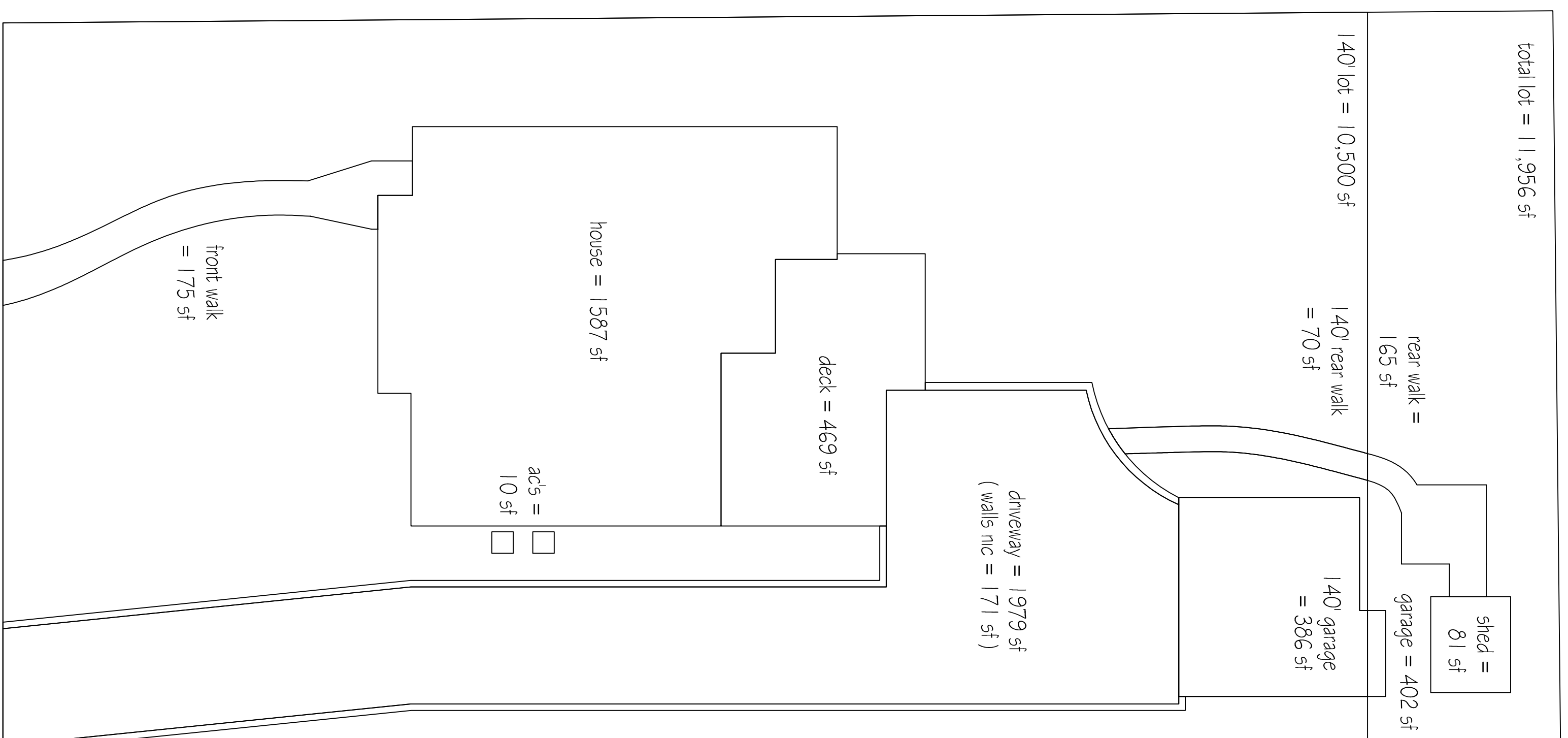


Z O N I N G S C H E D U L E

Item	Required	Existing	Proposed	Variance
Height	Max. 30 ft.	34.5 ft.	11.0 ft.	NO
Front Yard Setback	Min. 45 ft.	37.7 ft. to step 38.4 ft. to 2nd fl	No Change	NO
Side Yard Setback	Min. 15 ft. 2/3 Bld. Ht. = 23.0 ft.	10.9 ft. / 22.8 ft.	24.3 / 23.10 ft.	NO
Rear Yard Setback	Both 33 % Lot = 25.0 ft.	33.7 ft.	47.4 ft.	NO
Lot Area	Min. 14,000 sq. Ft. 140 ft.	11,956 sq. 10,500 sq. ft.	11,956 sq. 10,500 sq. ft.	NO-PE NO-PE
Lot Width	Min. 80 ft.	75 ft.	75 ft.	NO-PE
Avg. Lot Width	Min. 100 ft. @ f.y.s.b.	75 ft.	75 ft.	NO-PE
Lot Depth	Min. 120 ft.	159.02 / 159.80 ft.	159.02 / 159.80 ft.	NO
Lot Coverage	Max. 20 %	18.3 %	21.2 %	YES
Lot Area	Max. 20 % First 140 ft.	19.9 %	23.3 %	YES
Gross Building Area				
Prin. Bld - Ttl Lot	32% / 3826 sq. ft.	26.2% / 3133 sq. ft.	No Change	NO
Prin. Bld - 140 ft.	32% / 3360 sq. ft.	29.8% / 3133 sq. ft.	No Change	NO
Acry. Bld - Ttl Lot	6.5% / 840 sq. ft.	3.4% / 402 sq. ft.	No Change	NO
Acry. Bld - 140 ft.	6.5% / 840 sq. ft.	3.7% / 385 sq. ft.	No Change	NO
Improved Lot Coverage	Max. 45 % Lot Area / 5380 sq. ft.	37.9% / 4592 sq. ft.	40.7 % / 4868 sq. ft.	NO
	Max. 45 % 1st 140 / 4725 sq. ft.	41.3 % / 4340 sq. ft.	44.5 % / 4676 sq. ft.	NO



