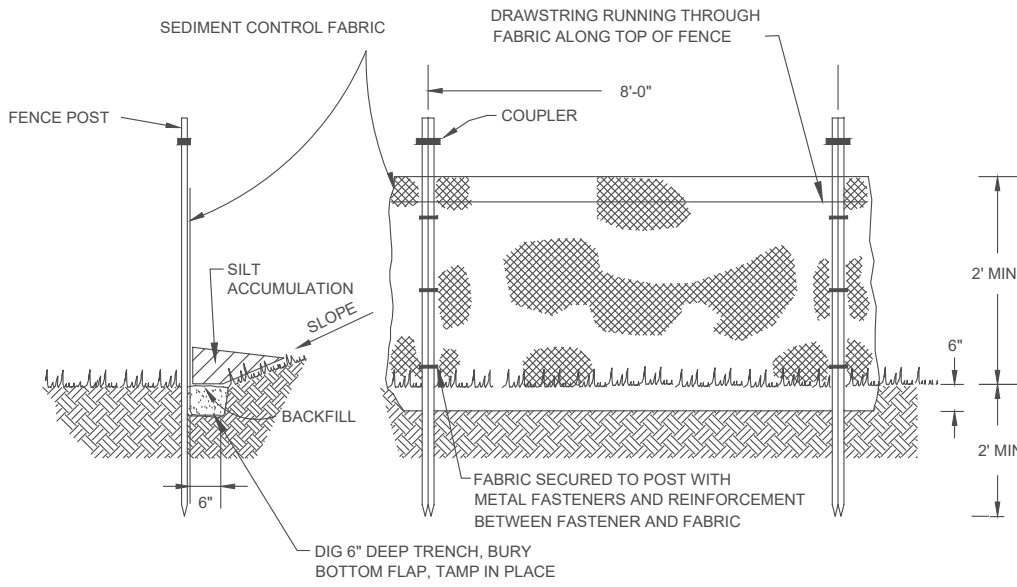


NEW ADDITION / RENOVATION FOR: MR. DEREK WHITE

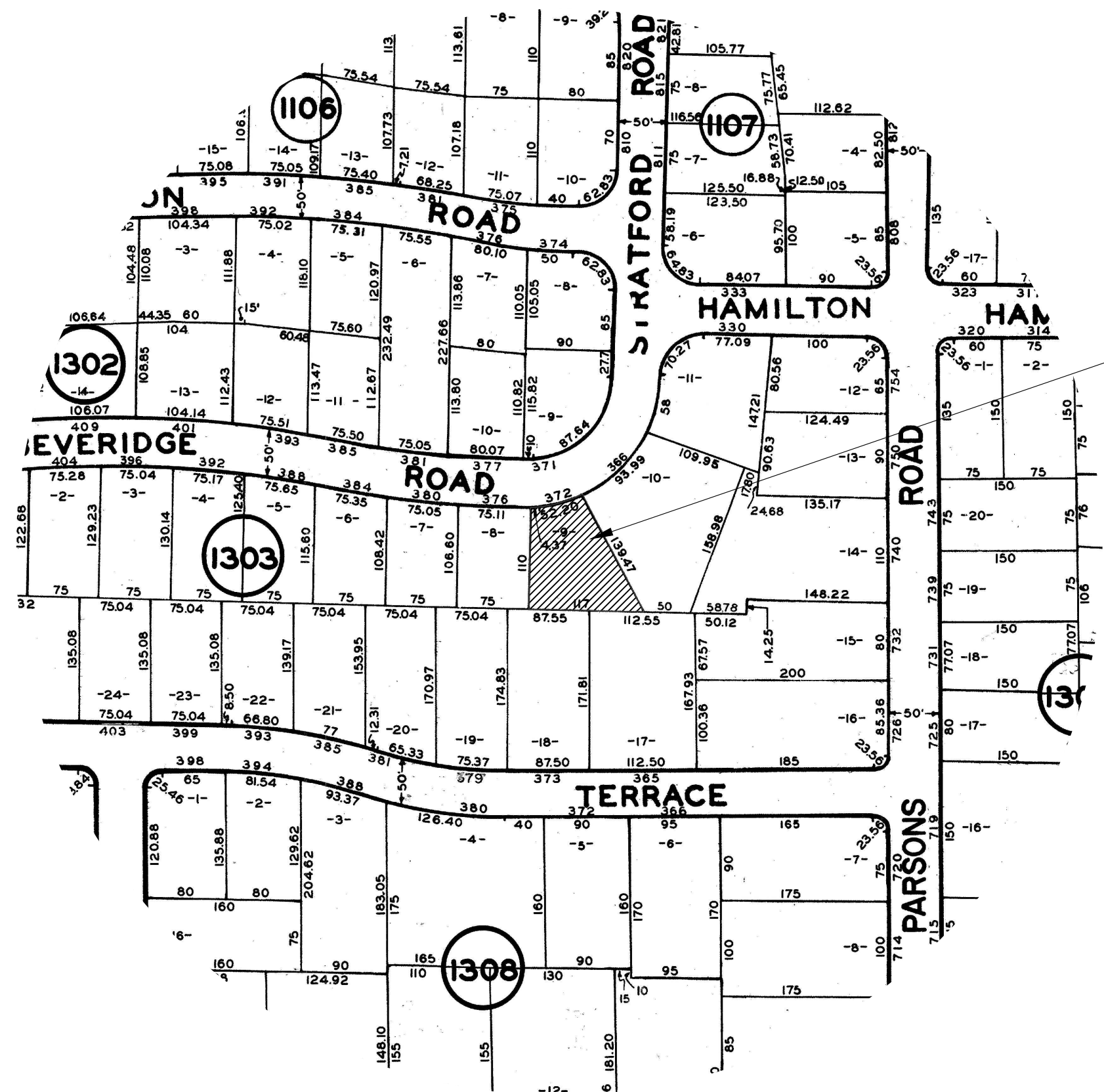
372 BEVERIDGE ROAD
RIDGEWOOD, NJ

LIST OF DRAWINGS

- SP-1 ZONING REVIEW
- A-1 ELEVATIONS
- A-2 FOUNDATION PLAN
- A-3 FLOOR PLANS
- A-4 ELEVATIONS

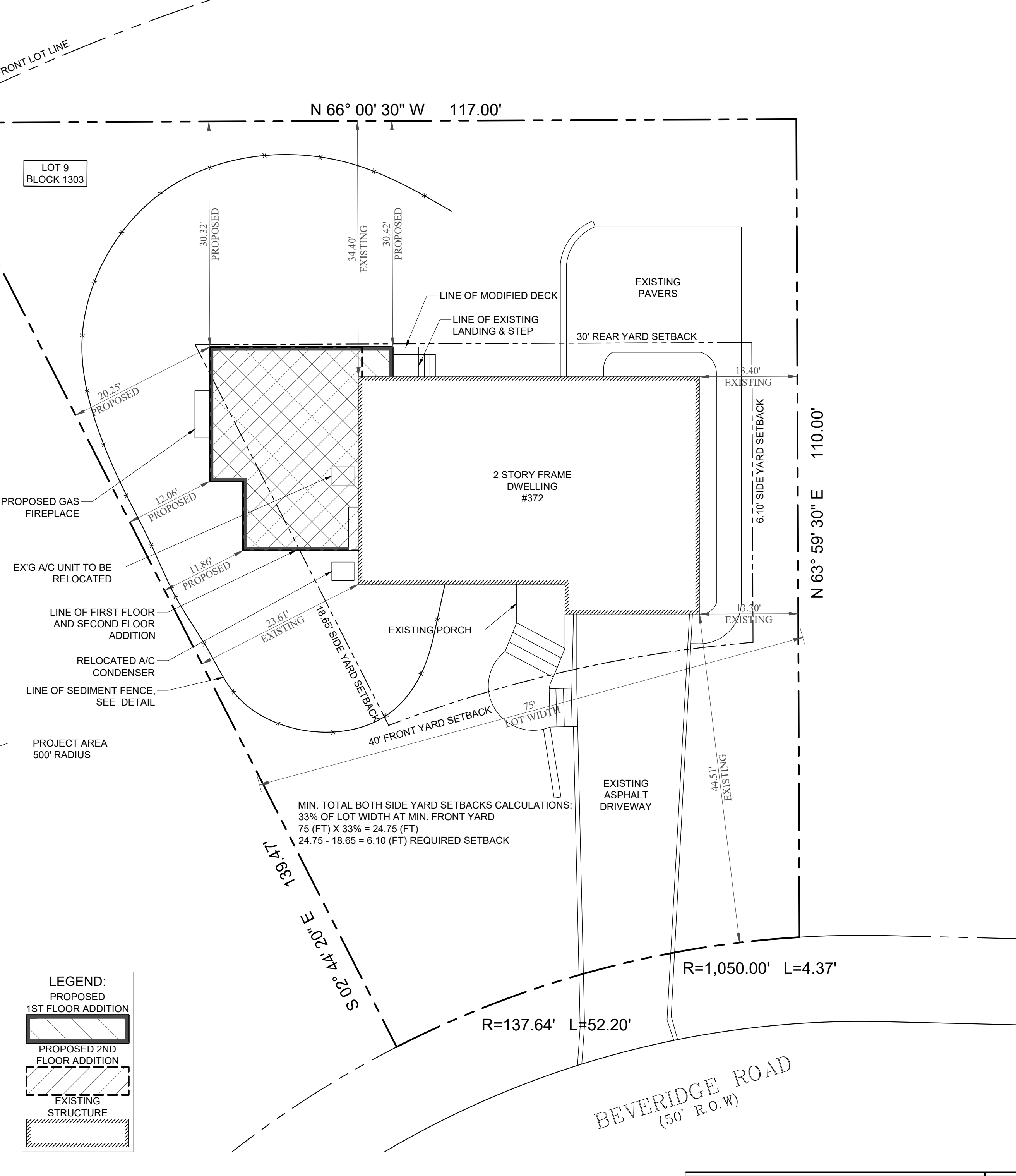


SEDIMENT FENCE DETAIL
N.T.S.



KEY PLAN

SCALE: N.T.S.



SITE PLAN

SCALE: 1"=10'

SITE PLAN DRAWN FROM SURVEY TAKEN BY:
SCHMIDT SURVEYING
66 HUNTING DRIVE, DUMONT, NJ
DATED: FEBRUARY 17, 2021
SITE PLAN TO BE USED FOR ZONING AND
ARCHITECTURAL PURPOSES ONLY.

BUILDING COVERAGE	
STRUCTURE	AREA
EXISTING	
EX'G BUILDING FOOTPRINT	1,357 SQFT
EX'G FRONT PORCH	+ 45 SQFT
TOTAL EX'G COVERAGE	= 1,402 SQFT = 13.80%
PROPOSED	
EX'G BUILDING COVERAGE	1,402 SQFT
NEW BUILDING FOOTPRINT	+ 537 SQFT
TOTAL PROPOSED COVERAGE	= 1,939 SQFT = 19.08%

TOTAL COVERAGE	
STRUCTURE	AREA
EXISTING	
EX'G BUILDING COVERAGE	1,402 SQFT
EX'G DRIVEWAY	+ 681 SQFT
EX'G WALKWAYS & STEPS	+ 117 SQFT
EX'G REAR DECK & STEPS	+ 17 SQFT
EX'G A/C CONDENSER	+ 8 SQFT
EX'G PAVED PATIO & WALKWAY	+ 548 SQFT
EX'G RETAINING WALLS	+ 28 SQFT
TOTAL EX'G COVERAGE	= 2,801 SQFT = 27.56%
PROPOSED	
TOTAL EX'G COVERAGE	2,801 SQFT
PROPOSED BUILDING COVERAGE	+ 537 SQFT
MODIFIED DECK	+ 4 SQFT
TOTAL PROPOSED COVERAGE	= 3,342 SQFT = 32.88%

GROSS BUILDING AREA	
STRUCTURE	AREA
EXISTING	
EX'G FIRST FLOOR	1,357 SQFT
EX'G SECOND FLOOR	+ 766 SQFT
TOTAL EX'G FLOOR AREA	= 2,123 SQFT
PROPOSED	
EX'G FLOOR AREA	2,123 SQFT
PROPOSED FIRST FLOOR	+ 537 SQFT
PROPOSED SECOND FLOOR	+ 519 SQFT
TOTAL NEW FLOOR AREA	= 3,179 SQFT

TREE REMOVAL
NO EXISTING TREES TO BE REMOVED FOR NEW ADDITION

SOIL MOVEMENT QUANTITIES:
EXCAVATIONS:
FOOTINGS: 80'x2'x3'=480/27=18 C.Y.
