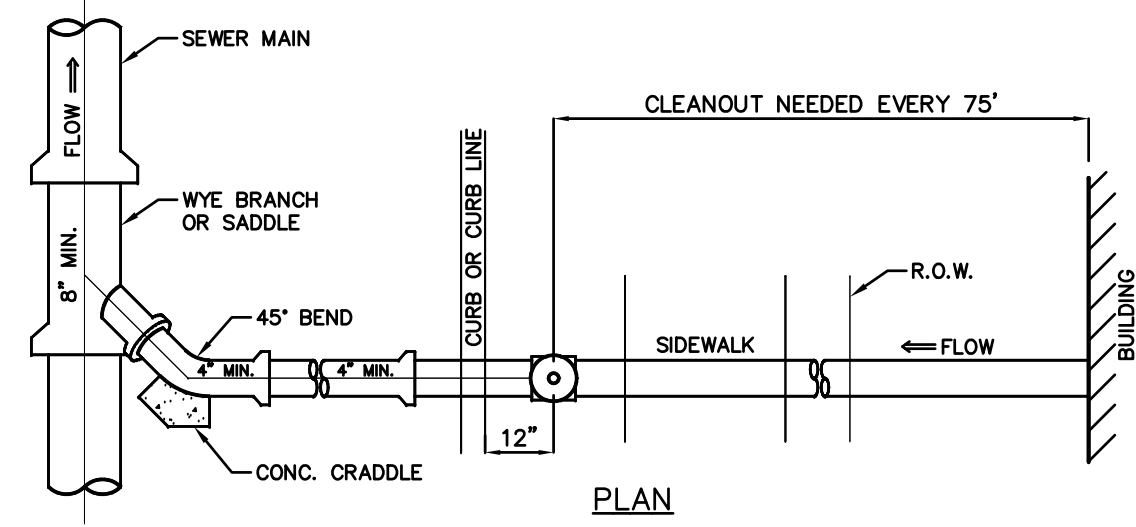
SITE DETAILS

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

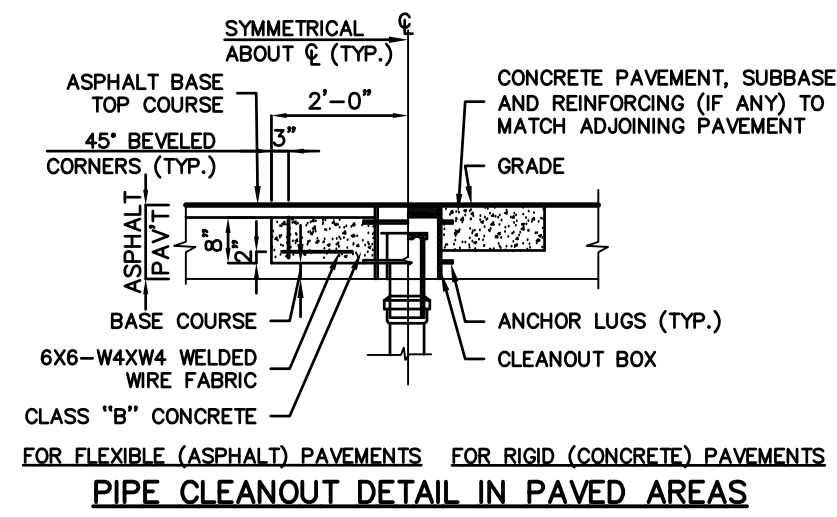
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 2
DRAWING NO.	

C3.1

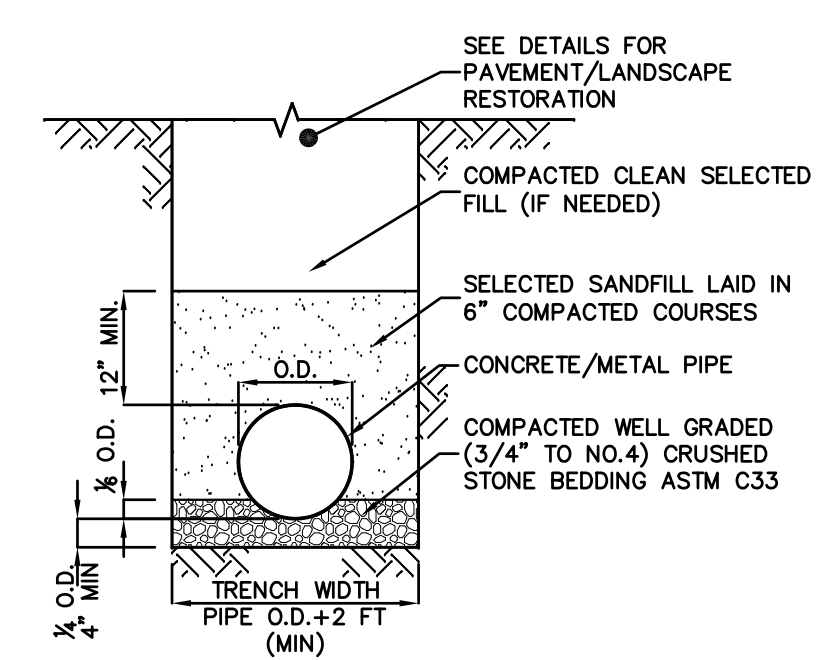


- NOTES:**
- CLEANOUT PIPING ASTM A746 CLASS 50 WITH PUSH ON, GASKETED JOINTS. CONTRACTOR SHALL PROVIDE BENDS OR OTHER SPECIAL FITTINGS FOR UNDERGROUND PIPING AS REQUIRED TO FOLLOW ALIGNMENT SHOWN ON PLAN AND TO CONNECT TO SEWER OR DRAIN.
 - HEAVY DUTY CAST IRON FRAME AND COVER DESIGNED FOR HS25 HIGHWAY LOADING. SUBMIT DETAILS FOR APPROVAL.

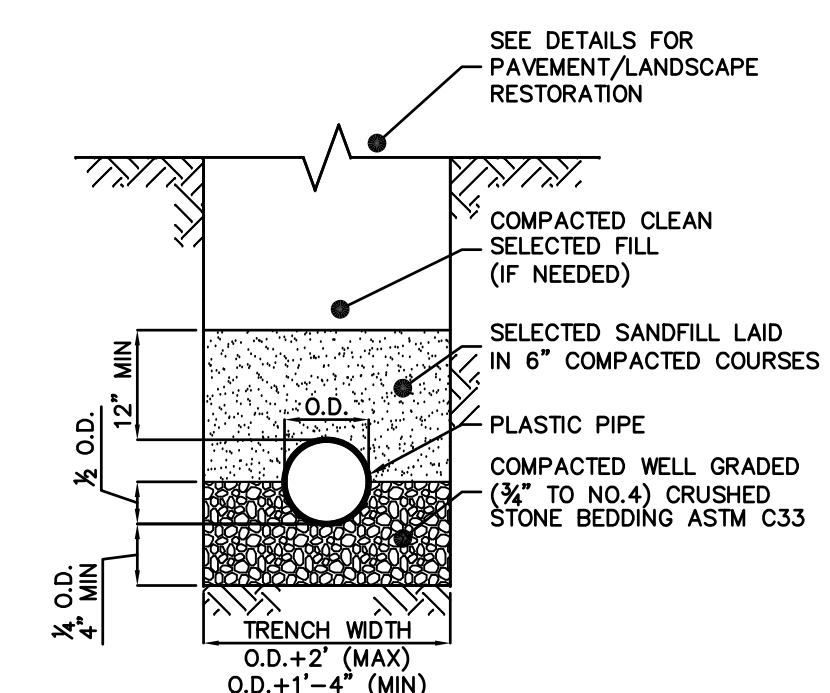


- NOTES:**
- SEE PLAN FOR PIPE SIZES, SLOPE AND LOCATIONS.
 - MAINTAIN 1% MIN SLOPE. USE 2% SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN.
 - CLEANOUTS TO BE AS SHOWN ON PLAN, BUT NOT GREATER THAN 75' O.C. FOR 4" LATERAL.

