

**CONTRACTOR NOTES**

- PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS CONSTRUCTION DESIGN PLAN SET, THE OWNER, GENERAL CONTRACTOR, AND/OR SUB-CONTRACTOR(S) ASSOCIATED WITH ANY WORK AS PER THIS CONSTRUCTION DESIGN PLAN SET SHALL PROVIDE ONELLO ENGINEERING FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO SCHEDULE A PRE-CONSTRUCTION MEETING, A DATE, TIME, AND LOCATION SHALL BE AGREED UPON AND SUITABLE TO ALL ATTENDEES, WHEREAS A "FORCED MEETING" SHALL NOT BE ACCEPTABLE.
- FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO ONELLO ENGINEERING IS REQUIRED PRIOR TO THE START OF ANY ADDITIONAL WORK PHASES AS SITE CONDITIONS MAY OR MAY NOT HAVE CHANGED DURING CONSTRUCTION ACTIVITY.
- CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING TO VERIFY SITE ELEVATION BENCH-MARK(S) AND ANY PERMANENT OBJECT(S) USED AS A BASIS FOR MEASUREMENTS TO SET LOCATIONS FOR THE INSTALLATION OF ANY IMPROVEMENTS.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY ONELLO ENGINEERING SHOULD ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF ANY PROPOSED STRUCTURES AND IMPROVEMENTS (INCLUDING, BUT NOT LIMITED TO BUILDING FOUNDATIONS), POOL AND/OR SPA, RETAINING WALLS, DETACHED ACCESSORY STRUCTURES, HARDSCAPES, PATIOS, DRIVEWAYS, OR SIMILAR IMPROVEMENTS AS PER DESIGN PLAN.
- ALL CONSTRUCTION ACTIVITY AND EQUIPMENT STAGING SHALL BE CONFINED WITHIN THE LIMIT OF DISTURBANCE AS SPECIFIED WITHIN THE APPROVED SOIL EROSION CONTROL PLAN, (OR OTHER PRE-DETERMINED AND APPROVED AREAS).
- EXCAVATION CONTRACTOR TO CALL FOR UTILITY MARK-OUT PRIOR TO ANY EXCAVATION. OWNER & GENERAL CONTRACTOR SHALL CONFIRM.
- CONTRACTOR SHALL VERIFY ALL UTILITIES LOCATIONS AND CONNECTIONS FOR ALL EXISTING AND PROPOSED SERVICE FACILITIES, RETROFITS, AND/OR NEW CONNECTIONS, (AS APPLICABLE, REQUIRED, AND NECESSARY).
- AS PER LOCAL PUBLIC SERVICE UTILITY(S) COMPANY(S), THERE IS A POSSIBILITY FOR AN EXISTING BLANKET EASEMENT TO UTILIZE LAND ALONGS RIGHT-OF-WAY FRONTAGE AND/OR OTHER PORTIONS OF THE SUBJECT PROPERTY(S), WHICH MAY OR MAY NOT HAVE EFFECTS TO THIS APPLICATION, WHEREAS THE PROVIDED DESIGN PLANS PRESENT NONE.
- PENDING UTILITY MARK-OUT AND VERIFICATION(S) OF THE SAME, OWNER & CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH THE UTILITY(S) COMPANY(S). ONELLO ENGINEERING SHALL BE KEPT INFORMED OF ANY PLANNED MODIFICATIONS THERETO.
- ANY UNENCOUNTERED UNDERGROUND STORAGE TANKS (UST) (STORING PETROLEUM OR HAZARDOUS SUBSTANCES), SUB-SURFACE SEPTIC SYSTEMS, AND/OR WELLS SHALL BE ABANDONED AS PER STATE OF NEW JERSEY STANDARDS & PROCEDURES. CONTRACTOR SHALL IMMEDIATELY CONTACT OWNER AND ONELLO ENGINEERING IF UNKNOWN FACILITIES ARE FOUND DURING CONSTRUCTION. ALL REQUIRED VERIFICATIONS, ABANDONMENTS, & CONFIRMATIONS SHALL BE COMPLETED PRIOR TO THE CONTINUANCE OF CONSTRUCTION ACTIVITY.
- ON-SITE SEWAGE PITS (FOR DRAINAGE DRYWELL OR SANITARY SEPTIC) AND/OR OTHER SUB-SURFACE CHAMBERS MAY EXIST, WHICH MAY NOT CONFORM TO TRAFFIC-LOADING REQUIREMENTS. CONTRACTOR SHALL USE NECESSARY PIPE-TRACING METHODS TO LOCATE ANY SEWAGE PIT LOCATIONS (AND/OR VERIFY NON-EXISTENCE THEREOF) PRIOR TO DRIVING HEAVY DUTY EXCAVATION EQUIPMENT ACROSS ANY AREAS OF THE SUBJECT PROPERTY(S).
- CONTRACTOR SHALL SUBMIT MATERIAL SHOP DRAWINGS AND PRODUCT DATA TO ONELLO ENGINEERING FOR REVIEW IN-COMPARISON WITH DESIGN SPECIFICATIONS.
- CONTRACTOR SHALL REQUEST ANY CHANGE-ORDERS VIA OWNER TO ONELLO ENGINEERING FOR REVIEW AND CONFIRMATION.
- ONELLO ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY WORK PERFORMED, WHICH IS NOT IN CONFORMANCE WITH THE DESIGN IMPROVEMENTS AS SPECIFIED WITHIN THIS PLAN SET.

APPROVED BY THE BOARD OF ADJUSTMENT OF THE VILLAGE OF RIDGEWOOD AT A MEETING HELD ON:

THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BOARD OF ADJUSTMENT CHAIRPERSON

BOARD OF ADJUSTMENT SECRETARY

MUNICIPAL CLERK

ZONING BOARD AND/OR VILLAGE ENGINEER

RESOLUTION CASE / FILE # \_\_\_\_\_ DATE \_\_\_\_\_

**PROPOSED IMPROVEMENTS SEQUENCE OF INSTALLATION & VERIFICATIONS**

THIS NOTES SECTION SHALL BE APPLICABLE TO ALL PROPOSED CONDITIONS, INCLUDING BUT NOT LIMITED TO: BUILDINGS, POOLS, & ANY HARDSCAPE IMPROVEMENTS TO BE INSTALLED AS PER THESE DESIGN PLANS

- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: "CONTRACTOR NOTES"
- CONTRACTOR SHALL RETAIN NEW JERSEY LICENSED SURVEYOR VIA ONELLO ENGINEERING TO PROVIDE THE FOLLOWING CONSTRUCTION SEQUENTIAL TASK-ITEM CONSTRUCTION SERVICES
- SITE ELEVATION BENCH-MARK(S) SHALL BE SET, ESTABLISHED, CONFIRMED, AND VERIFIED FOR CONTINUAL USE THROUGHOUT CONSTRUCTION, (TRIANGULATE ELEVATION TO SITE SPECIFIC AREA FOR LINE OF SIGHT AS NECESSARY); SITE WORK CONTRACTOR SHALL HAVE LASER-LEVEL UNIT FOR CONTINUAL VERIFICATIONS DURING CONSTRUCTION ACTIVITY
- IF SITE ELEVATION BENCH-MARK IS COMPROMISED, IMMEDIATELY CONTACT ONELLO ENGINEERING AND PROJECT SURVEYOR FOR A NEW SITE ELEVATION BENCH MARK TO BE SET. ALL SITE ELEVATIONS SHALL BE RE-CONFIRMED AND VERIFIED AS APPLICABLE AND NECESSARY PRIOR TO THE CONTINUANCE OF SITE CONSTRUCTION ACTIVITY; (PROJECT SURVEYOR SHALL HAVE ORIGINAL HORIZONTAL COORDINATES CONTROL AND VERTICAL TOPOGRAPHIC ELEVATION CONTROL)
- STAKE-OUT BUILDING AND HARDSCAPE LOCATIONS AND PROVIDE A LAYOUT MAP WITH STAKE BACK-SHOT LOCATIONS AND ELEVATIONS (AT GRADE LEVEL) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
- IF NO FOOTINGS ARE REQUIRED FOR FOUNDATION BUILDING WALL OR HARDSCAPE COMPONENTS TO BE INSTALLED UPON, (PRE-CASTED WALL PANEL, MODULAR BLOCKS, OR SIMILAR), STAKES (OR PINS) SHALL BE SET AT RESPECTIVE CORNERS & MID-POINTS, WITHIN COMPACTED GRAVEL OR DIGA BASE-COURSE. PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER'S VERIFICATION
- IF DESIGN PLANS CALL FOR FOUNDATION FOOTINGS, AFTER FOUNDATION FOOTINGS FORMS ARE INSTALLED, PERFORM FOOTING AS-BUILT PRIOR TO CONCRETE INSTALLATION TO VERIFY HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS
- AFTER FOUNDATION FOOTINGS ARE CURED, FOUNDATION WALL AND/OR CORNERS & MID-POINTS SHALL BE PINNED, AND SUBSEQUENTLY, THE TOP OF FOOTING ELEVATION SHALL BE VERIFIED (ALSO KNOWN AS: "PINNING THE FOOTINGS" & "FOOTING AS-BUILT SURVEY"). PROVIDE A LAYOUT MAP WITH BACK-SHOT LOCATIONS AND ELEVATIONS FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER'S VERIFICATION
- IF MASONRY WALL IS TO BE "CAST-IN-PLACE" (STEEL REINFORCED CONCRETE), AFTER FORMS HAVE BEEN SET, A WALL FORM AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION, (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- AFTER FORMS HAVE BEEN POURED AND CURED, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE CONSTRUCTED WITH INDIVIDUAL CONCRETE MASONRY UNITS (CMU WALL), AFTER COMPLETION, A WALL LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- IF FOUNDATION WALLS ARE PRE-CASTED AND INSTALLED ON-SITE, AFTER COMPLETION, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED, WHICH SHALL VERIFY THE PROPOSED FOUNDATION LOCATION AND TOP OF FOUNDATION ELEVATION (BOTH HORIZONTALLY & VERTICALLY)
- INTERIM AS-BUILT LOCATION AND ELEVATION VERIFICATION TASK-ITEMS MAY BE OMITTED / WAIVED, BY THE OWNER AND THE GENERAL CONTRACTOR WITH FULL ACKNOWLEDGMENT BY ALL PARTIES, REGARDLESS IF NOTICE IS PROVIDED TO ONELLO ENGINEERING (OR NOT), ANY WAIVED VERIFICATION TASKS ARE THE RESPONSIBILITY OF THE OWNER AND THE GENERAL CONTRACTOR
- A FOUNDATION LOCATION AS-BUILT SURVEY IS REQUIRED TO BE PROVIDED TO THE MUNICIPAL BUILDING DEPARTMENT PRIOR TO THE RELEASE OF A FRAMING PERMIT, WHICH SHALL DEMONSTRATE CONFORMANCE WITH THIS APPROVED DESIGN ENGINEERING PLOT PLAN (HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS)
- CONTRACTOR RESPONSIBLE FOR PROVIDING SURVEY FIELD-CREW WITH PEDESTRIAN ACCESS TO TOP-OF-FOUNDATION LOCATIONS FOR AS-BUILT SURVEY REQUIREMENTS (AS APPLICABLE AND NECESSARY). ACCESS ROUTE SHALL MEET OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS
- PRIOR TO FOUNDATION BACK-FILL, ALL SUB-GRADE FOUNDATION SURFACES SHALL BE WATERPROOFED AS PER STANDARDS WITHIN THESE DESIGN PLANS AND/OR AS PER THE STANDARDS ENTAILED WITHIN THE APPROVED ARCHITECTURAL DRAWINGS
- REGARDLESS OF ARCHITECTURAL REQUIREMENTS, THE FOUNDATION SHALL BE WATERPROOFED WITH COATED SEALANT AND DRAINAGE Dimple BOARD LEADING TO A VIALBE AND APPROVED DRAINAGE DISCHARGE OR CONVEYANCE LOCATION
- EXPOSED FOUNDATION WINDOW WELLS & CASINGS SHALL BE WATER-PROOFED; INSET WINDOW-WELL GRADE SURFACE SHALL BE MINIMUM 4" THICKNESS CLEAN-CRUSHED STONE OVER GEOTEXTILE FABRIC AND SET 8" BELOW THE WINDOW'S MASONRY SILL WITH AN INTERNAL DRAIN LEADING TO FOUNDATION DRAIN AND/OR SUMP-PUMP. EXTERIOR GRADE ATOP WINDOW-WELL WALL SHALL BE PITCHED AT MINIMUM 5.0% "DOWN & AWAY" FROM FOUNDATION; INSTALLATION REQUIREMENTS MAY VARY, CONTRACTOR SHALL CONFIRM ALL SPECIFICATIONS WITH OWNER & ARCHITECT
- A FULLY OPERATIONAL MECHANICAL "SUMP-PUMP" SHALL BE INSTALLED WITHIN A CHAMBER WITHIN THE FOUNDATION BASEMENT FLOOR WITH AN EMERGENCY BATTERY BACK-UP AND ALARM, (CONNECT TO EMERGENCY BACK-UP GENERATOR IF APPLICABLE); ONELLO ENGINEERING RECOMMENDS A MINIMUM OF TWO (2) SUMP-PUMPS BE INSTALLED, EACH AT OPPOSITE SIDES OF THE FOUNDATION
- ONELLO ENGINEERING ACCEPTS NO RESPONSIBILITY TO ANY FOUNDATION DAMAGES RESULTING FROM THE OCCURRENCE OF GROUNDWATER, (REGARDLESS OF APPLIED WATER-PROOFING MATERIALS AND/OR MECHANICAL PUMPS)
- IT IS THE RESPONSIBILITY OF THE OWNER & ARCHITECT TO PROVIDE FOR THE SAFEGUARD OF BUILDING FOUNDATIONS AGAINST GROUNDWATER CONDITIONS. THE MOST CURRENT INDUSTRY STANDARD TECHNOLOGY SHALL BE UTILIZED THERETO (WATER-PROOFING MEMBRANES, DRAINAGE BOARDS, DRAINAGE CONVEYANCE TILE / PIPE, ELECTRONICS, ALARMS, BACK-UP PUMPS, DUPLEX PUMP CIRCUITRY CONTROLS, AUTOMATIC EMERGENCY GENERATOR, ETC)
- ANY WAIVERS OF REQUIRED WATER-PROOFING COMPONENTS ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR
- ALL ASSOCIATED FEES AS PER THE ABOVE LISTED CRITERIA AND TASK-ITEM SERVICES ARE THE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR
- IF NECESSARY, OWNER & CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING FOR FURTHER CLARIFICATION, DIRECTION, AND VERIFICATIONS