TOTAL: 18 C.Y.

LIMIT OF DISTURBAANCE:
AREA: 4,168 SQFT

VILLAGE OF RIDGEWOOD

BLOCK: 1303
LOT: 9
ZONE: R-1
USE: SINGLE-FAMILY RESIDENCE DISTRICT

CONDITION - Note Reference	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
MIN. LOT AREA (ft ²)	14,000	10,163	10,163	ENC
MIN. LOT WIDTH AT MIN. FRONT YARD SETBACK LINE (ft)	100	75.25	75.25	ENC
MIN. FRONT YARD SETBACK, PRINCIPLE BUILDING (ft)	40	44.50	44.50	YES
MIN. SIDE YARD SETBACK, PRINCIPLE BUILDING (ft) (1)	18.65	23.62	11.86	NO
MIN. SIDE YARD SETBACK, PRINCIPLE BUILDING (ft) (1)	6.10	13.30	13.30	YES
MIN. TOTAL BOTH SIDE YARD SETBACKS, PRINCIPLE BUILDING (ft)	24.75 ⁽²⁾	36.92	25.16	YES
MIN. REAR YARD SETBACK, PRINCIPLE BUILDING (ft)	30	34.40	30.32	YES
MAX. BUILDING HEIGHT, PRINCIPLE BUILDING (ft)	30	27.71	27.83	YES
MAX. BUILDING HEIGHT, PRINCIPLE BUILDING (stories)	2-1/2	2	2	YES

COVERAGE BY ABOVE-GRADE STRUCTURES

MAX. COVERAGE	(percent)	20	13.80	19.08	YES
	(sq. ft.)	2,032.6	1,402	1,939	YES

COVERAGE BY ALL IMPROVEMENTS

MAX. TOTAL COVERAGE: < 4,000 SF LOT AREA- LESSER OF 45% OF LOT AREA OR 5,500 SF COVERAGE	(percent)	45	27.56	31.58	YES
	(sq. ft.)	4,573.4	2,801	3,209	YES

GROSS BUILDING AREA - PRINCIPLE BUILDING

MAX. GROSS BUILDING AREA: 8,400 to 10,489 SF lot; lesser of 34% of lot area or 3,300 of GBA	(percent)	34	20.90	31.28	YES
	(sq. ft.)	3,455	2,123	3,179	YES

(1)- 2/3 the height of the principal building on the site or 15 feet, whichever is greater
(2)- 33% of lot width at min. front yard 75 (ft) X 33% = 24.75 (ft)
N/A = NOT AFFECTED BY THIS WORK
ENC = EXISTING NONCONFORMING

SIGNATURE BLOCK

TITLE	NAME	DATE
PLANNING BOARD CHAIRMAN	_____	_____
PLANNING BOARD SECRETARY	_____	_____
PLANNING BOARD ENGINEER	_____	_____