BUILDING SEWER CONNECTION AND CLEANOUT DETAIL NOT TO SCALE



CONCRETE/METAL PIPE IN TRENCH NOT TO SCALE

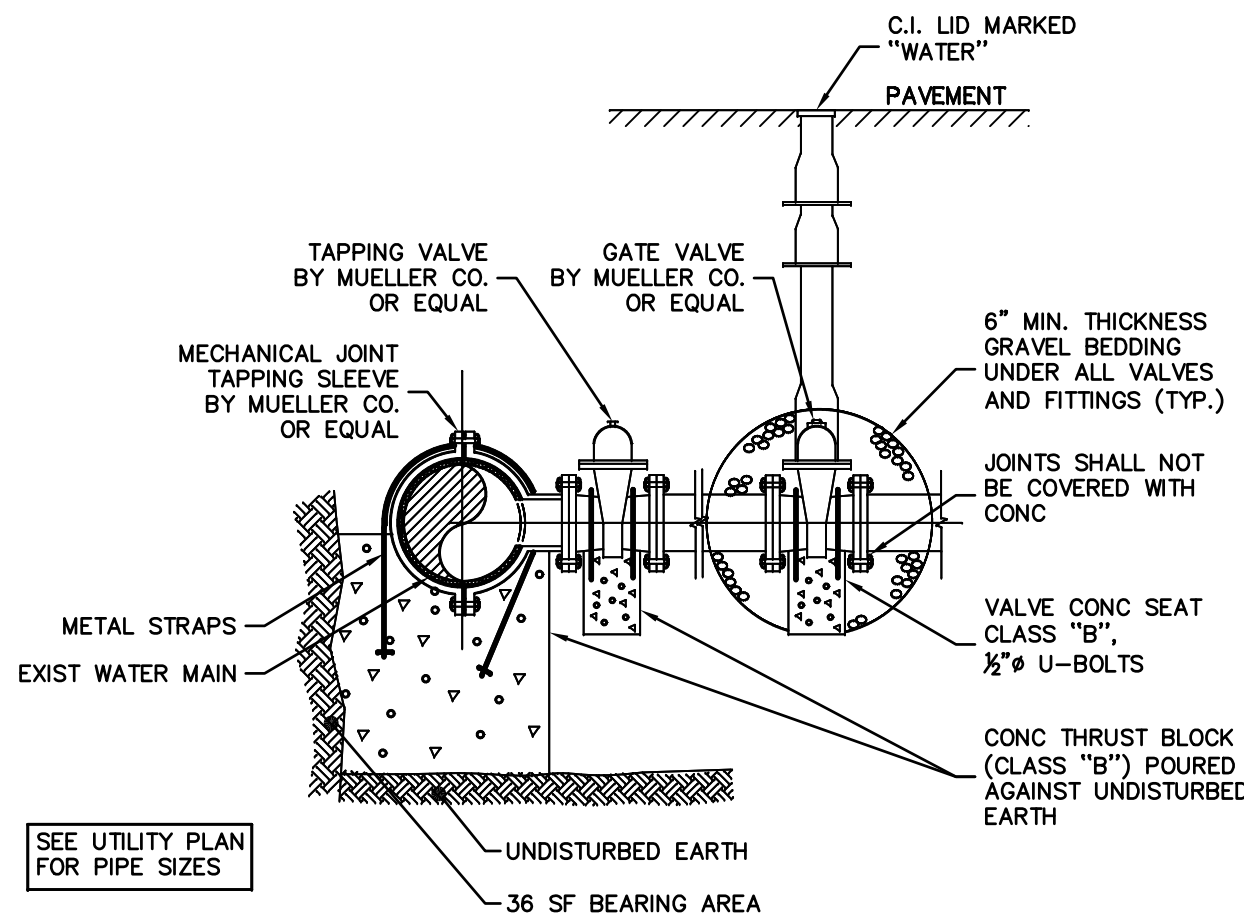


PLASTIC PIPE IN TRENCH NOT TO SCALE

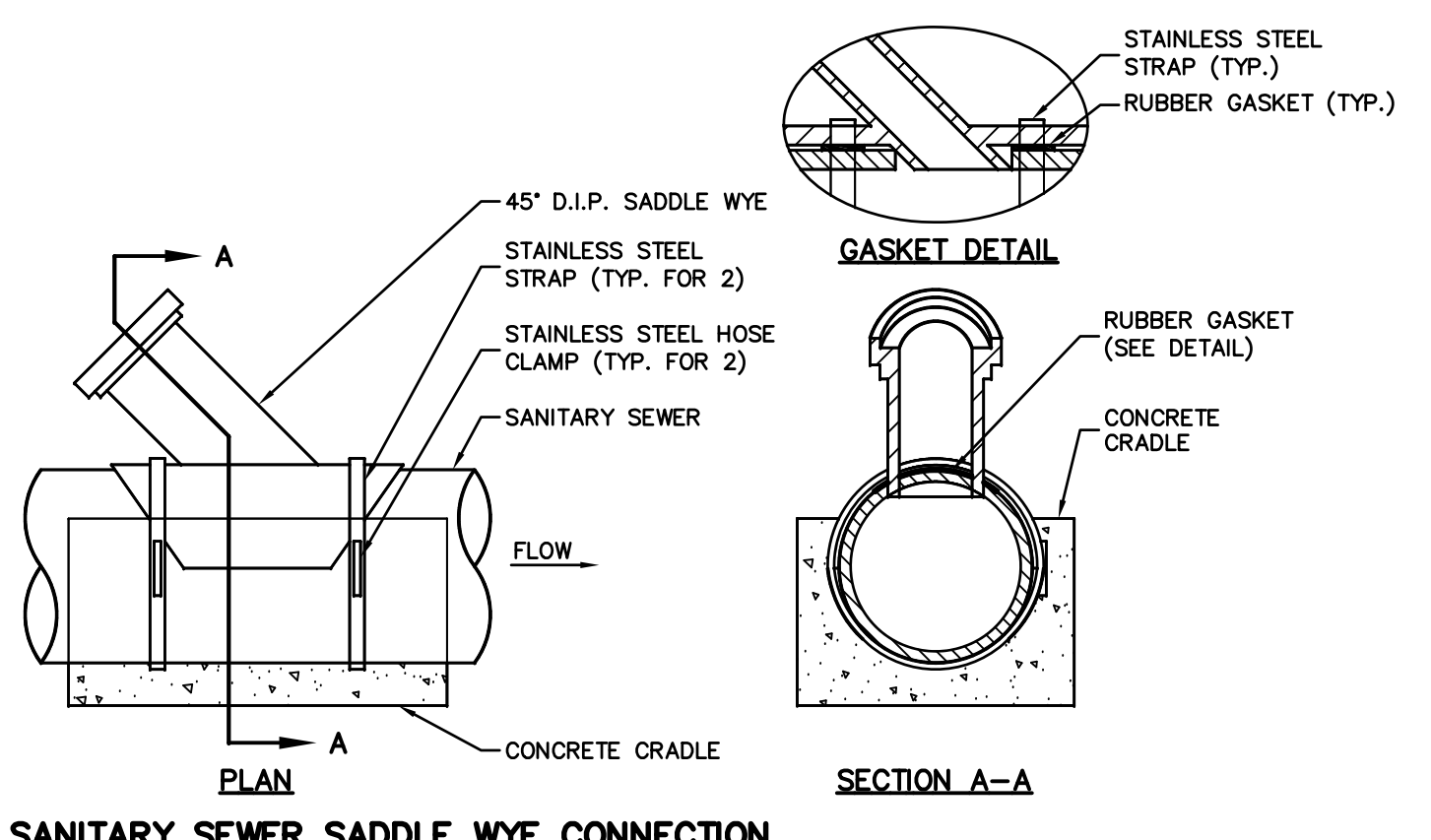
PIPE DIAMETER (ø)	5"-22.5"	23"-45"	46"-90"	TEE CONNECTION	45° WYE	PLUG
	CONTACT BEARING AREA OF BLOCK WITH EARTH, SQUARE FEET					
4"	0.5	1.4	2.6	1.8	2.2	2.0
6"	1.5	3.0	6.0	4.0	4.5	4.5
8"	2.5	5.0	9.5	6.5	9.5	8.0
10"	4.1	8.0	13.0	9.5	12.5	12.5
12"	5.5	11.5	19.0	13.5	16.0	18.0
16"	9.0	18.0	33.0	23.0	27.0	32.0
20"	14.0	28.0	51.0	36.0	42.0	50.5

- NOTES:**
- BEARING AREA ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 1,000 POUND PER SQUARE FOOT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.
 - ALL CONCRETE THRUST BLOCKS SHALL BE CLASS "B".
 - THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - NO JOINT SHALL BE COVERED WITH CONCRETE.
 - APPROVED MECHANICAL JOINT RESTRAINTS ARE REQUIRED AT ALL VERTICAL BENDS AND MAY BE USED IN LIEU OF THRUST BLOCK AT HORIZONTAL BENDS AT THE OPTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
 - A BITUMASTIC COATING SHALL BE APPLIED TO ALL BOLTS, NUTS, WASHERS, RODS, THRUST RESTRAINT BOLTS AND ALL UNCOATED HARDWARE.
 - 6 MIL POLY SHEATING SHALL BE PLACED BETWEEN FITTINGS AND CONCRETE THRUST BLOCKS.