**POOL & SPA NOTES**

- POOL & SPA SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE AND NS/SP-5 PER THE INTERNATIONAL RESIDENTIAL CODE AND THE VIRGINIA GRAEME BAKER POOL AND SPA STANDARDS (VGBA)
- THE INSTALLATION OF ANY LIGHTING OF THE POOL SHALL BE SUCH THAT THERE SHALL BE NO GLARE OF DIRECT LIGHTING INTO ADJACENT PROPERTIES
- POOL MECHANICAL EQUIPMENT SHALL MEET ALL MANUFACTURERS SPECIFICATIONS FOR BUILDING SEPARATION DISTANCES, INCLUDING FOUNDATIONS, WINDOWS, AND DOORS AS PER BUREAU OF ALLEGANDALE COUNTY ALL APPLICABLE ZONING SETBACK DISTANCES AND REQUIREMENTS THERETO
- PERIMETER PATIOS & WALKWAYS (AND SURFACE GRADES) SHALL BE PITCHED TO DRAIN "DOWN & AWAY" FROM POOL & SPA COPING, AND RAISED COPING PERIMETER WALLS
- POOL EMPTYING PROCEDURES SHALL BE IN COMPLIANCE WITH NJDEP REGULATIONS
- PERIMETER FENCE SHALL BE POOL SAFETY COMPLIANT AND SHALL COMPLETELY ENCOMPASS THE POOL & SPA (AND ABUT STRUCTURES WITH NO GAPS & MEET ALL APPLICABLE CODES). REFER TO NOTES SECTION ENTITLED: "POOL & SPA PERIMETER FENCE ENCLOSURE NOTES" FOR ADDITIONAL NOTES & REQUIREMENTS

**POOL & SPA PERIMETER FENCE ENCLOSURE NOTES**

- PERIMETER FENCE SHALL BE POOL SAFETY COMPLIANT AND SHALL COMPLETELY ENCOMPASS THE POOL & SPA (AND ABUT STRUCTURES WITH NO GAPS & MEET ALL APPLICABLE CODES)
- CONTINUOUS FENCE ENCLOSURE AND ALL ACCESS GATES SHALL BE "CHILD PROOF" & MEET ALL IBC POOL CODE AND ANY ADDITIONAL LOCAL BUILDING CODE REQUIREMENTS (ALL ACCESS GATES SHALL BE SELF-LOCKING & SELF-LATCHING)
- FENCE SHALL BE INSTALLED WITHIN THE PROPERTY LIMITS (AND ALL APPLICABLE PROPERTY LINES SHALL BE MARKED-OUT BY PROJECT SURVEYOR PRIOR TO FENCE INSTALLATION). ANY ABUTMENTS TO OR SHARING OF, EXISTING POOL COMPLIANT FENCES (WITHIN ADJACENT PROPERTIES OR ALONG SHARED PROPERTY LINES) SHALL BE CONFIRMED IN-WRITING BY PROPERTY OWNER. NOT ALL POOL COMPLIANT FENCES ARE DUAL-SIDE COMPATIBLE; OWNER AND/OR CONTRACTOR SHALL VERIFY ACCORDINGLY
- BACK-TO-BACK FENCE INSTALLATIONS MAY NEGATE POOL SAFETY COMPLIANCE FOR SUBJECT PROPERTY AND/OR ADJACENT PROPERTIES, DUE TO SCALABLE COMPOSITION OF OPPOSITE-SIDES OF FENCE. FURTHERMORE, FENCE INSTALLATIONS WITHIN CLOSE PROXIMITY TO RETAINING WALLS, AND/OR OTHER SCALABLE OBJECTS MAY ALSO NEGATE COMPLIANCE. OWNER AND/OR CONTRACTOR SHALL CONFIRM ALL POOL SAFETY COMPLIANT ASPECTS PRIOR-TO FENCE INSTALLATIONS
- DURING CONSTRUCTION ACTIVITY, POOL & SPA SHALL BE SECURELY COVERED AND/OR SECURELY SURROUNDED WITH TEMPORARY POOL SAFETY COMPLIANT CONSTRUCTION FENCE UNTIL PERMANENT ENCLOSURE IS PROVIDED. POOL FENCE INSTALLATION SHALL BE COMPLETED IN ITS ENTIRETY & CONFIRMED BY MUNICIPAL BUILDING DEPARTMENT INSPECTOR PRIOR TO OPENING OF POOL & SPA FOR USE
- FENCE LOCATIONS DEPICTED ON-PLAN ARE FOR FEASIBILITY & PERMITTING PURPOSES ONLY, WHEREAS OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR ACTUAL FENCE LOCATIONS, ALL VERIFICATIONS FOR POOL SAFETY COMPLIANCE, AND ALL CONSTRUCTION INSTALLATIONS FOR THE SAME
- FENCE ENCLOSURE SHALL MEET ALL REQUIREMENTS UNDER ORDINANCE 1990-124 T (3) - FENCE ENCLOSURES FOR SUCH POOLS SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS IN 1990-124 F AND IN CHAPTER 251, SWIMMING POOLS.(2) IN CASE OF CONFLICT BETWEEN THE ENCLOSURE PROVISIONS OF CHAPTER 251 AND THE REQUIREMENTS OF 1990-124 F, THE PROVISIONS OF CHAPTER 251 SHALL APPLY. (2) FORMER CHAPTER 251, SWIMMING POOLS, WAS REPEALED APRIL 12, 2017 BY ORDINANCE #9391

**VARIANCES REQUESTED**

VILLAGE OF RIDGEWOOD MUNICIPAL ORDINANCES, PART II: GENERAL LEGISLATION, CHAPTER 190 LAND USE AND DEVELOPMENT, ARTICLE X ZONING, 1990-101 R-110 SINGLE-FAMILY RESIDENCE DISTRICT, 1990-119 GENERAL PROVISIONS, AND 1990-125 SPECIAL REGULATIONS FOR CERTAIN USES AND STRUCTURES