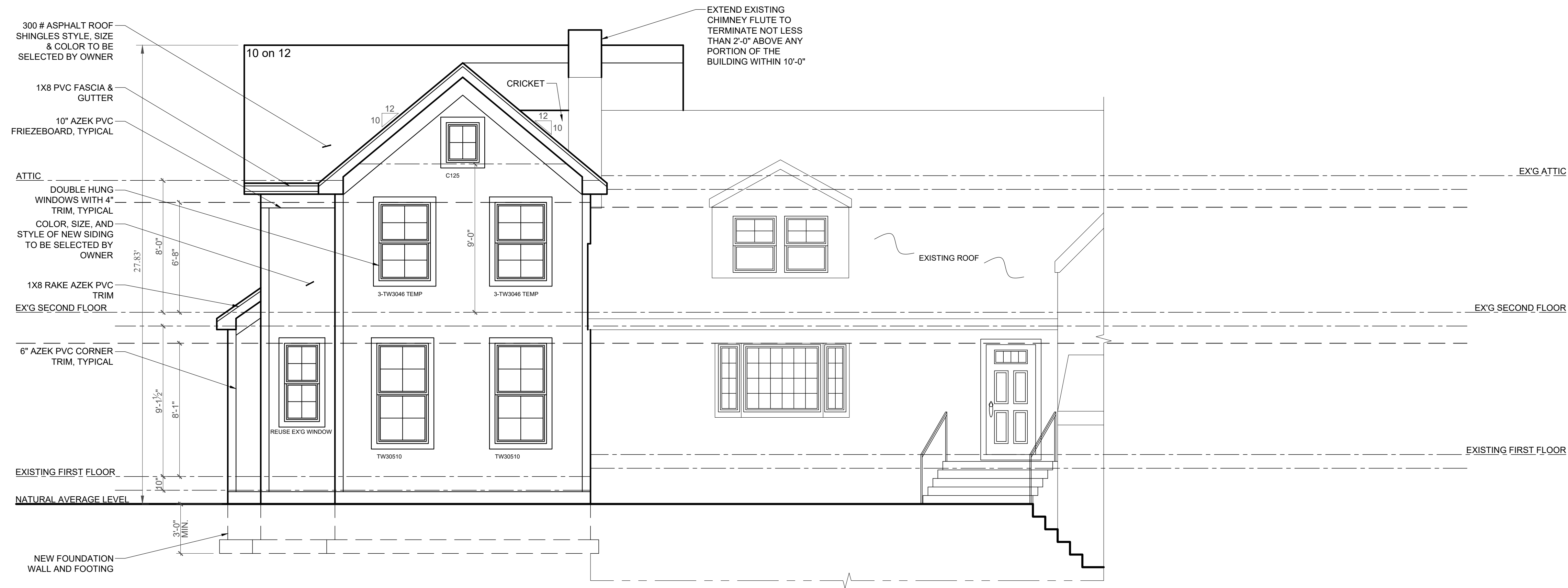
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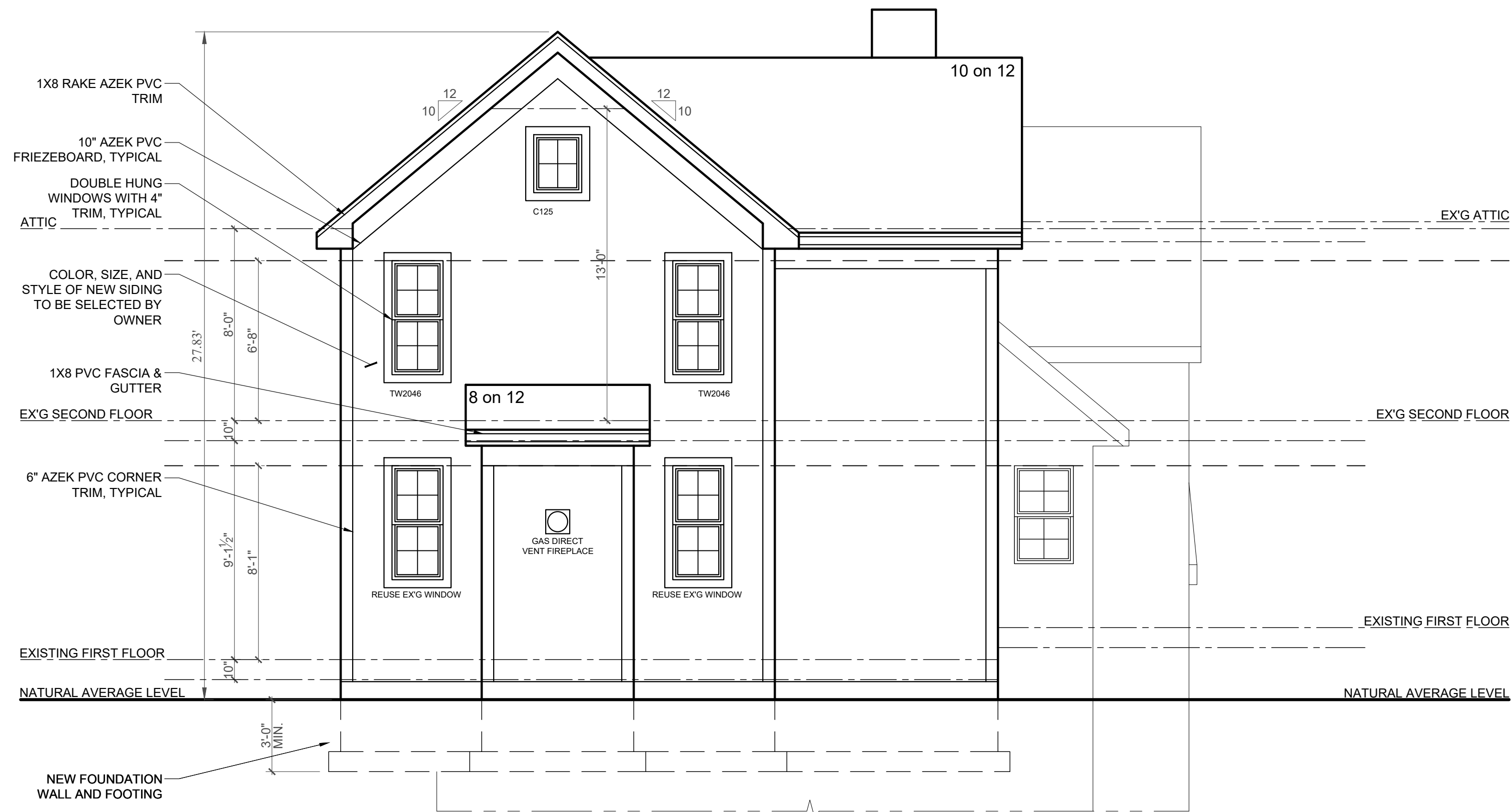
WILLIAM G. BROWN, JR., AIA
SP-1 ZONING REVIEW

COVER SHEET
ADDITION / RENOVATION FOR:
MR. DEREK WHITE
372 BEVERIDGE ROAD
RIDGEWOOD, NJ
PROJECT: 24-201 DATE: JAN. 4, 2024; JAN. 12, 2024;
DRAWN BY: JOJN FEBRUARY 6, 2024; MARCH 3 2024
ISSUED FOR VARIANCE: APRIL 15, 2024



FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"

SIGNATURE BLOCK

TITLE	NAME	DATE
PLANNING BOARD CHAIRMAN	_____	_____
PLANNING BOARD SECRETARY	_____	_____
PLANNING BOARD ENGINEER	_____	_____

GENERAL NOTES

1. ALL WORK IS TO COMPLY WITH ALL BUILDING CODES AND ZONING ORDINANCES ADOPTED BY THE TOWNSHIP OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY
2. BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 30'-0" AS PER LOCAL ORDINANCE
3. CONTRACTOR IS TO VERIFY ALL CONDITION IN THE FIELD PRIOR TO STARTING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN PLAN OR ITEMS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION
4. JOB SITE IS TO BE KEPT REASONABLY CLEAN AND ALL CONSTRUCTION DEBRIS IS TO BE CARTED AWAY AT THE END OF THE JOB.
5. ALL WORK IS TO BE DONE BY SKILLED MECHANICS IN A WORKMANLIKE MANNER SET STRAIGHT AND PLUMB.
6. ALL MATERIALS USED TO BE OF FIRST QUALITY FREE FROM DEFECTS.
7. ARCHITECT DOES NOT HAVE FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION RESPONSIBILITIES FOR THIS PROJECT.
8. CONTRACTOR IS TO LOCATE STRUCTURE AND SET ELEVATIONS AND CONTOURS WITH HIS SURVEYOR AND LICENSED PROFESSIONAL ENGINEER.
9. CONTRACTOR TO VERIFY, IN WRITING, IF STRUCTURE DOES NOT COMPLY WITH LOCAL BUILDING HEIGHT CODE DURING CONSTRUCTION AND PRIOR TO CONSTRUCTION OF THE RIDGE.
10. CONTRACTOR AND/OR HOMEOWNER IS REQUIRED TO HAVE BUILDER'S INSURANCE AND HOMEOWNER'S WARRANTY PROGRAM.
11. GIVEN ANY DISCREPANCIES IN SPECIFICATIONS OR MATERIALS CONTRACTOR MUST USE MATERIAL OF SUPERIOR QUALITY.
12. ALL FRAMED WINDOW OPENINGS TO BE VERIFIED WITH BUILDER AND WINDOW SUPPLIER PRIOR TO ORDERING.
13. CONTRACTOR TO INSTALL RAM BOARD AND TAPE ALL JOINTS FLOOR PROTECTIONS
14. CONTRACTOR TO FOLLOW RESCHECK
15. FOR ADDITIONAL GLAZING NOTES, SEE GENERAL NOTES ON SECTION PAGE.