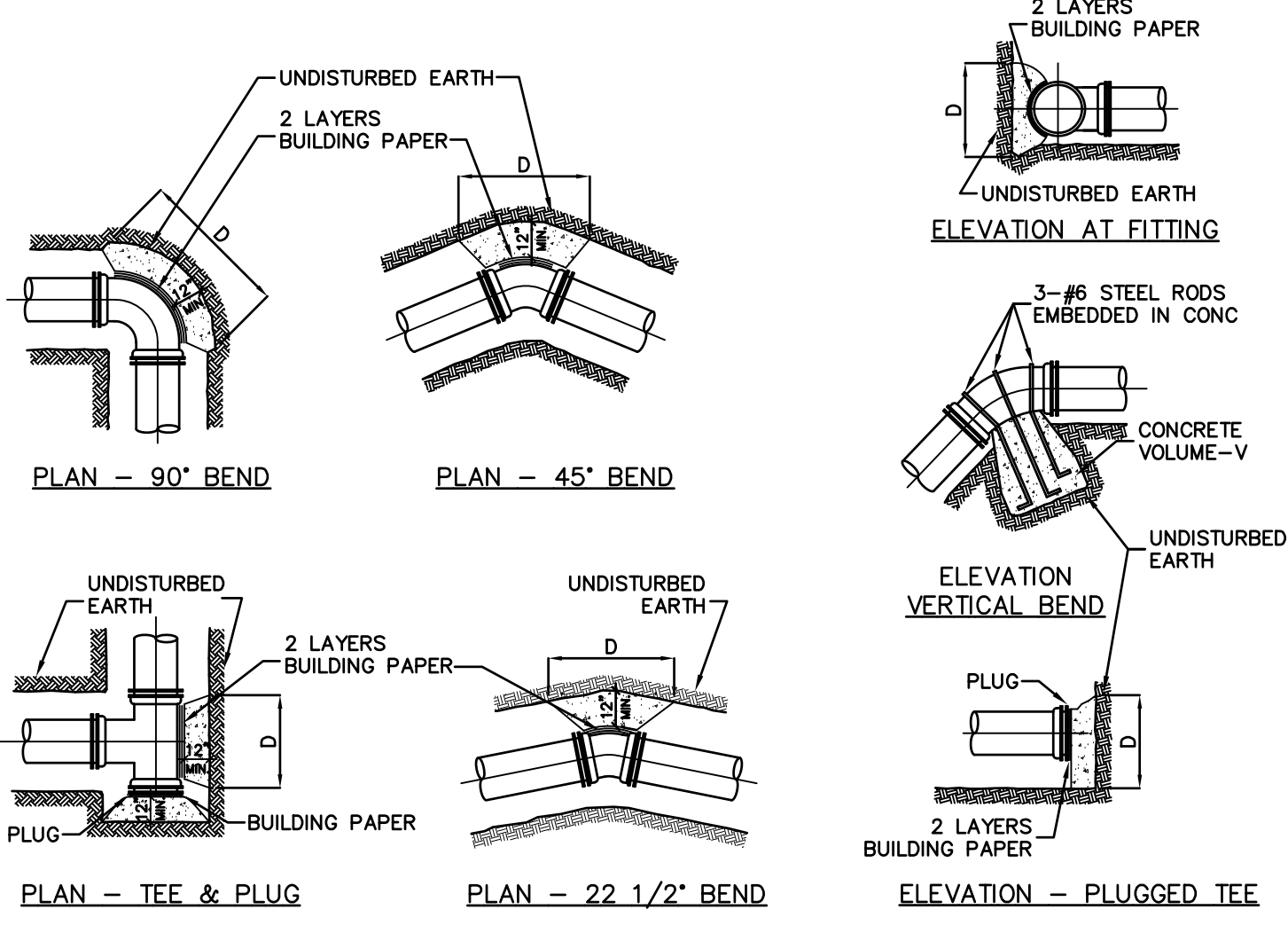
THRUST BLOCK SCHEDULE



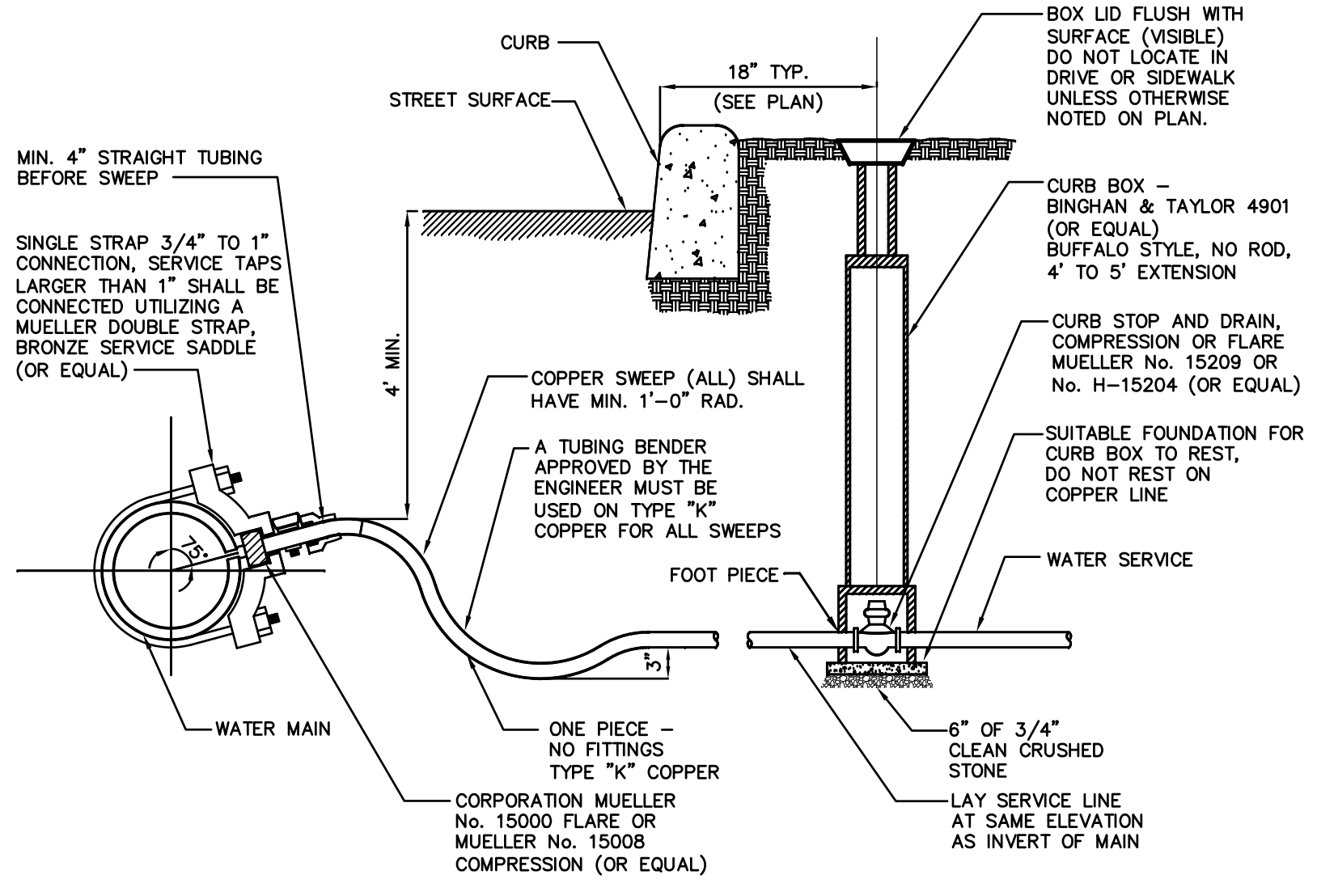
WATER MAIN TAPPING (OVER 4" NPS) NOT TO SCALE