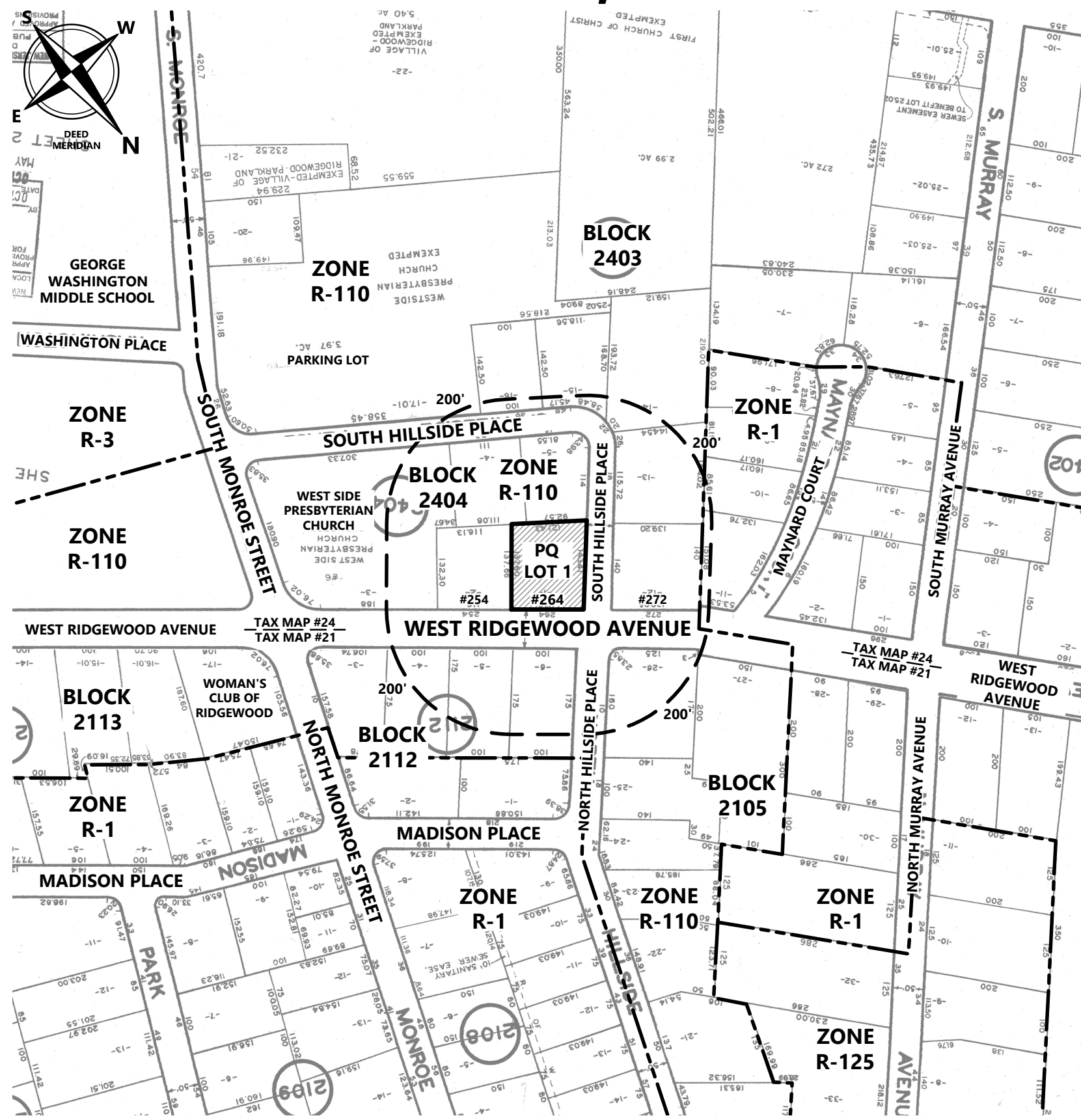
- 1990-101 E (10) & (11) - MAXIMUM TOTAL COVERAGE BY ABOVE-GRADE STRUCTURES IS PERMITTED AT 20.0%, WHEREAS 21.23% IS EXISTING, AND 24.36% IS PROPOSED
- 1990-119 H (1) & (2) - MAXIMUM IMPROVEMENT COVERAGE OF TOTAL LOT (TOTAL LOT AREA 16,656 SF, WITHIN CATEGORY: 14,000 SF TO 24,999 SF) IS PERMITTED AT 40.0%, BUT NOT ABOVE 8,750 SF, WHEREAS 40.68% (6,776 SF) IS EXISTING, AND 47.30% (7,878 SF) IS PROPOSED
- 1990-124 F (3) (D) (5) - IN THE CASE OF FENCES, GUARD RAILS OR OTHER BARRIERS LOCATED AT THE TOP OF RETAINING WALLS, THE COMBINED HEIGHT OF THE BARRIERS AND THE RETAINING WALL SHALL NOT EXCEED THE PERMITTED HEIGHT FOR EITHER FENCES OR WALLS; THE SAME IS PERMITTED AT 4.0-FEET MAXIMUM HEIGHT, WHEREAS MASONRY RETAINING WALLS ARE PROPOSED AT 6-FEET 8-INCHES (6'-8") HEIGHT WITH A 4.0-FEET HEIGHT FENCE-ALONG-TOP, COMBINED AT 10-FEET 8-INCHES (10'-8") OR 10.7-FEET TOTAL COMBINED HEIGHT

ENTIRETY OF SUBJECT PROPERTY AREA IS WITHIN 175' OFFSET FROM EACH RIGHT-OF-WAY, WEST RIDGEWOOD AVENUE AND SOUTH HILLSIDE PLACE, RESPECTIVELY

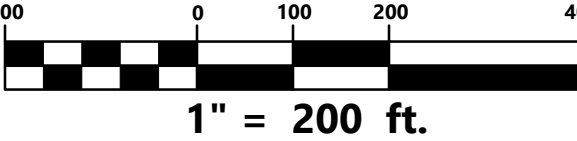
THE APPLICANT SHALL ALSO SEEK RELIEF FROM ANY AND ALL VARIANCES, DESIGN WAIVERS, AND/OR OTHER, WHICH THE VILLAGE OF RIDGEWOOD MAY DEEM APPLICABLE AND NECESSARY FOR THE APPLICATION

LETTER OF DENIAL ISSUED TO MR DAVID ROSEN, 264 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450, FOR PROPOSED IMPROVEMENTS AS PER THIS ONELLO ENGINEERING PLAN-SET (RAISED PATIO WITH POOL & SPA) FOR BLOCK 2404, LOT, #264 WEST RIDGEWOOD AVENUE, VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY, VIA VILLAGE OF RIDGEWOOD BUILDING DEPARTMENT, 5/S PAOLA G PEREZ, ASSISTANT ZONING OFFICER, DECEMBER 4, 2023

**PLOT PLAN ZONING ANALYSIS & SOIL MOVEMENT FOR ROSEN POOLSCAPE PROJECT ZONING BOARD OF ADJUSTMENT #264 WEST RIDGEWOOD AVENUE LOT 1 - BLOCK 2404 VILLAGE OF RIDGEWOOD BERGEN COUNTY, NEW JERSEY**



**PROPERTY LOCATION MAP RIDGEWOOD TAX MAP #24 & #21 GRAPHIC SCALE**



**CERTIFIED 200 FT TAX LIST**

VILLAGE OF RIDGEWOOD, 131 NORTH MAPLE AVENUE, RIDGEWOOD, NEW JERSEY 07450

DIVISION OF ASSESSMENT, WILLIAM M PALUMBO, PHONE: 201-670-5500, EXT 2220, FAX: 201-251-9432, EMAIL: VOR.ASSESSOR@RIDGEWOOD.NJ.GOV

CERTIFIED PROPERTY OWNERS LIST, (PROPERTY WITHIN 200 FEET)

NAME OF APPLICANT	2012 DAVID J ROSEN IRREVOCABLE TRUST
PROPERTY LOCATION	264 WEST RIDGEWOOD AVENUE
BLOCK	2404
LOT	1
PURPOSE	200 FT LIST
DATE OF LIST	SEPTEMBER 1, 2023