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 FL ARCH AR99022

ADDITION / RENOVATION FOR:
MR. DEREK WHITE
 373 BEVERIDGE ROAD
 RIDGEWOOD, NJ
 BLOCK: 1303; LOT: 9

DRAWING TITLE:
FRONT & SIDE ELEVATIONS
 PROJECT NUMBER: 24-201 SCALE: 1/4"= 1'-0"
 DRAWN BY: JO/AG CHECKED BY: SUPV
 DATE: JANUARY 4, 2024; FEBRUARY 1, 2024;
 FEBRUARY 6, 2024

ISSUED FOR VARIANCE: APRIL 15, 2024

DRAWING #
A-1
 2 OF 5
 RES 2024

CONCRETE & MASONRY NOTES

- ALL CONCRETE USED SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI AFTER 28 DAYS. ALL FORMS TO BE STRIPPED PRIOR TO BACKFILLING
- STEEL REINFORCING BARS ARE TO BE USED IN FOOTINGS SIZED AND LOCATED AS SHOWN ON PLANS AND BE FREE FORM GREASE, OIL, RUST OR SCALE
- CONCRETE MASONRY UNITS TO BE OF LOAD BEARING TYPE WITH TOP AND BOTTOM COURSES FILLED SOLID.
- ALL TILE FLOORS TO BE SET IN MUD.
- FOR MARBLE OR STONE SAMPLES: CONTACT STONE 100 OUTWATER LANE GARFIELD PH: 201-546-9660 FAX: 201-546-9698
- LANDINGS OUTSIDE EGRESS DOORS TO HAVE MIN DEPTH OF 36" IN DIRECTION OF TRAVEL AS PER THE NJ EDITION OF INTERNATIONAL RES. CODE 2021 SECTION R11.3
- CONTROL JOINT SPACING OF 15-25 FT SQUARE RECOMMENDED
- FOUNDATION ANCHORAGE: ANCHOR BOLTS SHALL BE BE 3/8" Ø, 16" LONG @ 6 FT APART MAX. AND 12" FROM CORNER AND ENDS OF SECTION OF PLATE/SILL (R403.1.6)
- STEEL MANUFACTURER TO FIELD MEASURE PRIOR TO FABRICATION.
- A RETAINING WALL REQUIRES A FOUNDATION WALL TO HAVE SUPPORT ON BOTH THE TOP AND BOTTOM PRIOR TO BACKFILLING. AS PER SECTION R404.1.1
- MASONRY WALLS SHALL HAVE NOT LESS THAN 3/4" INCH PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR OF THE WALL. AS PER SECTION R406

8"x16" LOUVERED VENT=128 SQ INCH

STAIR NOTES

- STAIR SHOP DRAWINGS TO BE PROVIDED TO ARCHITECT PRIOR TO FABRICATION
- STAIRS TO HAVE A MAX. RISER OF 8 1/2" AND A MIN. TREAD OF 9" AS PER R311 AND R311.7.7
- CONTRACTOR TO PROVIDE PULL DOWN STAIR UNIT ON SECOND FLOOR

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ADDITION / RENOVATION FOR:
MR. DEREK WHITE
 372 BEVERIDGE ROAD
 RIDGEWOOD, NJ
 BLOCK: 1303; LOT: 9

DRAWING TITLE:

FOUNDATION PLAN

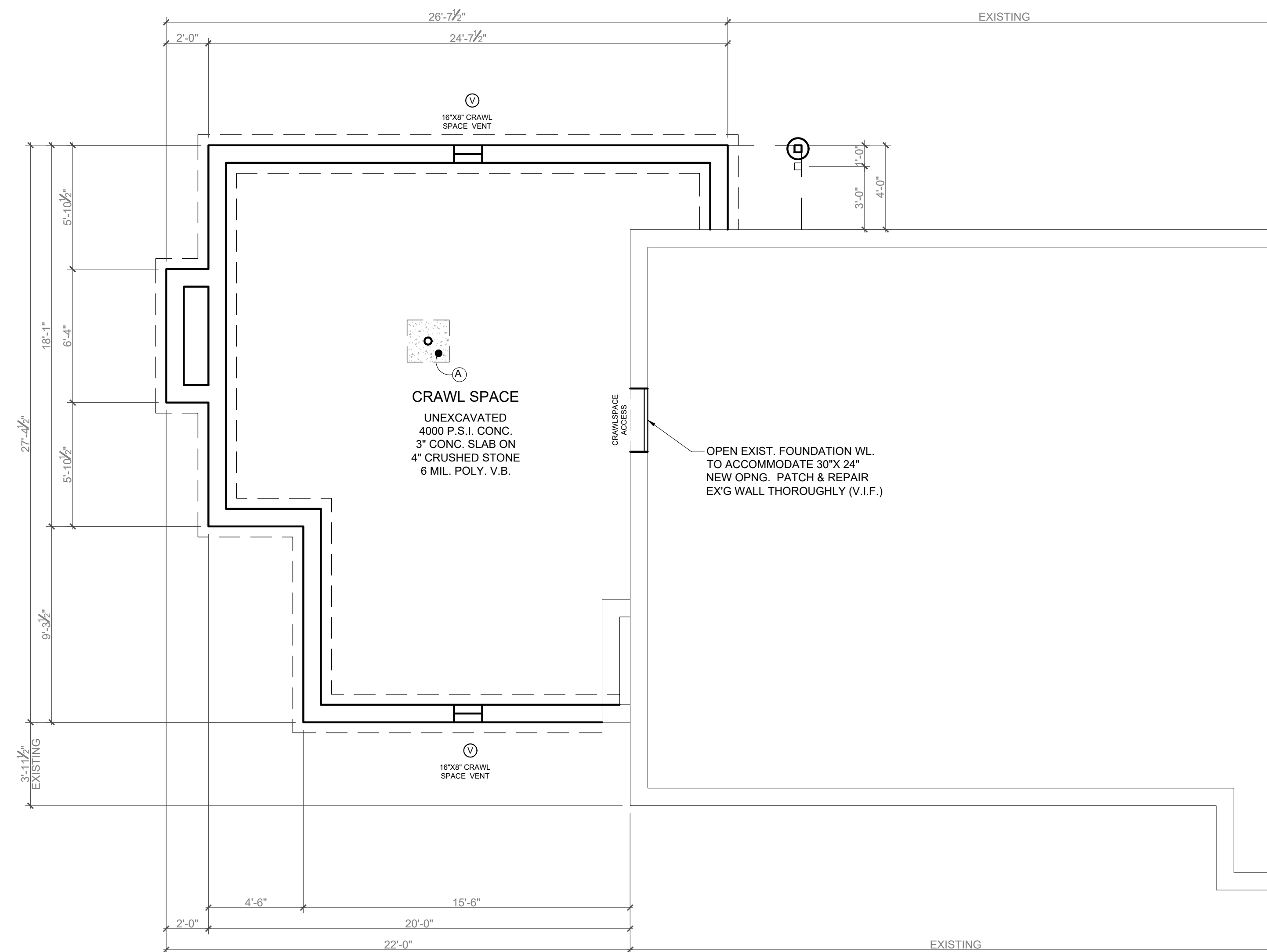
PROJECT NUMBER: 24-201 SCALE: 1/4"=1'-0"

DRAWN BY: AG CHECKED BY: SUPV

DATE: JANUARY 4, 2024; JANUARY 12, 2024;
 FEBRUARY 6, 2024

ISSUED FOR VARIANCE: APRIL 15, 2024

DRAWING # **A-2**
 3 OF 5



PROVIDE THE FOLLOWING LINTELS OVER ALL OPENINGS IN MASONRY WALLS, INCLUDING MECHANICAL OPENINGS UNLESS OTHERWISE NOTED:

FOR EACH 4" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

4 X 3/8" X 3/8" L MAX. M.O. 5'-0"
 5 X 3/8" X 3/8" L MAX. M.O. 7'-0"
 6 X 3/8" X 3/8" L MAX. M.O. 9'-0"

FOR EACH 6" THICKNESS OF MASONRY - 1 ANGLE AS FOLLOWS:

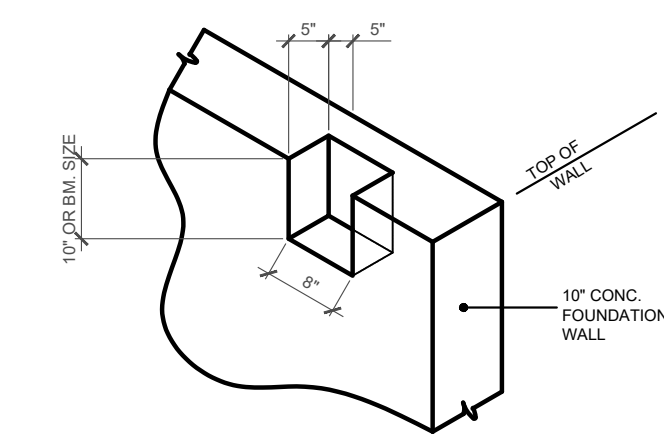
3/8" X 5 X 3/8" L MAX. M.O. 5'-0"
 5 X 5 X 3/8" L MAX. M.O. 7'-0"
 5 X 5 X 3/8" L MAX. M.O. 9'-0"

FOR 4" AND/OR 6" NON-BEARING MASONRY INTERIOR PARTITIONS:

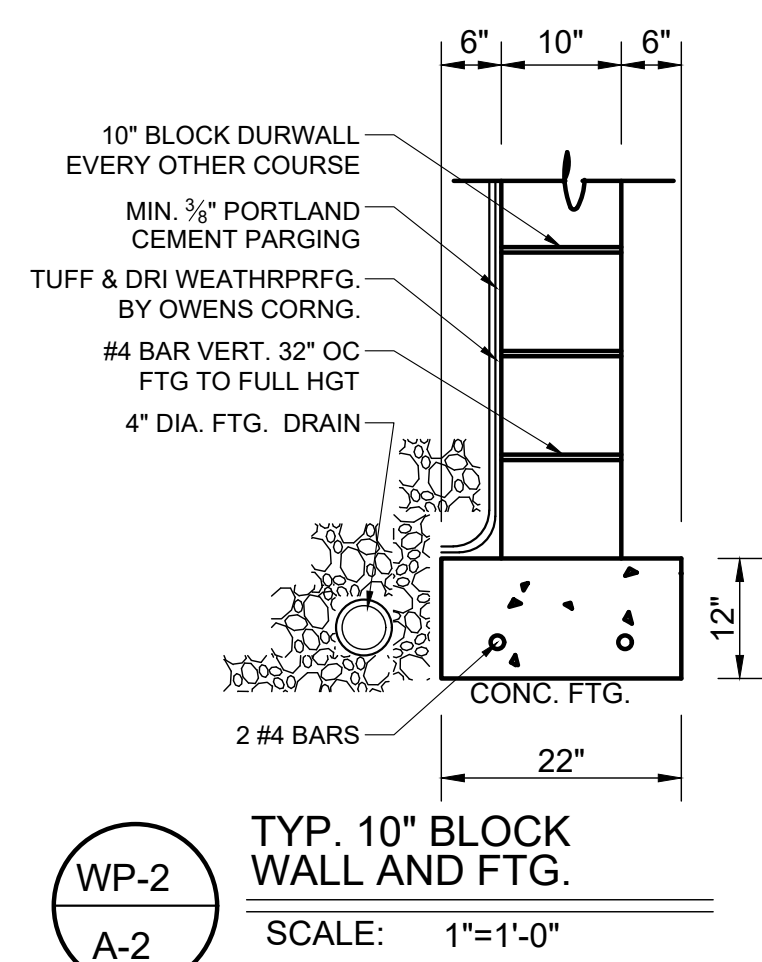
4" 3/8" X 7/8" LIGHT-WEIGHT CONCRETE
 6" 5/8" X 7/8" LIGHT-WEIGHT CONCRETE

ALL LINTELS TO HAVE MINIMUM 8" BEARING EACH END.

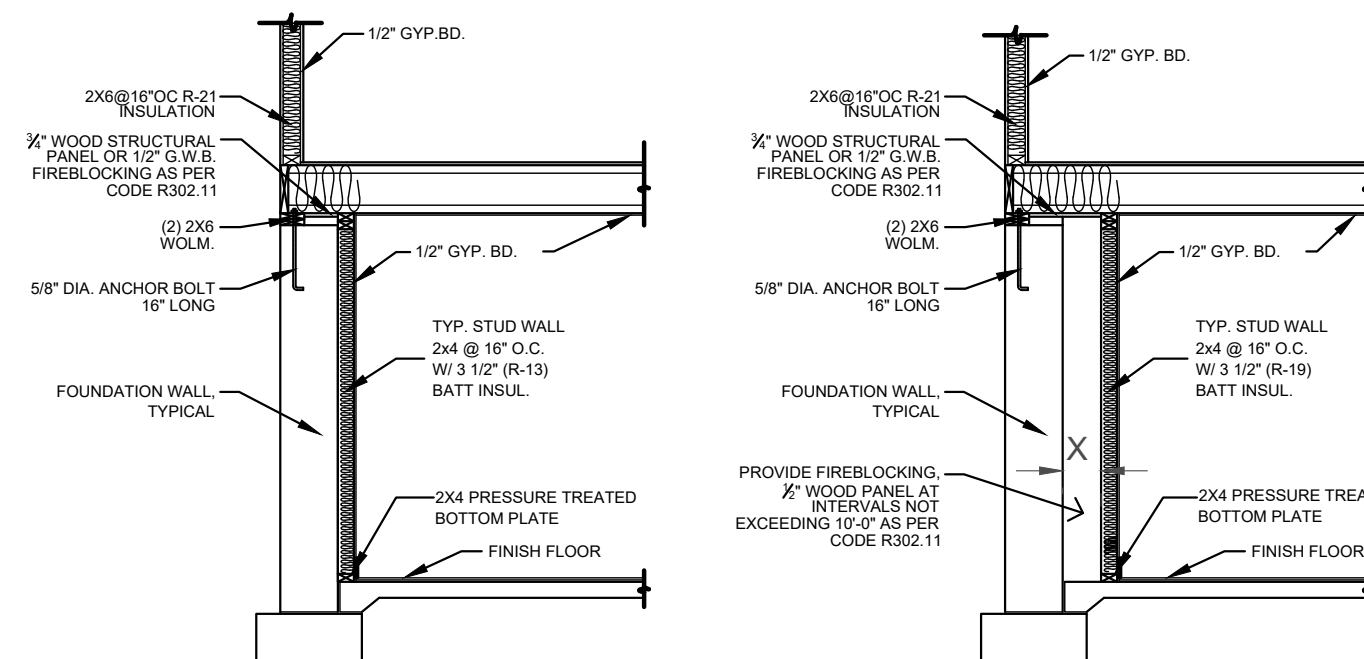
SUBMIT THREE SETS OF FABRICATION DRAWINGS TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF FABRICATION.



DETAIL OF BEAM POCKET
 SCALE: 1/2"=1'-0"



TYP. 10" BLOCK WALL AND FTG.
 SCALE: 1"=1'-0"



FINISHED BASEMENT WALL PARTITION DETAILS
 SCALE: NOT TO SCALE

SIGNATURE BLOCK

TITLE	NAME	DATE
PLANNING BOARD CHAIRMAN	_____	_____
PLANNING BOARD SECRETARY	_____	_____
PLANNING BOARD ENGINEER	_____	_____

GRADE DRAINAGE SLOPE:
 LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.

MASON & GENERAL CONTRACTOR TO CHECK DIMENSIONS ON FIRST FLOOR PLAN DURING THE LAYOUT OF FOUNDATION PRIOR TO CONSTRUCTION.