SANITARY SEWER SADDLE WYE CONNECTION NOT TO SCALE



THRUST BLOCK DETAILS NOT TO SCALE



WATER SERVICE CONNECTION (3/4" TO 2" NPS) NOT TO SCALE

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NY LIC. NO. 071209

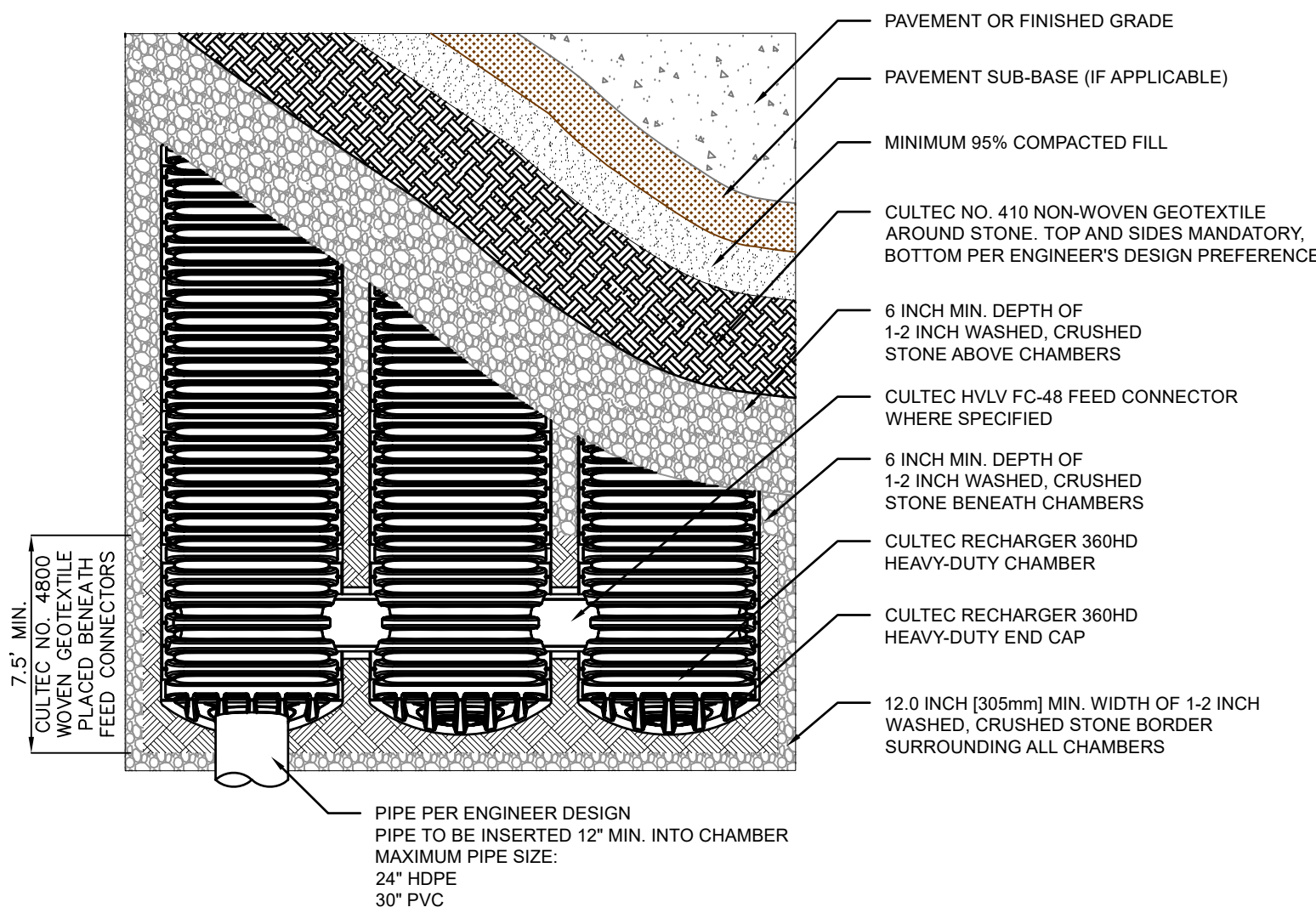
UTILITY DETAILS

MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH0002800

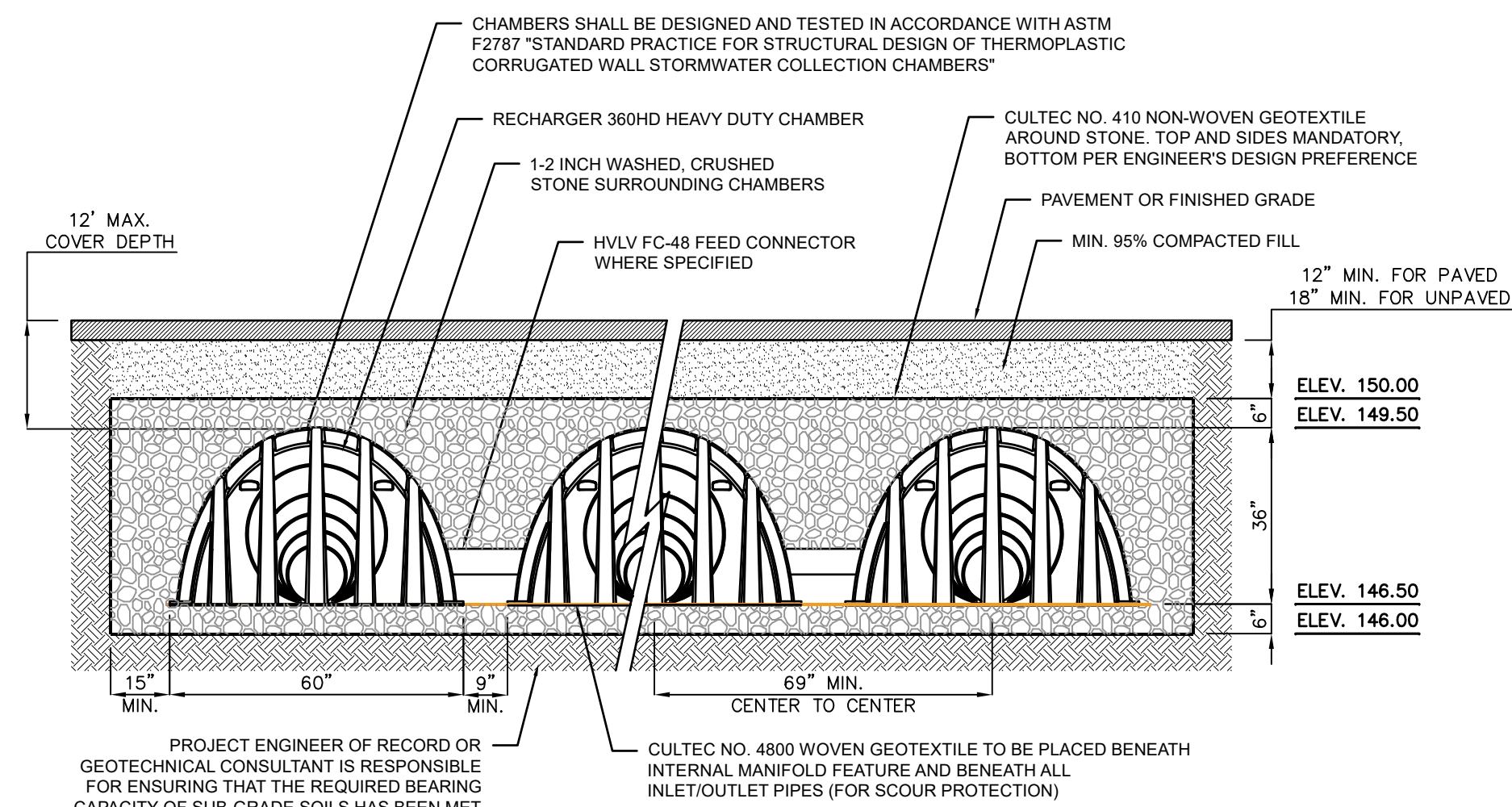
DRAWN BY: M.B.L.	CHECKED BY: S.P.F.
SCALE: AS SHOWN	PROJECT NO: 22-146
DATE: 6-13-22	REVISION NO: 0

C3.2



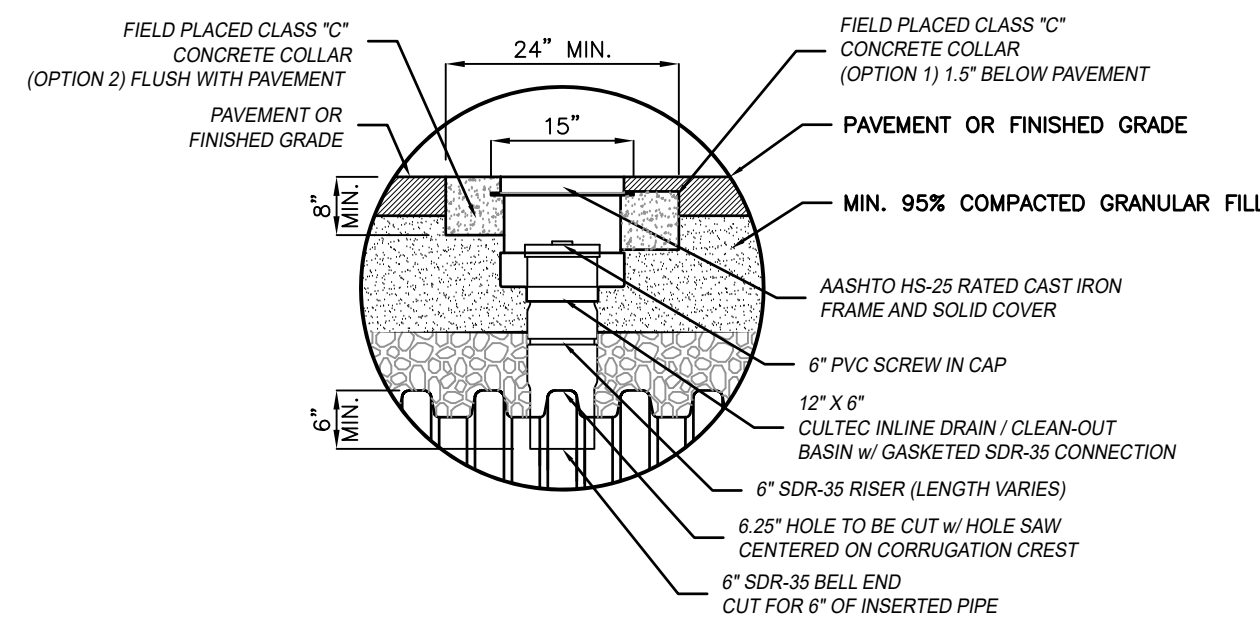
CULTEC RECHARGER 360HD PLAN VIEW

NOT TO SCALE



CULTEC RECHARGER 360HD TYPICAL CROSS SECTION

NOT TO SCALE

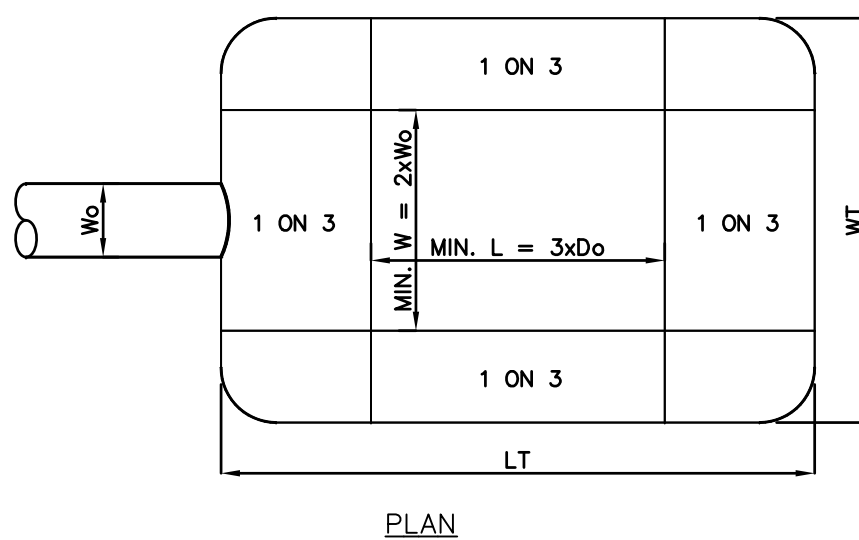
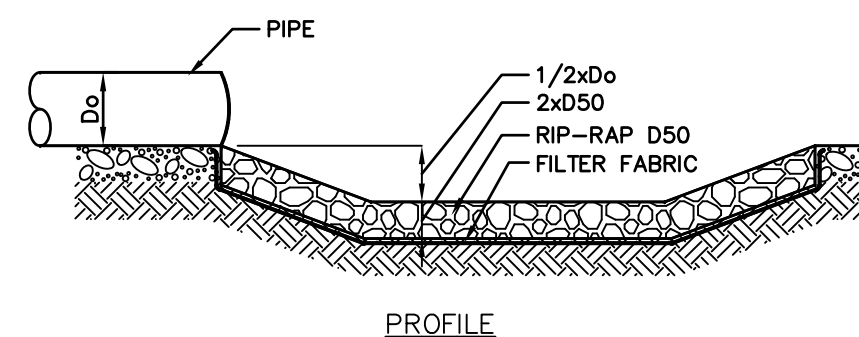