I HEREBY CERTIFY THAT THE ATTACHED LIST WAS CREATED FROM THE OFFICIAL RECORDS OF THE VILLAGE OF RIDGEWOOD, /S/ WILLIAM M PALUMBO, ASSESSOR

LEGAL NOTICE TO PUBLIC / PRIVATE UTILITIES & GOVERNMENT AGENCIES (ALL NOTICE MUST BE BY CERTIFIED MAIL)

CHAPTER 245 OF THE NEW JERSEY PUBLIC LAWS OF 1991 REQUIRES THAT ALL PERSONS SEEKING THE APPROVAL OF ANY KIND OF A LAND DEVELOPMENT APPLICATION FROM A LOCAL ZONING BOARD OF ADJUSTMENT OR FROM A PLANNING BOARD MUST GIVE NOTICE TO ALL PUBLIC UTILITIES AND CABLE TELEVISION COMPANIES THAT POSSESS ANY RIGHT-OF-WAY OR EASEMENTS WITHIN OR ACROSS THE SUBJECT PROPERTY.

THE ADDRESSES OF THE VARIOUS UTILITIES THAT MAY HAVE TO BE GIVEN NOTICE OF YOUR APPLICATION ARE AS FOLLOWS:

ELECTRIC & GAS: PUBLIC SERVICE ELECTRIC & GAS COMPANY, MANAGER - CORPORATE PROPERTIES, 80 PARK PLAZA, #766, NEWARK, NEW JERSEY 07102

WATER: RIDGEWOOD WATER DEPARTMENT, DIRECTOR'S OFFICE, 131 NORTH MAPLE AVENUE, RIDGEWOOD, NEW JERSEY 07451

CABLE TV: CABLEVISION, 40 POTASH ROAD, OAKLAND, NEW JERSEY 07046

TELEPHONE: VERIZON NEW JERSEY INCORPORATED, MARK BOCCHERI, DIRECTOR - EXTERNAL AFFAIRS, 25 MAIN STREET, HACKENSACK, NEW JERSEY 07601

SEWER: ENGINEERING DIVISION COLLECTION SYSTEM OPERATIONS, 131 NORTH MAPLE AVENUE, RIDGEWOOD, NEW JERSEY 07451

IT IS THE APPLICANT'S RESPONSIBILITY TO DETERMINE WHETHER OR NOT THERE ARE ANY RIGHTS-OF-WAY OR EASEMENTS ON OR ACROSS THE PROPERTY; AND IF SO, IT IS THE APPLICANT'S RESPONSIBILITY TO GIVE LEGAL NOTICE TO THE APPROPRIATE UTILITY OR UTILITIES. IF YOU ARE IN DOUBT, IT IS SUGGESTED THAT NOTICE BE GIVEN TO THE APPROPRIATE UTILITY

GOVERNMENT AGENCIES: IF THE SUBJECT PROPERTY IS LOCATED ON A COUNTY ROAD OR IS WITHIN 200' OF ANY COUNTY PROPERTY, NOTIFY: BERGEN COUNTY PLANNING BOARD, ONE BERGEN COUNTY PLAZA, HACKENSACK, NEW JERSEY 07601-7000

IF ON A STATE HIGHWAY, NOTIFY: NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT), 1035 PARKWAY AVENUE, TRENTON, NEW JERSEY 08625

IF WITHIN 200' FT OF RAILROAD, NOTIFY: STATE OF NJ DOT, MARKET STREET & MCCARTER HIGHWAY NEWARK, NEW JERSEY 07101

IF THE SUBJECT PROPERTY IS WITHIN 200 FEET OF A MUNICIPAL BORDER, THE CLERK OF THE ADJACENT MUNICIPALITY AND THE BERGEN COUNTY PLANNING BOARD MUST BE NOTIFIED

TAKE FURTHER NOTICE, THAT IN ADDITION, NOTICE OF PUBLIC HEARINGS ON APPLICATIONS FOR MAJOR SUBDIVISION APPROVALS OR MAJOR SITE PLAN APPROVALS MUST BE GIVEN BY THE APPLICANT TO ALL PUBLIC UTILITIES AND ALL CABLE TELEVISION COMPANIES THAT HAVE ANY FACILITIES OR POSSESS A RIGHT-OF-WAY OF EASEMENT LOCATED ANYWHERE WITHIN 200 FEET OF THE SUBJECT PROPERTY. IT IS SUGGESTED THAT MAJOR SUBDIVISION AND MAJOR SITE PLAN APPROVAL APPLICANTS SHOULD CONTACT THE APPROPRIATE UTILITIES AND OBTAIN IN WRITING A STATEMENT WHETHER OR NOT THE UTILITY HAS ANY FACILITIES EASEMENT WITHIN 200 FEET OF THE SUBJECT PROPERTY

RIDGEWOOD VILLAGE, PARCEL OFFSET LIST

TARGET PARCEL(S): BLOCK-LOT: 2404-1, 2012 DAVID J ROSEN IRREVOCABLE TRST  
17 PARCELS FALL WITHIN 200 FEET OF THIS PARCEL(S)

BLOCK-LOT: 2105-26, LEE, PATRICIA J & CHAN, ALAN, 10 NORTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2105-27, DUNIGAN, PATRICK C JR & CHRISTINA, 275 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2404-5, SHUE, JENNIFER R & NG, JOSHUA, 15 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-17,01, WEST SIDE PRESBYTERIAN CHURCH, 6 SOUTH MONROE STREET, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-15, MULARZ, PAUL F & LOREN R LEMBO, 28 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-11, FISHER, CLAY & MICHELLE, 5 MAYNARD COURT, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2112-5, ROGERS, ROY LEE & PATRICIA, 245 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-12, NIDDS, JOHN & AMY, 272 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2112-6, GOULDING, NATHAN & ANNE MARIE RENEE, 255 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2404-4, NESHTUN, TATIANA, 33 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2112-4, SHARP, DONALD & MASAKO, 235 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-14, GUTIERREZ, PETER G & ALEXIS CARILLO, 22 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-16, WESNER, MICHAEL & LYSOSSON, 36 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2404-3, WEST SIDE PRESBYTERIAN CHURCH, 6 SOUTH MONROE STREET, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-10, MUSELL, FRED & MINDY, 15 MAYNARD COURT, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2403-13, FLYNN, NICHOLAS & DANA M, 18 SOUTH HILLSIDE PLACE, RIDGEWOOD, NEW JERSEY 07450

BLOCK-LOT: 2404-2, SEKHON, S & SARAB, 254 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450

(DATE PRINTED: SEPTEMBER 1, 2023, PAGES 1 AND 2 OF 2)