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

GENERAL FRAMING LEGEND :

	= EXISTING CONSTRUCTION TO REMAIN
	= WALLS ABOVE
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL
	= NEW BEAM
	= NEW JOIST MEMBER

CARPENTRY NOTES

- ALL FRAMING LUMBER IS TO BE DOUGLAS FIR WITH Fb-1500 PSI AND BE OF STRUCTURAL GRADE.
- ALL DOOR AND WINDOW HEADERS TO BE 2-2"x12" UNLESS NOTED OTHERWISE.
- ALL DOORS LABELED (D) ARE TO BE 2'-8"x6'-8" SOLID 6 PANEL MASONITE. AS PER CODE, UNLESS OTHERWISE NOTED.
- ALL DOORS LABELED (D-7) ARE TO BE 2'-8"x7'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 1/2", 4 HINGES)
- ALL DOORS LABELED (D-8) ARE TO BE 2'-8"x8'-0" SOLID CORE 2 PANEL Ovation AS PER CODE, UNLESS OTHERWISE NOTED (1 1/2", 4 HINGES)
- PERIMETER WALLS FRAMING TO BE 2X6 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- INTERIOR PARTITION FRAMING TO BE 2X4 AT 16" O.C WITH SINGLE CONTINUOUS SOLE PLATE AND DOUBLE CONTINUOUS TOP PLATE JOINTS TO BE STAGGERED.
- ALL WALLS OVER 8'-0" HIGH ARE TO RECEIVE FIRE BLOCKING AT MIDPOINT.
- SILLS ON BLOCK WALLS TO BE WOLMANIZED.
- WINDOWS AND SLIDING DOORS GLASS DOORS TO BE DONE BY: TOWER WINDOWS 1-800-490-1011
- ALL EXTERIOR WALLS, ROOF OR CEILING TO HAVE FULL-THICK BATT INSULATION.
- WALLS TO BE 6" WHERE ANY 2" OR LARGER HORIZONTAL HOLE IS DRILLED.
- TJI HOLE TO BE DRILLED FOLLOWING MANUFACTURES CALCULATIONS TJI'S CANT BE NOTCHED.
- CONTRACTOR'S MAY USE TJI'S AS AN ALTERNATE, W/ EQUAL OR GREATER STRENGTH MUST NOTIFY ARCHITECT.
- ALL WOOD FRAMING MEMBERS, INCLUDING SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED EARTH SHALL BE OF APPROVED NATURALLY DURABLE AND PRESERVATIVE-TREATED WOOD, INCLUDING LUMBER ON CONCRETE
- FIRE BLOCKING SHALL BE PROVIDED AT WALL/CEILING INTERSECTION FOR BOTH INTERIOR PARTITIONS AND PERIMETER WALL; ALSO HORIZONTALLY EVERY TEN FEET.
- INSULATOR TO INSTALL STYROFOAM BAFFLES WHERE NEEDED FOR VENTING

RENOVATION NOTES:
ALL EXISTING INTERIOR & EXTERIOR WALLS, FLOORS & CEILINGS THAT ARE EFFECTED BY ALTERATIONS SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING, AND REFINISHED AS NEEDED

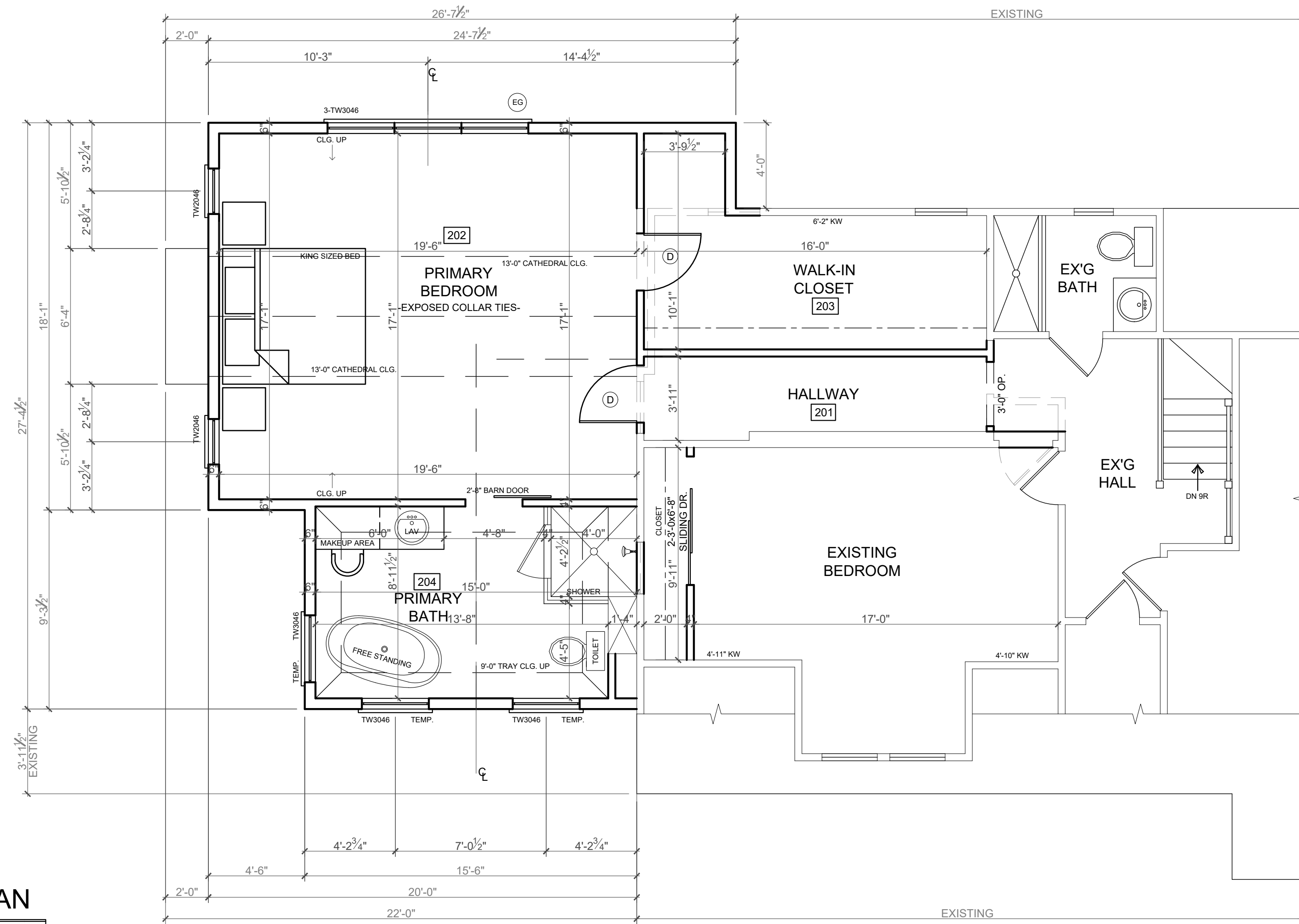
GENERAL LEGEND :	
	= EXISTING CONSTRUCTION TO REMAIN
	= EXISTING CONSTRUCTION TO BE REMOVED
	= NEW CONSTRUCTION
	= NEW C.M.U. WALL
	= NEW CONCRETE WALL

SIGNATURE BLOCK

TITLE	NAME	DATE
PLANNING BOARD CHAIRMAN	_____	_____
PLANNING BOARD SECRETARY	_____	_____
PLANNING BOARD ENGINEER	_____	_____