INSPECTION PORT DETAIL

NOT TO SCALE

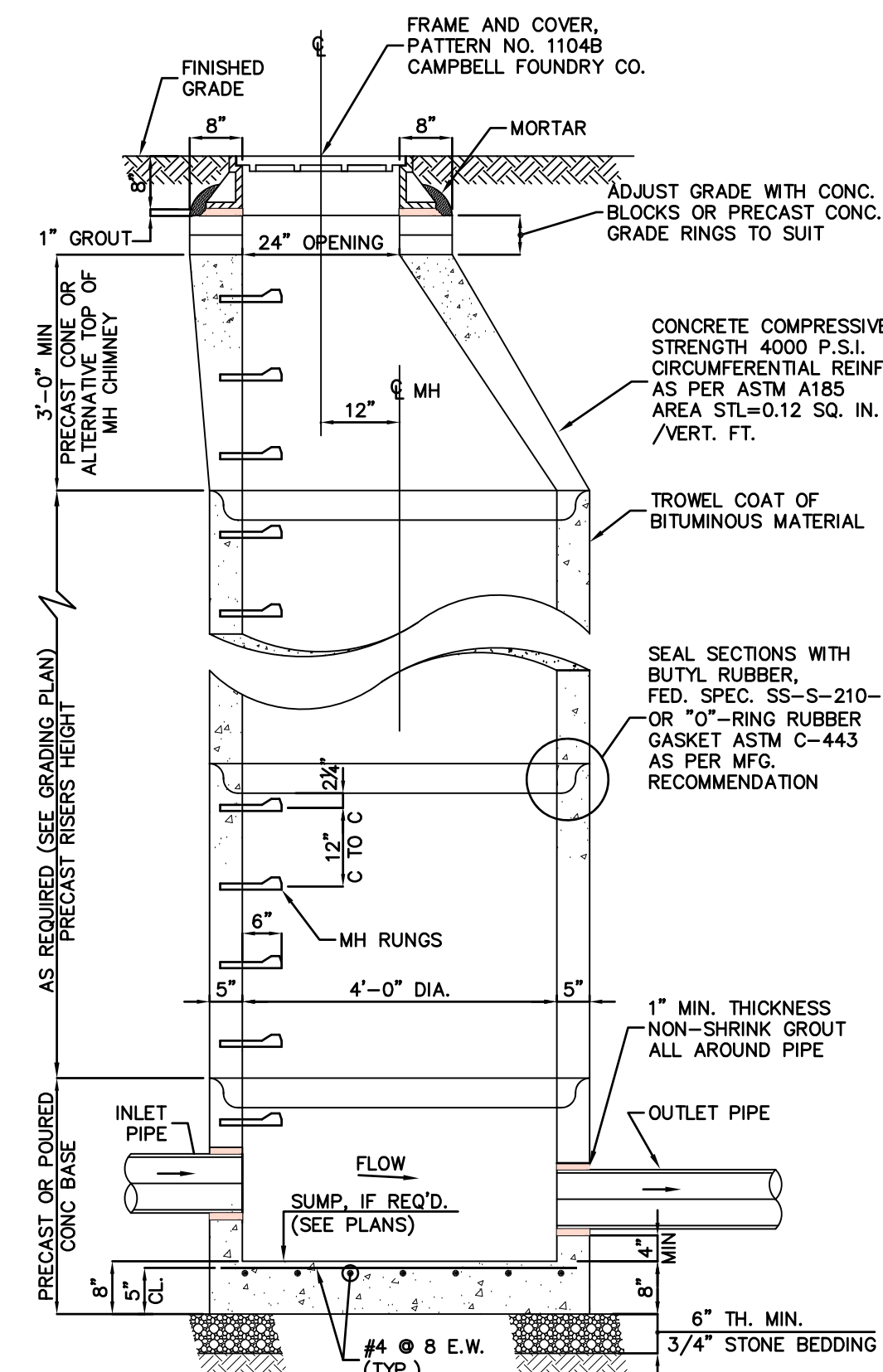
OUTLET SCHEDULE

OUTLET #	D _o	W _o	L	W	LT	WT	D ₅₀
#1	15"	15"	4.5'	6.5'	9'	10.25'	4"



PREFORMED SCOUR HOLE DETAIL

NOT TO SCALE



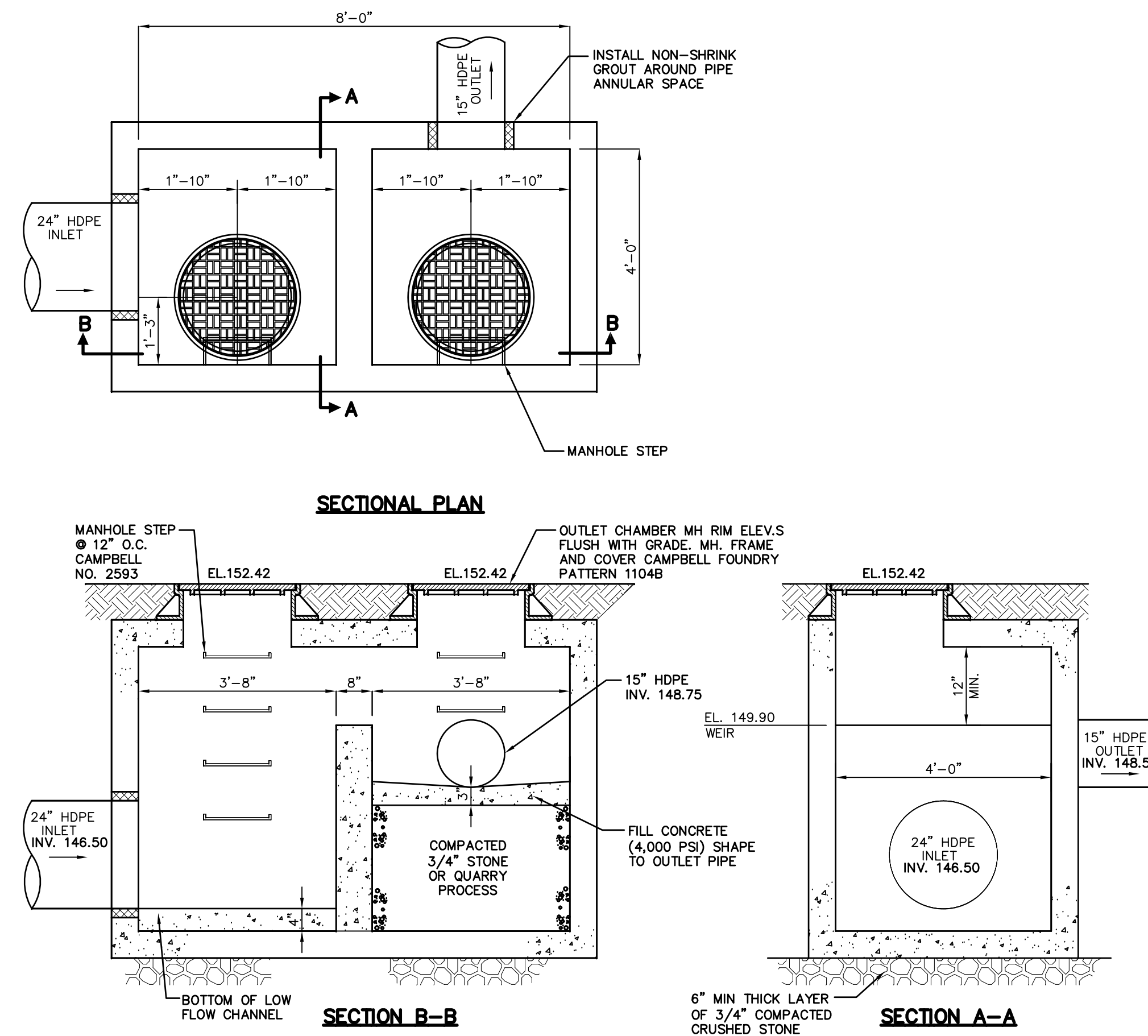
- NOTES
- MANHOLE DESIGN SPECIFICATIONS CONFORMS TO "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" ASTM C478, LATEST REVISION.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, INCLUDING STANDARD DETAILS AND SEPARATE DRILL SHEETS FOR EACH STRUCTURE, TO ENGINEER PRIOR TO FABRICATION.