**GENERAL PLAN NOTES**

- SUBJECT PROPERTY KNOWN AS: LOT 1 (IN BLOCK 2404), #264 WEST RIDGEWOOD AVENUE, VILLAGE OF RIDGEWOOD, TAX MAP #24, COUNTY OF BERGEN, STATE OF NEW JERSEY
- DEED BOOK 4457, PAGE 871, OCTOBER 19, 2021, RECORDED NOVEMBER 15, 2021
- PROPERTY LOCATED IN THE "R-110" RESIDENTIAL ZONE DISTRICT. BLOCK ZONING REQUIREMENTS AS PER BOROUGH OF ALLENDALE CODE SECTION 1990-101 & 1990-124 (FOR PROPOSED ACCESSORY POOL)
- EXISTING SITE CONDITIONS ARE REPRESENTATIVE WITHIN THIS PLOT PLAN SET AS PER THE REFERENCED PROPERTY SURVEY
- THERE ARE NO KNOWN COVENANTS AND/OR DEED RESTRICTIONS AFFECTING THE SITE, WHICH HAVE BEEN DISCLOSED TO ONELLO ENGINEERING. OWNER SHALL VALIDATE IF REQUIRED BY REVIEW AGENCY(S)
- OWNER AND/OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED APPROVALS, CERTIFICATIONS, AND PERMITS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY
- PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SECTION ENTITLED: "CONTRACTOR NOTES"
- CONTRACTOR SHALL RETAIN AN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON-SITE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES
- ALL REMOVED MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, STATE OF NEW JERSEY AND FEDERAL INTER-STATE
- NO WORK SHALL BE PERFORMED, NOR DISTURB ADJACENT PROPERTIES, WHICH ARE NOT UNDER COMMON OWNERSHIP, WITHOUT AUTHORIZED WRITTEN CONSENT OF ADJACENT PROPERTY OWNERS. GRADING AND DRAINAGE PATTERNS SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES
- CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGES TO EXISTING IMPROVEMENTS, WHICH ARE SPECIFIED TO REMAIN, AT ITS EXPENSE AND TO THE SATISFACTION OF THE OWNER
- ALL CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS ONELLO ENGINEERING AND ITS SUB-CONSULTANTS (TO THE FULLEST EXTENT PERMITTED BY LAW) AGAINST ANY DAMAGES AND LIABILITIES (INCLUDING OF ATTORNEY'S FEES) ARISING FROM CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE
- WEST RIDGEWOOD AVENUE & SOUTH HILLSIDE PLACE ARE ROADWAYS WITHIN RIGHT-OF-WAYS. ALL CONTRACTORS AND PERSONS ASSOCIATED WITH THE PROJECT SHALL ABIDE BY THE SPEED LIMIT OF ALL ROADWAYS. CONTRACTOR IS RESPONSIBLE FOR ROAD OPENING PERMITS. ALL TRAFFIC CONTROL DEVICES SHALL CONFIRM TO THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- EXISTING RESIDENTIAL DRIVEWAYS(S) SHALL BE USED FOR CONSTRUCTION ACCESS. INSTALL CONSTRUCTION ACCESS WHEEL BLANKET AS PER PLAN OR IF AND WHERE DIRECTED BY VILLAGE OF RIDGEWOOD ENGINEER. (S) AND/OR SOIL CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)

- ALL LIMIT OF DISTURBANCE FENCING, SILT FENCING AND TREE PROTECTION (AND OTHER APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES) MUST BE INSTALLED AND INSPECTED PRIOR TO RELEASE OF PERMITS. CONTRACTOR SHALL ABIDE BY ANY VILLAGE OF RIDGEWOOD ORDINANCES STIPULATING AREAS OF NO DISTURBANCE
- ANY SOILS TRAPPED ONTO THE STREET (ROADWAY) MUST BE IMMEDIATELY REMOVED. IF TRACKED SOIL REMAINS OVERNIGHT, THE BOROUGH OF ALLENDALE AND/OR COUNTY OF BERGEN DEPARTMENT OF PUBLIC WORKS SHALL REMOVE IT AND ASSESS THE OWNER FOR THOSE COSTS. THE BOROUGH OF ALLENDALE AND COUNTY OF BERGEN WILL NOT TOLERATE ANY OFFSITE SILT AND SOIL TRACKING. ANY BREACH OF SILT CONTROL WILL RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED
- THE APPLICANT SHALL BE RESPONSIBLE FOR THE IN-KIND REPLACEMENT OF ANY CURB OR SIDEWALK AND ROADWAY SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY
- THE MAXIMUM HEIGHT OF CONSTRUCTED RETAINING WALLS SHALL BE WITHIN THE LIMITATIONS OF VILLAGE OF RIDGEWOOD ZONING REQUIREMENTS THERETO, (MEASURED FROM TOP OF WALL CAP) TO FINISHED GRADE (BELOW)
- EXISTING ON-SITE RESIDENCE & DETACHED GARAGE BUILDINGS ARE CONSIDERED TO BE LEGALLY EXISTING STRUCTURES WITH A VALID TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE PREMISES ON-FILE WITH THE VILLAGE OF RIDGEWOOD
- THERE ARE NO ALTERATIONS TO THE EXISTING RESIDENCE BUILDING AS PART OF THIS APPLICATION, THUS ANY ZONING REQUIREMENTS HAVE BEEN DETERMINED AS PER ORIGINAL ZONING APPROVALS PERTAINING TO THE SAME
- A COPY OF THE APPROVED AND AUTHORIZED SOIL EROSION & SEDIMENT CONTROL PLAN IN DIRECT RELATION TO THE ASSOCIATED CERTIFICATION THERETO SHALL REMAIN AT THE SITE ACCESSIBLE TO VILLAGE OF RIDGEWOOD AND SOIL CONSERVATION DISTRICT OFFICIALS AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL COMPLETION OF THE PROJECT
- THIS PLAN-SET SHALL ONLY BE CONSIDERED A COMPLETE PLAN SET IF ALL SHEETS ARE INCLUSIVE AS PER THE SHEET INDEX PROVIDED ON DRAWING SHEET #1, ALL PLAN SHEETS SHALL MATCH THE EXACT AND CONSISTENT REVISION DATE THROUGHOUT, ALL PLAN SHEETS SHALL BE SIGNED AND SEALED BY THE ORIGINAL DESIGN ENGINEER FROM ONELLO ENGINEERING
- OWNER & CONTRACTOR SHALL CONFIRM THE LAST REVISED PLAN SET DATE WITH ONELLO ENGINEERING PRIOR TO THE IMPLEMENTATION OR INSTALLATION OF ANY ITEMS PROVIDED THROUGHOUT THIS PLAN SET

**REVIEW AGENCIES**

- VILLAGE OF RIDGEWOOD DEPARTMENT OF ZONING, ENGINEERING, AND BUILDING; 131 NORTH MAPLE AVENUE, RIDGEWOOD, NEW JERSEY 07450, 201-670-5500, RIDGEWOOD.NJ.NET
- BERGEN COUNTY SOIL CONSERVATION DISTRICT (BCSCD) SOIL EROSION AND SEDIMENT CONTROL PLAN (SECC) CERTIFICATION AND APPROVAL REQUIRED; 700 KINDERKAMACK ROAD, SUITE #106, ORADEL, NEW JERSEY 07649, INFO@BERGENSCD.ORG, 201-261-4407