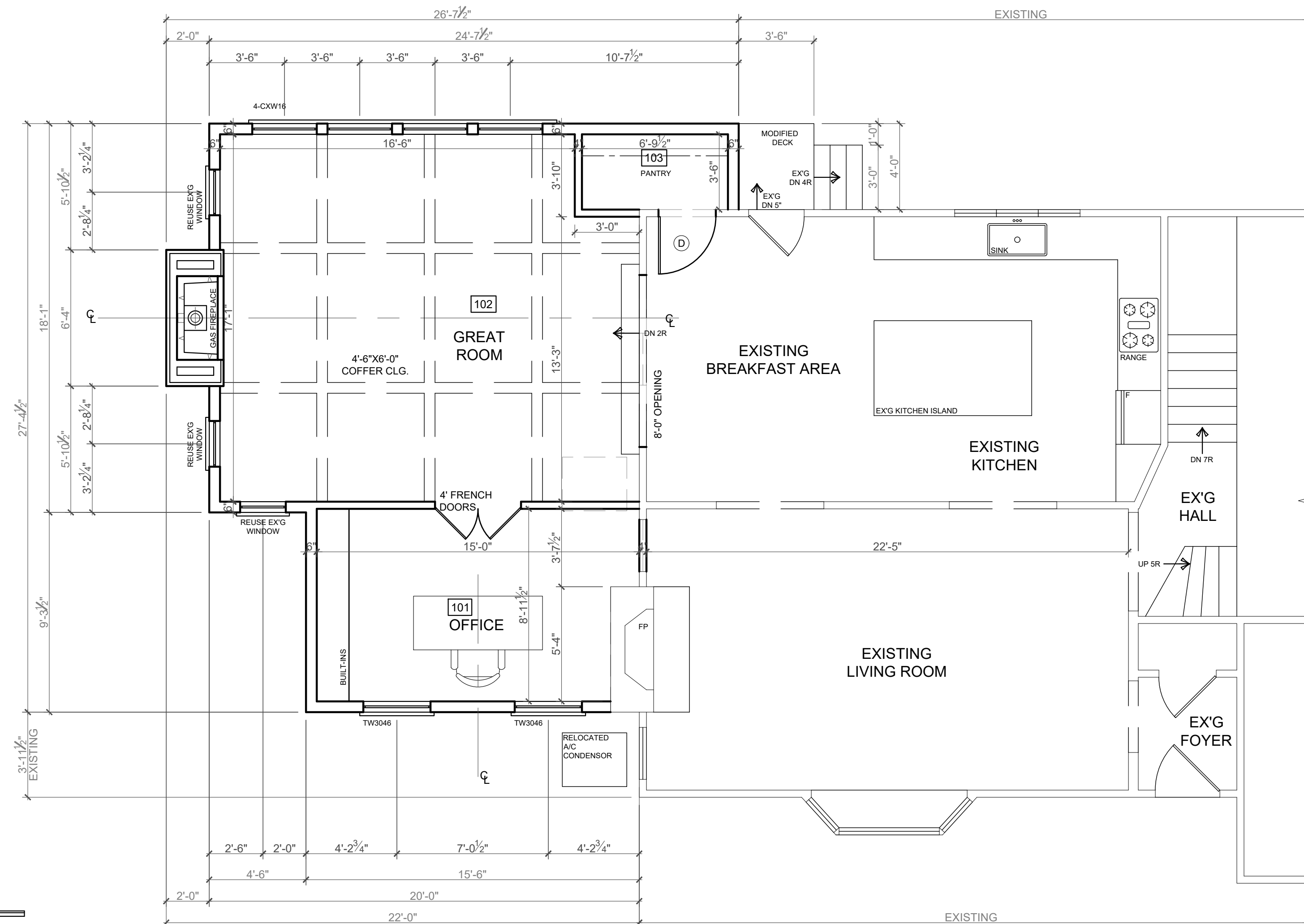
SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



ENERGY STAR REQUIREMENTS

WHOLE HOUSE THERMAL EFFICIENCY: EPA THERMAL BYPASS INSPECTION CHECKLIST & AIR BARRIER, INSULATION CHECKLIST

- ENERGY EFFICIENT LIGHTING: SEE www.njenergystarhomes.com
- MECHANICAL VENTILATION SYSTEM: HVAC INTEGRATED WHOLE-HOUSE VENTILATION SYSTEM
- HIGH EFFICIENCY CENTRAL HEATING AND COOLING SYSTEMS: CENTRAL AIR CONDITIONING SYSTEMS AND HEAT PUMPS MUST BE PROPERLY SIZED PER ACCA MANUAL J
- AIR TIGHT DUCTWORK: BUILDING CAVITIES MAY NOT BE USED AS DUCTS; THE ENTIRE SYSTEMS MUST BE FULLY DUCTED
- INSULATION VERIFIED: INSULATION IS INSPECTED PRIOR TO DRYWALL AND ASSESSED A GRADE LEVEL BASED ON INSULATION QUALITY
- CONTRACTOR TO FOLLOW RESCHECK
- CONTRACTOR TO COMPLY WITH IECC AND ENERGY SUBCODE, NJAC 5:23-3.18

WILLIAM G. BROWN, ARCHITECTS CALCULATES SQUARE FOOTAGE FROM THE INSIDE FRAME LINE DIMENSIONS. GARAGE SQUARE FOOTAGE LINE DIMENSIONS. GARAGE SQUARE FOOTAGE IS NOT INCLUDED IN THE TOTAL LIVABLE. SQUARE FOOTAGE. IN ADDITION, STAIRWELLS AND FIREPLACE MASSSES ARE ONLY INCLUDED ONCE WITH THE MAIN LEVEL FIGURES

BUILDING DATA		
USE GROUP		R5
CONSTRUCTION CLASS		VB
BUILDING AREA		
EX'G BUILDING FOOTPRINT	1,357	SQFT
NEW BUILDING FOOTPRINT	537	SQFT
TOTAL BUILDING FOOTPRINT	1,894	SQFT
NEW BASEMENT	456	SQFT
NEW FIRST FLOOR	487	SQFT
NEW SECOND FLOOR	487	SQFT
NEW LIVABLE SFTG.	956	SQFT
CONTAINED VOLUME	17,277	CUFT

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ADDITION / RENOVATION FOR:
MR. DEREK WHITE
372 BEVERIDGE ROAD
RIDGWOOD, NJ
BLOCK: 1303; LOT: 9

DRAWING TITLE:

FLOOR PLANS

PROJECT NUMBER: 24-201 SCALE: 1/4"= 1'-0"

DRAWN BY: NN CHECKED BY: SUPV

DATE:
JANUARY 4, 2024; JANUARY 12, 2024;
FEBRUARY 6, 2024

ISSUED FOR VARIANCE: APRIL 15, 2024

DRAWING # **A-3**
4 OF 5
RES 2024

BUILDING HEIGHT/RIDGE HEIGHT TO BE VERIFIED BY SITE ENGINEER PRIOR TO CONSTRUCTION. BUILDING HEIGHT MAXIMUM TO BE: 30'-0" AS PER LOCAL ORDINANCE

WINDOW & TRIM NOTE:
ALL ANDERSON WINDOW TO HAVE AZEK SILL 1/4" X 4 LEGS & 1/2" 6" TOP WITH RAMS CROWN AND FLASHING ALL TRIM TO BE AZEK TRIM

WINDOW NOTE:
SEE GENERAL NOTES ON PAGE A6 PRIOR TO ORDER WINDOWS.

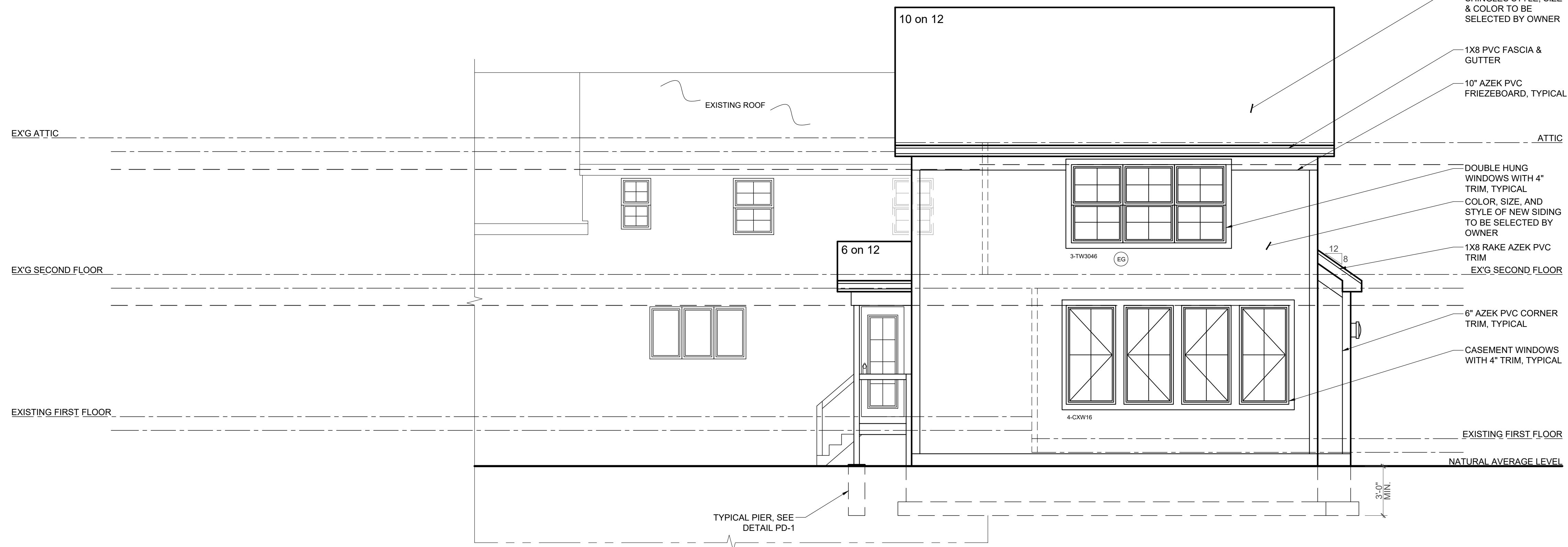
DRIP EDGE NOTE:
DRIP EDGE TO BE PROVIDED ON EAVES AND RAKES ON ALL SHINGLE ROOFS, AS PER R905.2.8.5.