DRAINAGE MANHOLE

NOT TO SCALE

OVERFLOW RISER DETAIL

NOT TO SCALE



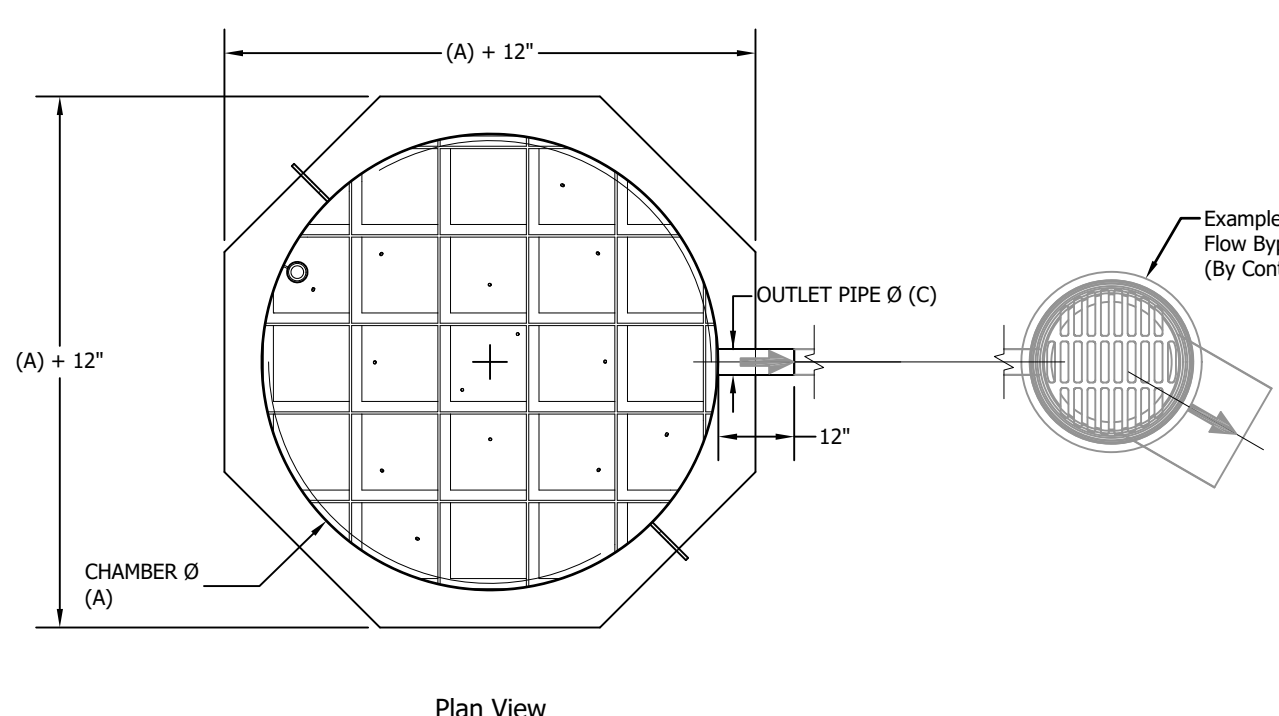
OUTLET CONTROL STRUCTURE

NOT TO SCALE

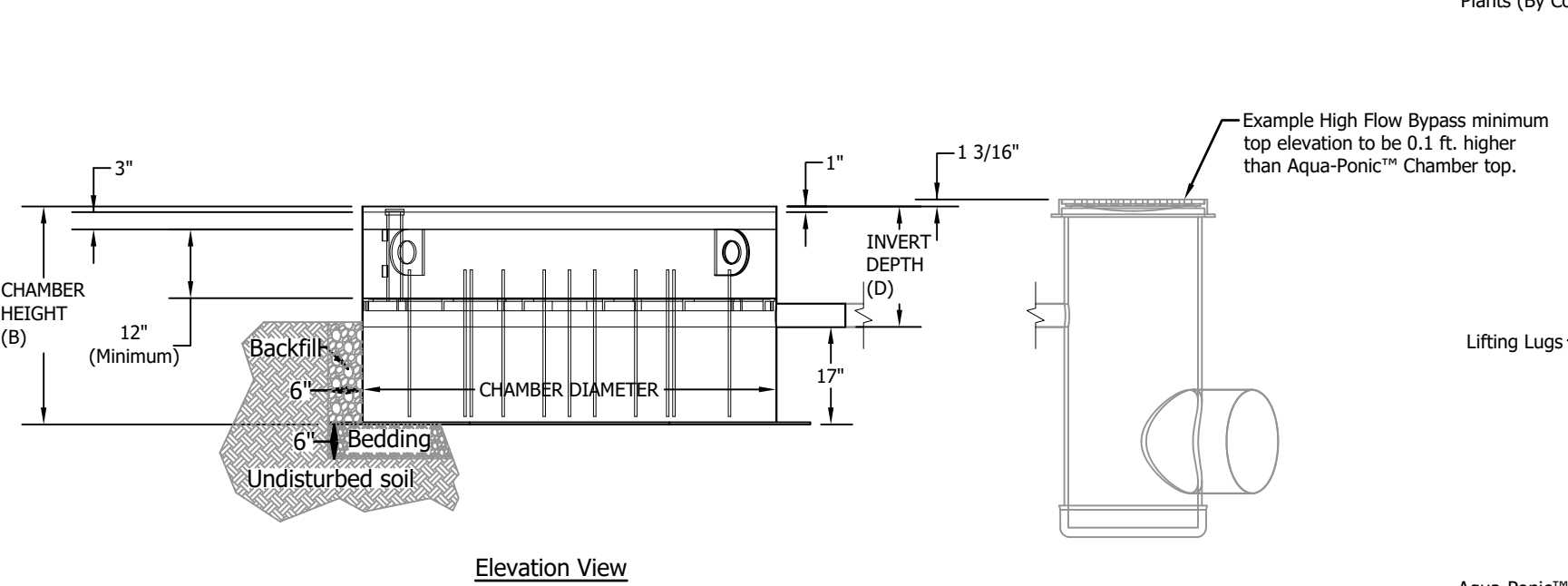
Aqua-Ponic™ Standard Details

Aqua-Ponic™ Model	Chamber Diameter (in) (A)	Minimum Chamber Height (in)* (B)	Outlet Pipe Diameter (in) (C)	Invert Depth from Grade (in)* (D)
AP-2	24"	38"	4"	21"
AP-3	36"			
AP-4	48"			
AP-5	60"	40"	6"	23"
AP-6	72"			
AP-7	84"			
AP-8	96"	42"	8"	25"
AP-9	108"			
AP-10	120"			
AP-11	132"	44"	10"	27"
AP-12	144"			
AP-13	156"			

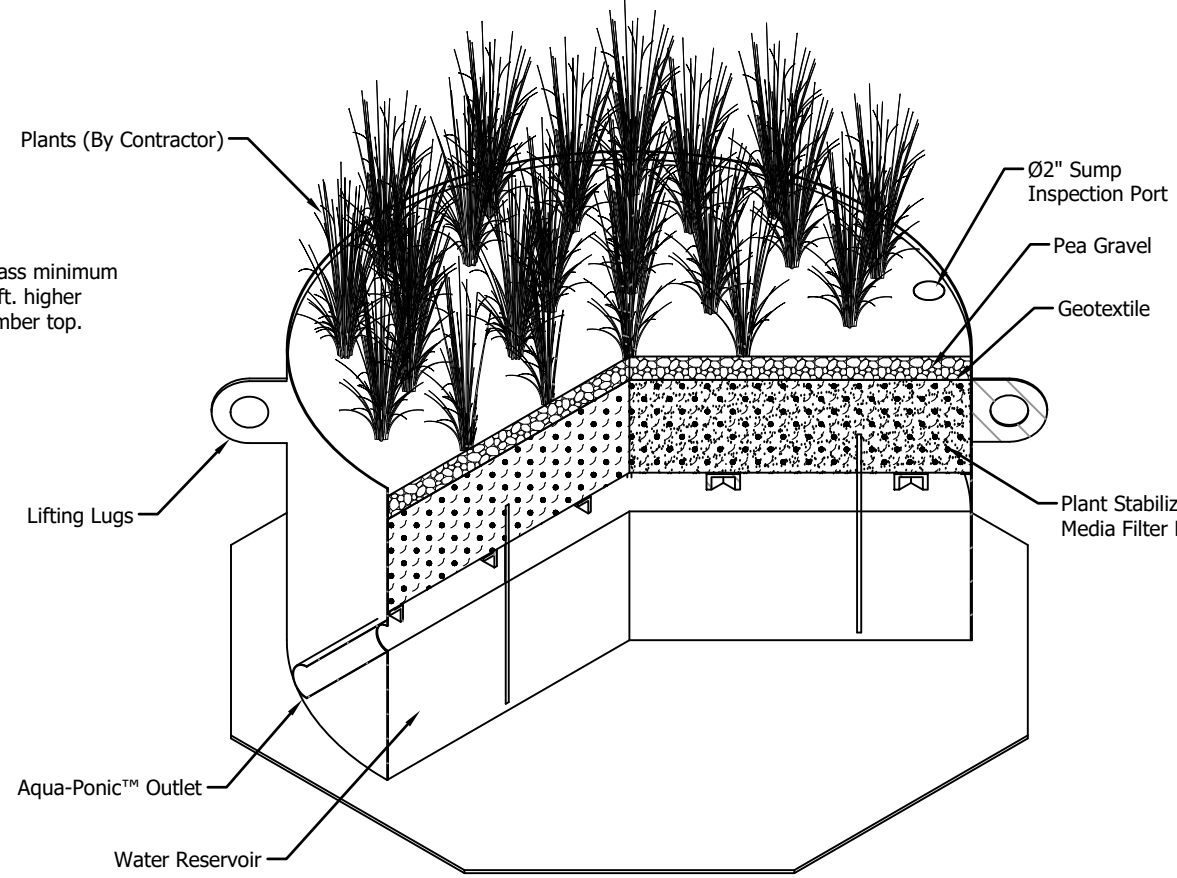
* Chamber height & Invert depth based on 12" filter bed depth (18" & 24" available upon request).