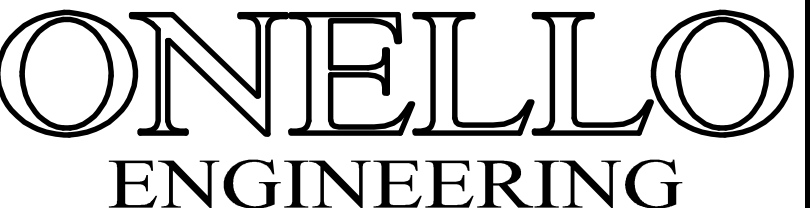
**APPLICANT REPRESENTATION**

- OWNER & PPLICANT: 2012 DAVID J ROSEN IRREVOCABLE TRUST, C/O DAVID ROSEN, 264 WEST RIDGEWOOD AVENUE, 264 WEST RIDGEWOOD AVENUE, RIDGEWOOD, NEW JERSEY 07450
- ATTORNEY: PRICE MESE, SHULMAN & D'ARMINIO, PC, MATTHEW R WEISS, ESC, 50 ICE BOULEVARD, SUITE #80, WOODCLIFF LAKE, NEW JERSEY 07677, MWESS@PRICE MESE.COM, 201-391-3737 EXT 155
- PROJECT ENGINEER: ONELLO ENGINEERING, ANGELO ONELLO, PE, 5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642, ANGELO@ONELLO.ENG.COM, 201-774-1444
- LANDSCAPE DESIGNER: SUSAN COHAN GARDENS, SUSAN COHAN, 315 HIGHLAND AVENUE, BOONTON, NEW JERSEY 07005, SUSAN@SUSANCOHAN.GARDENS.COM, 201-572-1502
- SURVEYOR: LANTELME, KURENS & ASSOCIATES, CHRISTOPHER J LANTELME, NEW JERSEY PLS #93980, 101 WEST STREET, SUITE #9, HILLSDALE, NEW JERSEY 07642, C111@VERIZON.NET, 201-666-2450

**SHEET SET INDEX**

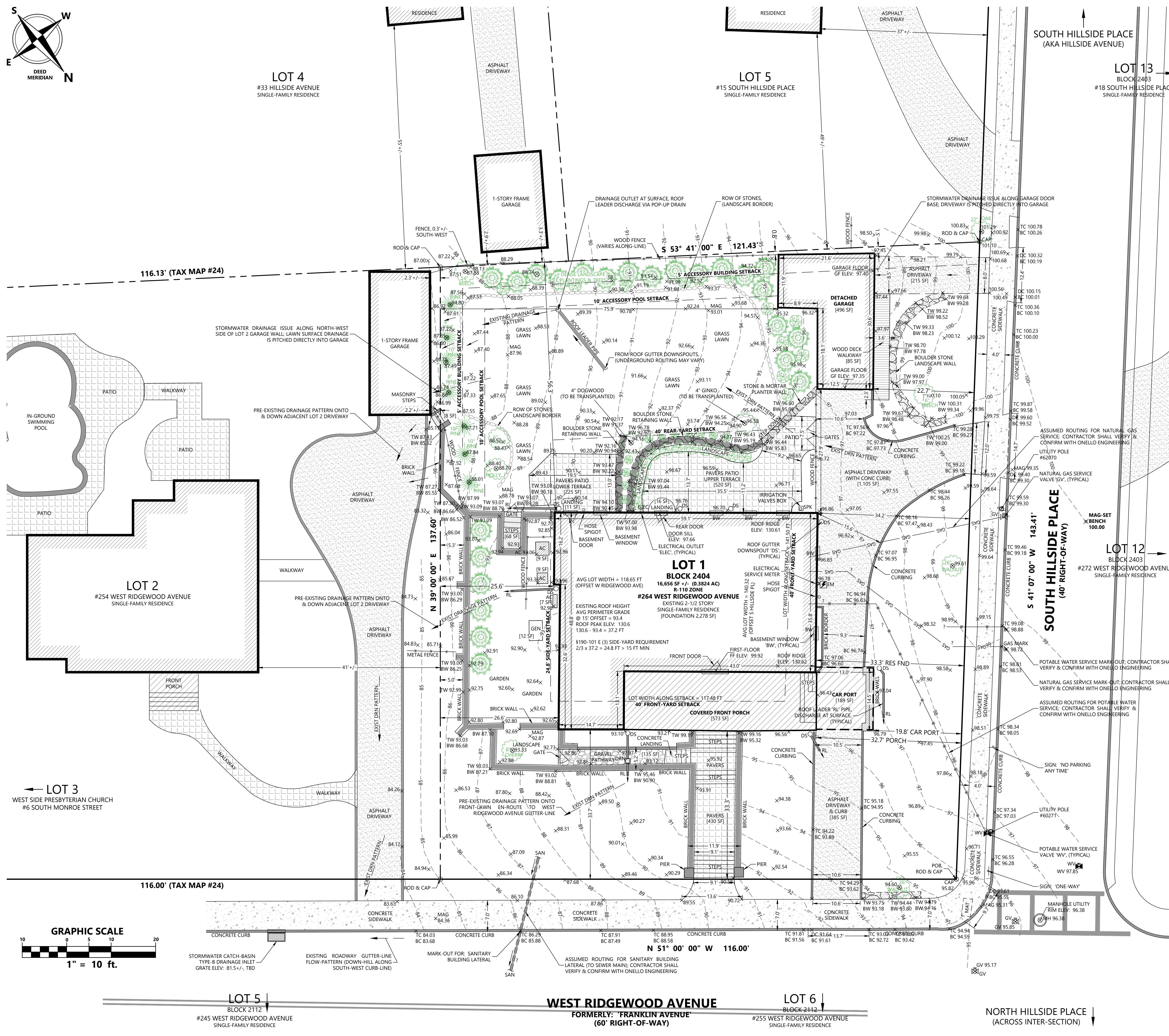
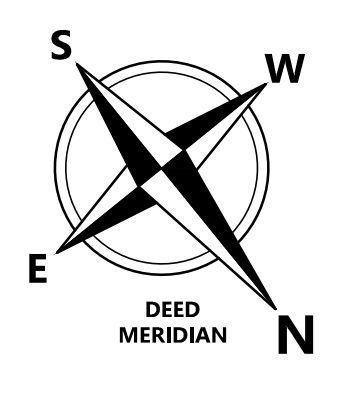
DWG #	DESCRIPTION
#1	PROJECT INFORMATION & KEY MAP
#2	EXISTING CONDITIONS PLAN
#3	DESIGN LAYOUT & ZONING ANALYSIS
#4	SITE ENGINEERING
#5	SOIL EROSION & SEDIMENT CONTROL
#6	CONSTRUCTION DETAILS

**ROSEN, RIDGEWOOD PLOT PLAN: POOLSCAPE PROJECT**



5 BEECHNUT STREET  
HILLSDALE, NEW JERSEY 07642  
201-774-1444 Angelo@OnelloEng.com

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### VILLAGE OF RIDGEWOOD BULK ZONING SCHEDULE §190-101 R-110 SINGLE-FAMILY RESIDENCE DISTRICT