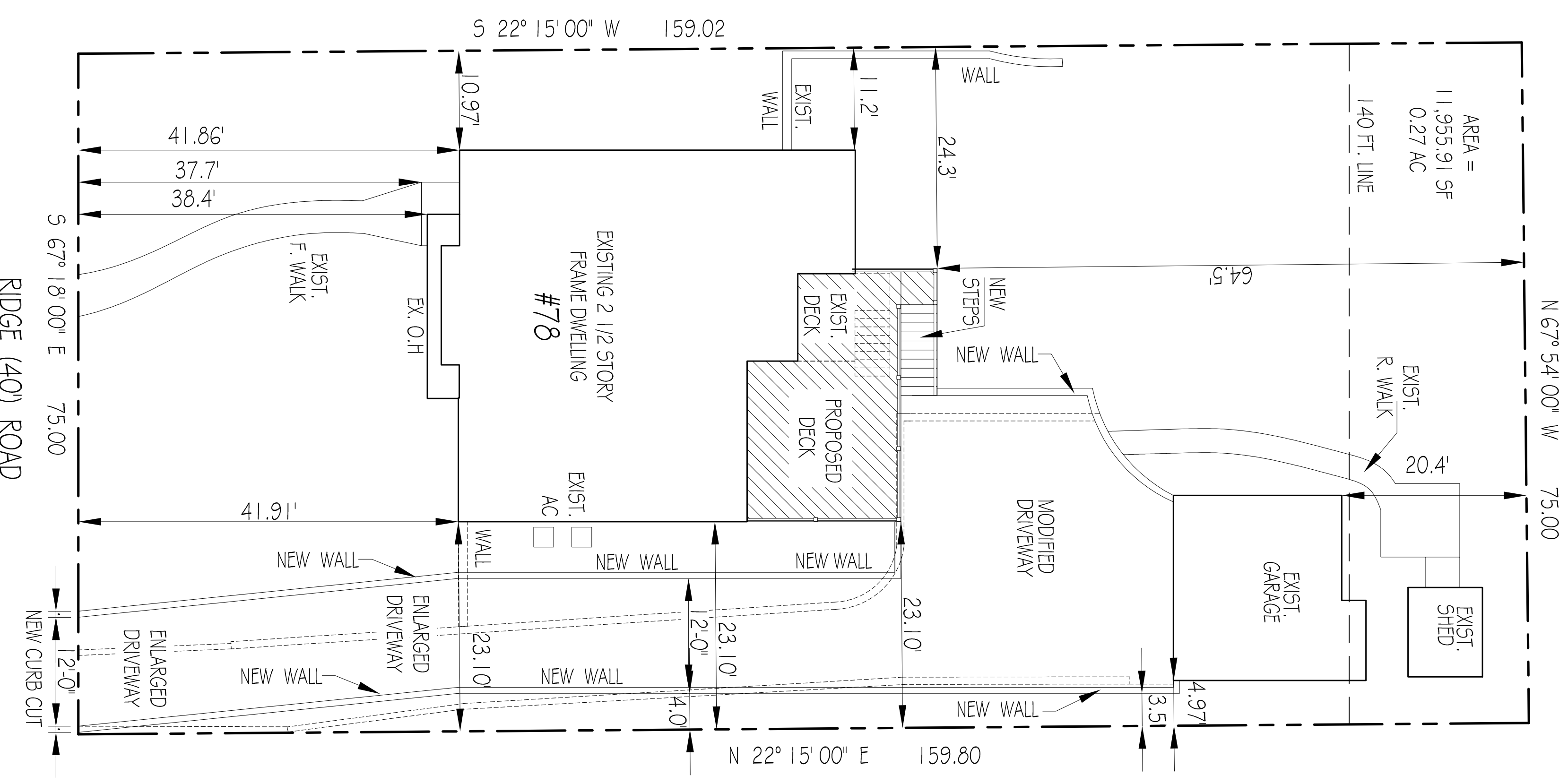
building coverage total lot:
 house = 1587 sq. ft.
 deck = 469 sq. ft.
 garage = 402 sq. ft.
 shed = 81 sq. ft.
 total = 2539 sq. ft.
 11,956 = 21.2 %

building coverage 140' lot:
 house = 1587 sq. ft.
 deck = 469 sq. ft.
 garage = 386 sq. ft.
 total = 2442 sq. ft.
 10,500 = 23.3 %

imp. lot coverage total lot:
 above = 2539 sq. ft.
 front walk = 175 sq. ft.
 driveway = 1979 sq. ft.
 ac = 10 sq. ft.
 rear walk = 165 sq. ft.
 total = 4668 sq. ft.
 11,956 = 40.7 %

imp. lot coverage 140' lot:
 above = 2442 sq. ft.
 front walk = 175 sq. ft.
 driveway = 1979 sq. ft.
 ac = 10 sq. ft.
 rear walk = 70 sq. ft.
 total = 4676 sq. ft.
 10,500 = 44.5 %

1 ZONING DIAGRAMS
 SCALE: 1" = 10'-0"



2 SITE PLAN
 SCALE: 1" = 10'-0"

SITE INFORMATION TAKEN FROM SURVEY DATED 01.16.2023 PREPARED BY PAVAKOZZI ASSOCIATES INC. GARY PAVAKOZZI, P.E. PLS. N.J. LIC. # 34016

3-16-2024
 11-8-2023
 DATE ISSUED FOR VARIANCE
 DATE ISSUE

ISSUED FOR HHC

RODERS ARCHITECTS
 ROGER SCHLICHT ARCHITECT
 56 Watney Avenue, Ridgewood, New Jersey 07450
 201.447.1962

Roger D. Schlicht
 NJ License No. 09576

DORIN - BEHNAM RESIDENCE
 78 Ridge Road
 Ridgewood, NJ

DATE: 11-8-2023
 SCALE: AS NOTED

SITE PLAN
 ZONING DIAGRAMS
 ZONING SCHEDULE