KICK OUT FLASHING:
KICK OUT FLASHING TO BE PROVIDED ON ALL AT ROOF FASCIA TO WALL / ROOF INTERFACE. AS PER R905.2.8.3

NOTE:
MIN 6" PROTECTION CLEARANCE FROM GRADE AS PER SECTION R317.1 NOTE 5 WOOD SIDING, SHEATHING AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6" FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER

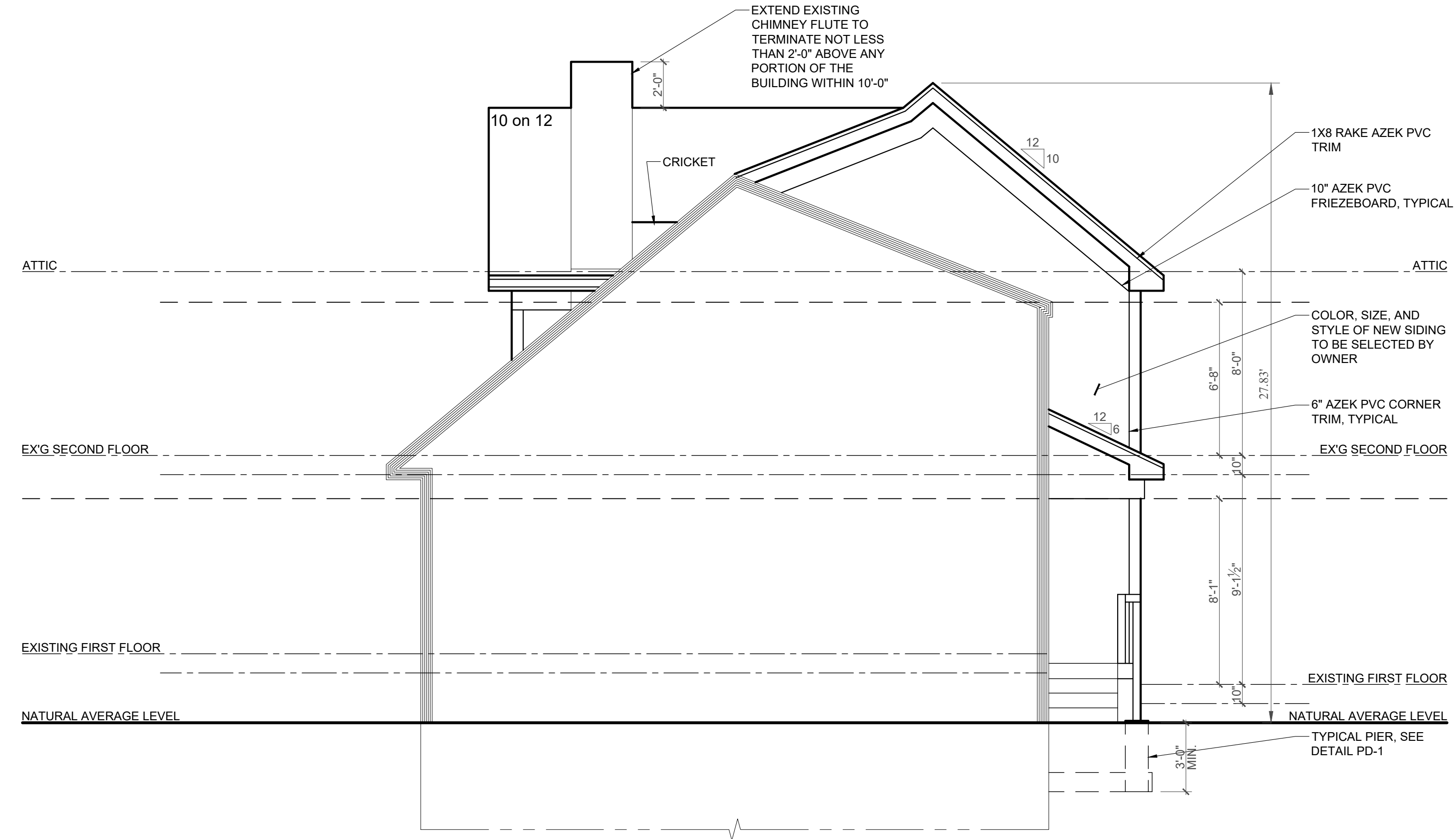
NOTE: WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9', OR 10' CEILING HEIGHT.

GRADE DRAINAGE SLOPE:
LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET, AS PER R401.3.



REAR ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

WINDOW NOTES

- EG INDICATES AN EGRESS WINDOW AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2021
- EGRESS WINDOWS SHALL HAVE NO LESS THAN 5.7 SQFT CLEAR OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL BE NO MORE THAN 44" A.F.F.
 - WINDOW SUPPLIER TO VERIFY THAT THERE IS AT LEAST ONE EGRESS WINDOW UNIT IN EACH BEDROOM.
 - ALL TEMPERED WINDOWS TO BE AS PER THE N.J. EDITION OF THE INTERNATIONAL RESIDENTIAL CODE-2021.
 - WINDOW HEAD HT. MAY BE ADJUSTED FOR 8', 9' OR 10' CLG HEIGHT.
 - CONTRACTOR SHALL NOT ORDER WINDOWS WITHOUT PROVIDING WINDOW MANUFACTURER WITH ALL FLOOR PLANS AND ELEVATIONS TO DETERMINE SIZES, TEMPERING, AND EGRESS REQUIREMENTS AS PER CODE.
 - WINDOW SILLS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4" DIAMETER SPHERE WHERE SUCH OPENINGS ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. R312.2.1
 - EXCEPTIONS:
 - WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R612.3.
 - OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - WINDOWS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R312.2.2
 - ALL NEW WINDOWS MUST BE AT LEAST 24" OVER FINISHED FLOOR R.312.2
 - IN ZONE A FLOOD HAZARD AREAS REQUIRE A MINIMUM OF ONE FOOT OF FREEBOARD FOR DWELLINGS AS PER SECTION R322.2.1 IRC 2021
 - SEE GENERAL NOTES ON PAGE A-6 PRIOR TO ORDER WINDOWS.

CHIMNEY NOTE

MASONRY CHIMNEY OUTLETS SHALL TERMINATE NO LESS THAN 3'-0" FROM THE HIGHEST POINT THAT THE CHIMNEY PENETRATES THE ROOF. CHIMNEYS SHALL TERMINATE NOT LESS THAN 2'-0" ABOVE ANY PORTION OF THE BUILDING WITHIN 10'-0" AS PER INT. RES. CODE 2021 SEC. R1003

NOTE: THESE DRAWINGS ARE NOT TO BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT WILLIAM G. BROWN. (WILLIAM G. BROWN ARCHITECTS)

NOT VALID UNLESS SIGNED AND SEALED

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ADDITION / RENOVATION FOR:
MR. DEREK WHITE
373 BEVERIDGE ROAD
RIDGEWOOD, NJ
BLOCK: 1303; LOT: 9

DRAWING TITLE:
REAR & SIDE ELEVATIONS
PROJECT NUMBER: 24-201 SCALE: 1/4"= 1'-0"
DRAWN BY: AG CHECKED BY: SUPV
DATE: JANUARY 4, 2024; FEBRUARY 1, 2024;
FEBRUARY 6, 2024

ISSUED FOR VARIANCE: APRIL 15, 2024

DRAWING #
A-4
5 OF 5

SIGNATURE BLOCK

TITLE	NAME	DATE
PLANNING BOARD CHAIRMAN	_____	_____
PLANNING BOARD SECRETARY	_____	_____
PLANNING BOARD ENGINEER	_____	_____