Plan View



Elevation View



AQUA-PONIC STORMWATER BIOFILTRATION SYSTEM

NOT TO SCALE

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PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

DRAINAGE DETAILS

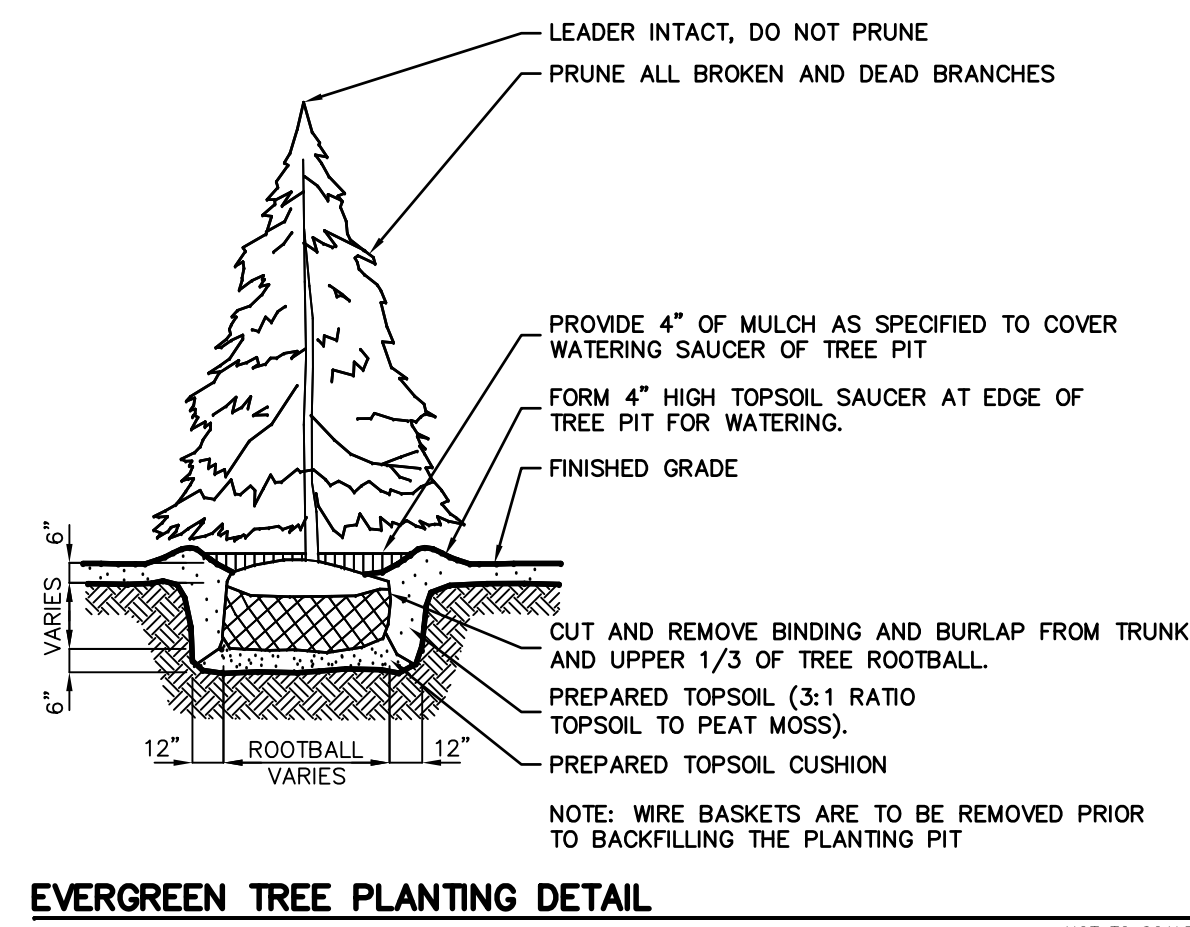
PROJECT: MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT: MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

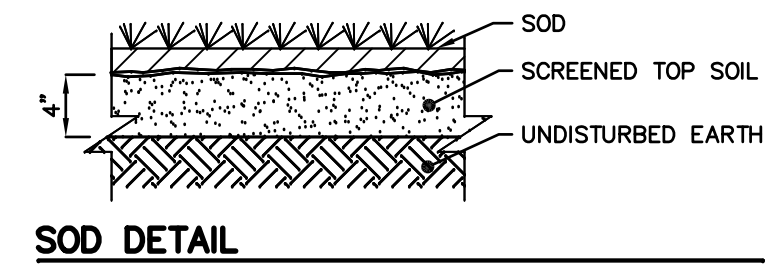
CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH0002800

DRAWN BY: M.B.L. CHECKED BY: S.P.F.
SCALE: AS SHOWN PROJECT NO: 22-146
DATE: 6-13-22 REVISION NO: 0

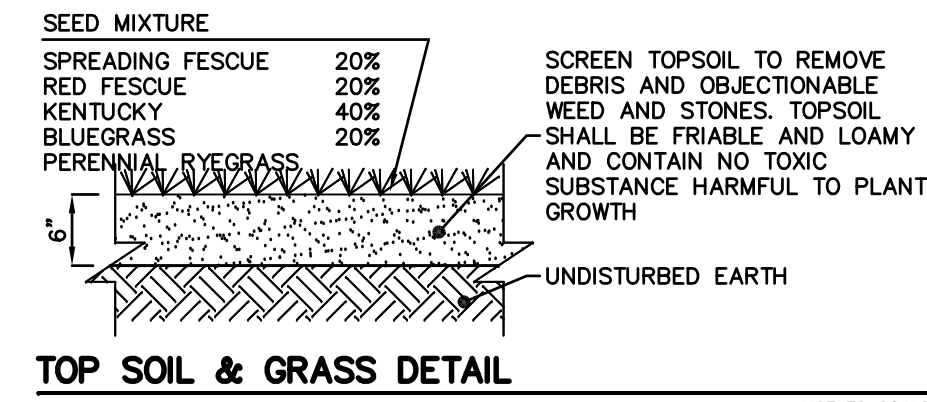
DRAWING NO: C3.3



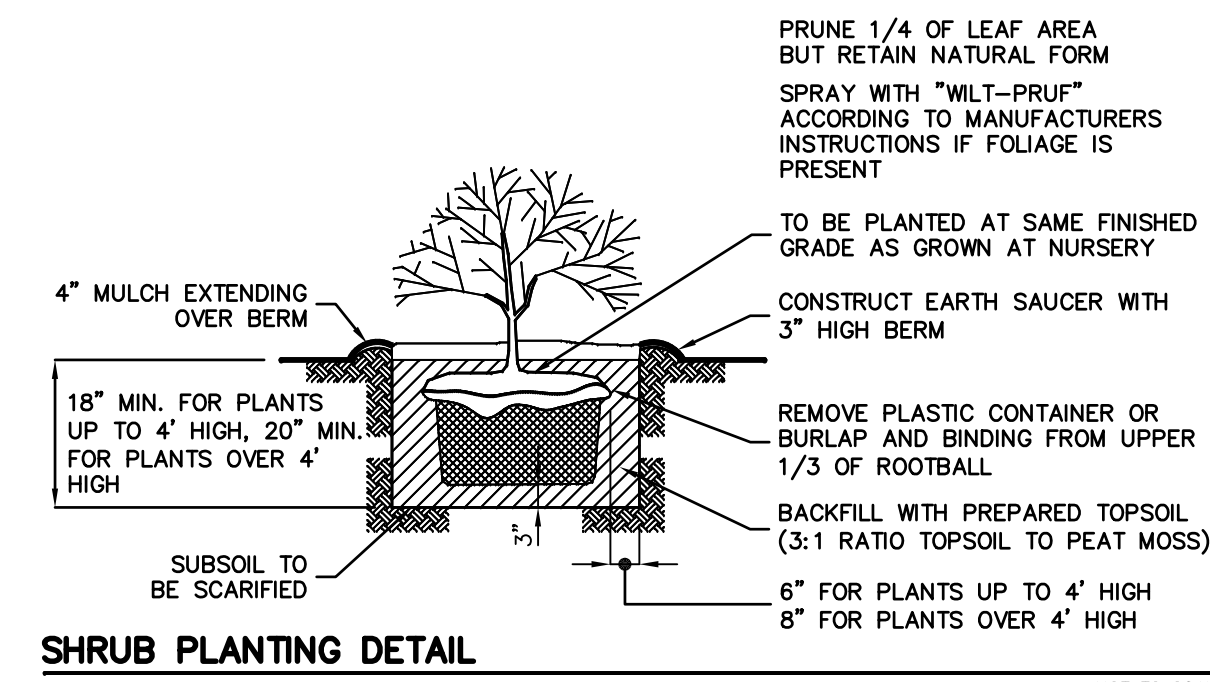
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



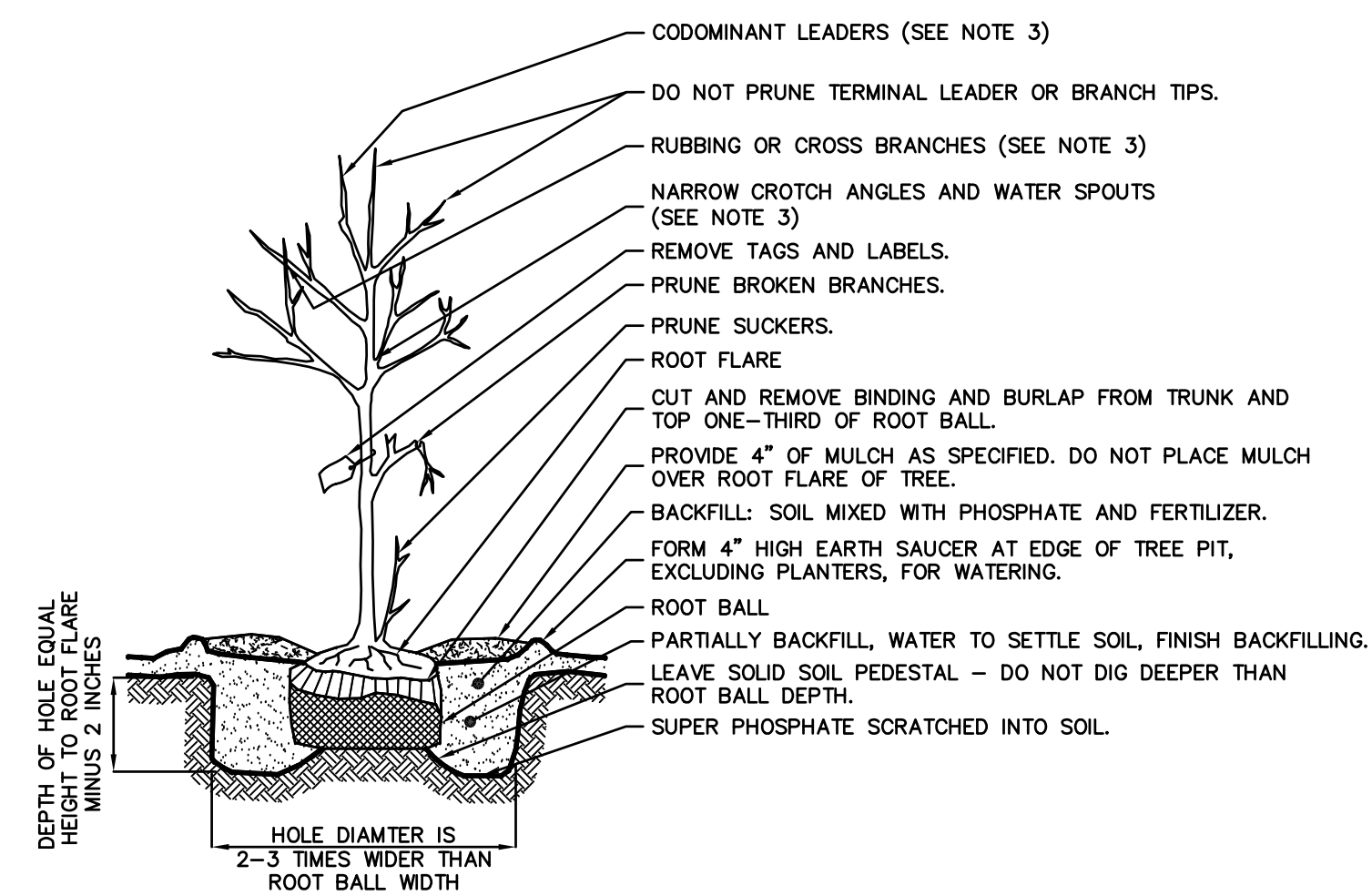
SOD DETAIL
NOT TO SCALE



TOP SOIL & GRASS DETAIL
NOT TO SCALE

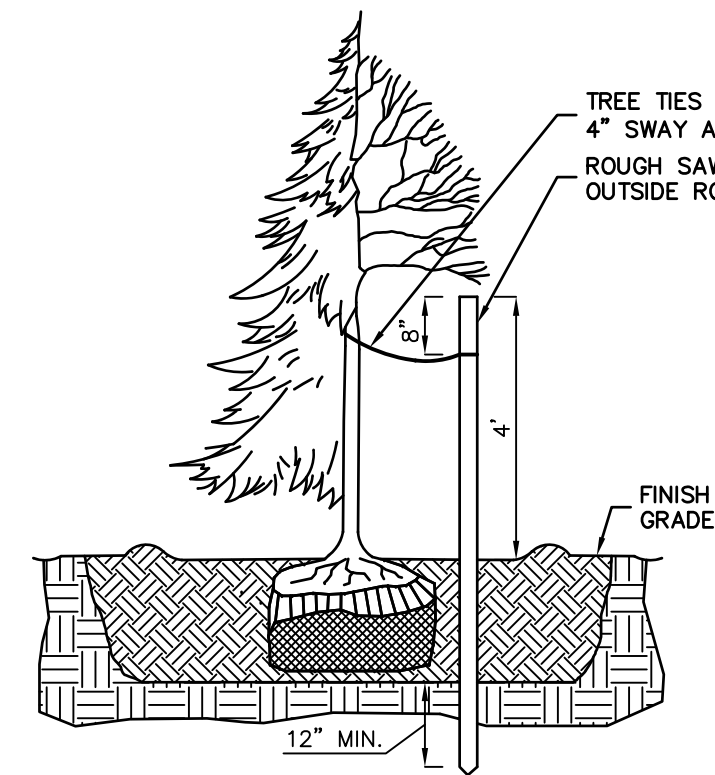


SHRUB PLANTING DETAIL
NOT TO SCALE



- NOTES:
1. WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
 2. IF TRUNK WRAPPING IS REQUIRED USE A WATERPROOF, BIODEGRADABLE TREE WRAP WITH 50% OVERLAP SECURED WITH HEMP CORD TO FIRST BRANCHING.
 3. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES, ANY SUCKERS AND ANY BRANCHES THAT MAY BE A HAZARD TO PEDESTRIANS. AT 2-3 YEARS AFTER PLANTING, PRUNE THE FOLLOWING: CODOMINANT LEADERS, RUBBING OR CROSS BRANCHES, WATER SPOUTS AND BRANCHES WITH NARROW CROTCH ANGLES.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



TREE STAKING DETAIL
NOT TO SCALE

- TREE STAKING NOTES:**
1. STAKES TO BE CONSTRUCTION GRADE ROUGH SAWN OR FINISHED DOUGLAR FIR OR PINE. STAKE SIZE TO BE 1 1/2" X 1 1/2" BY THE FOLLOWING LENGTHS:
 - TREES 36" AND SHORTER (AT TIME OF PLANTING): USE ONE (1) 8 FT LONG (APPROX.) STAKE
 - TREES TALLER THAN 36" (AT TIME OF PLANTING): USE TWO (2) 8 FT LONG (APPROX.) STAKES
 2. DRIVE STAKES VERTICALLY AND AT LEAST 12" INTO UNDISTURBED SOIL. DO NOT DRIVE STAKES THROUGH ROOT BALL. LOCATE STAKES TO BEST RESIST PREVAILING WINDS WHERE POSSIBLE.
 3. TREE TIES TO BE EITHER:
 - A. PLASTIC CHAIN TYPE APPROX. 1" WIDTH BY 1/8" DEPTH. WHERE TWO STAKES ARE REQUIRED, CROSS THE TIES BETWEEN STAKES AND WRAP TIE ONCE AROUND TREE. FASTEN SECURELY TO STAKE.
 - B. 2 STRANDS OF #12 GAUGE GALV. ANNEALED STEEL WIRE TWISTED. PORTION OF WIRE THAT GOES AROUND THE TREE TO BE ENCLOSED IN NEW BLACK REINFORCED RUBBER HOSE. WIRE IS TO BE DOUBLE WRAPPED AROUND STAKE AND TWISTED TO TIGHTEN.

LAWNS: SODDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3 1/2 INCHES PRIOR TO APPLICATION.
3. LAWNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
4. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
5. FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWNS SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRIZNG MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
6. ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

LAWNS: SEEDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
3. HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
4. PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
 - 40% KENTUCKY BLUEGRASS
 - 30% PERENNIAL RYE GRASS
 - 30% TURF TYPE TALL FESCUE
5. APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LBS/1,000 SF).
6. SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
7. LAWNS SHALL BE SEEDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWNS SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
8. MULCH SEEDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). GRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
9. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
10. FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
11. FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
12. ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEEDDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
13. ALL DISTURBED LAWN AREAS SHALL BE SEEDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

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NO.	DATE	REVISION

DRAWING TITLE
LANDSCAPE DETAILS

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY J.A.S.	CHECKED BY S.P.F.
SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 0

DRAWING NO.
C3.4