DESCRIPTION	REQUIREMENT	EXIST SURVEY	CONDITION
LOT AREA (SF) (175' OF ROW)	22,750 SF / CORNER §190-101 E (6)	16,656 SF *	PRE-EXISTING NON-CONFORMITY
LOT AREA (AC) TOTAL		16,656 SF *	0.3824 AC
LOT WIDTH (40' SETBACK) WEST RIDGEWOOD AVENUE	130 FT / CORNER §190-101 E (7)	117.48 FT	PRE-EXISTING NON-CONFORMITY
AVERAGE LOT WIDTH WEST RIDGEWOOD AVENUE	130 FT / CORNER §190-101 E (8)	118.65 FT	PRE-EXISTING NON-CONFORMITY
LOT WIDTH (40' SETBACK) SOUTH HILLSIDE PLACE	130 FT / CORNER §190-101 E (7)	141.50 FT	CONFORMS
AVERAGE LOT WIDTH SOUTH HILLSIDE PLACE	130 FT §190-101 E (8)	140.32 FT	CONFORMS
LOT DEPTH FROM WEST RIDGEWOOD AVENUE	140 FT MIN §190-101 E (9)	137.60 FT	PRE-EXISTING NON-CONFORMITY
LOT DEPTH FROM SOUTH HILLSIDE PLACE	140 FT MIN §190-101 E (9)	116.00 FT	PRE-EXISTING NON-CONFORMITY

\*ENTIRETY OF SUBJECT PROPERTY AREA IS WITHIN 175' OFFSET FROM EACH RIGHT-OF-WAY, WEST RIDGEWOOD AVENUE AND SOUTH HILLSIDE PLACE, RESPECTIVELY

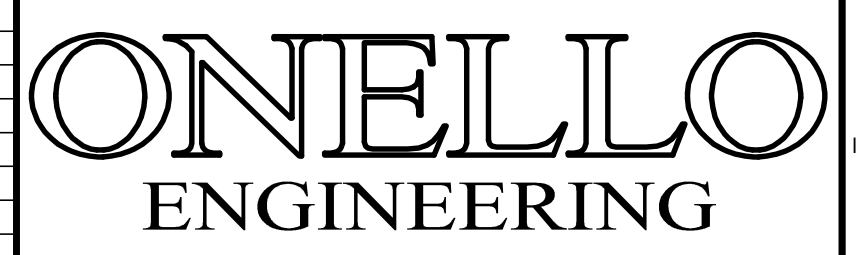
DESCRIPTION	REQUIREMENT	EXIST SURVEY	CONDITION
HEIGHT	30 FT / 35 FT MAX §190-101 E (1)	37.2 FT	PRE-EXISTING NON-CONFORMITY
FRONT-YARD SETBACK RES FND WEST RIDGEWOOD AVENUE	40 FT MIN §190-101 E (2)	33.7 FT	PRE-EXISTING NON-CONFORMITY
FRONT-YARD SETBACK PORCH WEST RIDGEWOOD AVENUE	40 FT MIN §190-101 E (2)	33.3 FT	PRE-EXISTING NON-CONFORMITY
FRONT-YARD SETBACK RES FND SOUTH HILLSIDE PLACE	40 FT MIN §190-101 E (2)	33.3 FT	PRE-EXISTING NON-CONFORMITY
FRONT-YARD SETBACK PORCH SOUTH HILLSIDE PLACE	40 FT MIN §190-101 E (2)	32.7 FT	PRE-EXISTING NON-CONFORMITY
FRONT-YARD SETBACK CAR-PORT SOUTH HILLSIDE PLACE	40 FT MIN §190-101 E (2)	19.8 FT	PRE-EXISTING NON-CONFORMITY
SIDE-YARD SETBACK (SOUTH-EAST LOT 2 PROP LINE)	24.8 FT MIN §190-101 E (3)	25.6 FT	COMPLIES
REAR-YARD SETBACK (SOUTH-WEST LOTS 4 & 5 PROP LINE)	40 FT §190-101 E (5)	56.3 FT	COMPLIES

DESCRIPTION	REQUIREMENT	EXIST SURVEY	CONDITION
FRONT-YARD SETBACK SOUTH HILLSIDE PLACE	40 FT §190-119 C (1) (C)	22.7 FT	PRE-EXISTING NON-CONFORMITY
REAR / SIDE-YARD SETBACK (SOUTH-WEST LOT 5 PROP LINE)	5 FT §190-119 C (1) (F)	0.8 FT	PRE-EXISTING NON-CONFORMITY
SIDE-YARD SETBACK (SOUTH-EAST LOT 2 PROP LINE)	5 FT §190-119 C (1) (F)	75.9 FT	COMPLIES
DISTANCE ACCESSORY STRUCTURE TO RESIDENCE FOUNDATION	12 FT §190-119 C (1) (D)	27.9 FT	COMPLIES

### MAP REFERENCE NOTES

- SURVEY, BOUNDARY & TOPOGRAPHIC AS PER PLAN ENTITLED: "PROPERTY SURVEY, PROPERTY SITUATED IN: VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY, LOT NO.: 1 (TAX MAP), BLOCK NO.: 2404 (TAX MAP), MAP SOURCE: TAX ASSESSMENT MAP OF THE VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY, FILE #264WRIDGE, PREPARED BY LANTELME, KURENS & ASSOCIATES, CHRISTOPHER J LANTELME, NJ PLS, JUNE 27, 2022
- LANTELME, KURENS & ASSOCIATES, C/O CHRISTOPHER J LANTELME, NEW JERSEY PLS #39580, 101 WEST STREET, SUITE #9, HILLSDALE, NEW JERSEY 07642, 201-666-2450, C/L1 @VERIZON.NET
- VERTICAL DATUM ASSUMED AT ELEVATION 100.00', MAG SET BENCH WITHIN SOUTH HILLSIDE PLACE PAVEMENT, (AS PER PROVIDED ON-PLAN)
- SURVEY REFERENCES, MAP SOURCE: "TAX ASSESSMENT MAP OF THE VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY"
- ADDITIONAL NOTATIONS FOR EXISTING CONDITIONS HAVE BEEN APPENDED TO THE EXISTING CONDITIONS PLAN AS PER SITE VISIT(S) BY ONELLO ENGINEERING ON JULY 19, 2023
- EXTENDED OFF-SITE MAPPING APPROXIMATED VIA AERIAL IMAGERY (AS PER GOOGLE EARTH, AS OF AUGUST 8, 2023), WHICH IS PROVIDED FOR REFERENCE PURPOSES ONLY

## ROSEN, RIDGEWOOD EXISTING CONDITIONS



5 BEECHNUT STREET  
HILLSDALE, NEW JERSEY 07642  
201-774-1444 Angelo@OnelloEng.com

DATE	DESCRIPTION
2023 12/19	ZONING BOARD VARIANCE APPLICATION
2023 11/13	ZONING REVIEW
2023 09/13	ORIGINAL PLAN DATE
YEAR	MM/DD REVISION DIGEST NOTES

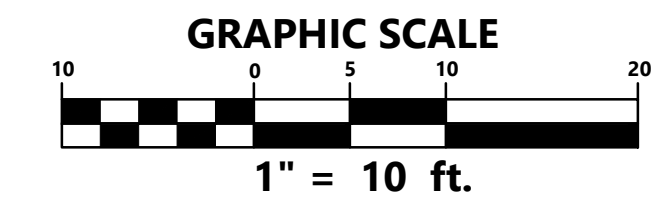
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**PLOT PLAN**  
ZONING ANALYSIS & SOIL MOVEMENT

**ROSEN**  
#264 WEST RIDGEWOOD AVENUE  
LOT 1 - BLOCK 2404  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY

DWG # **2**  
OF **6**

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NOT FOR CONSTRUCTION



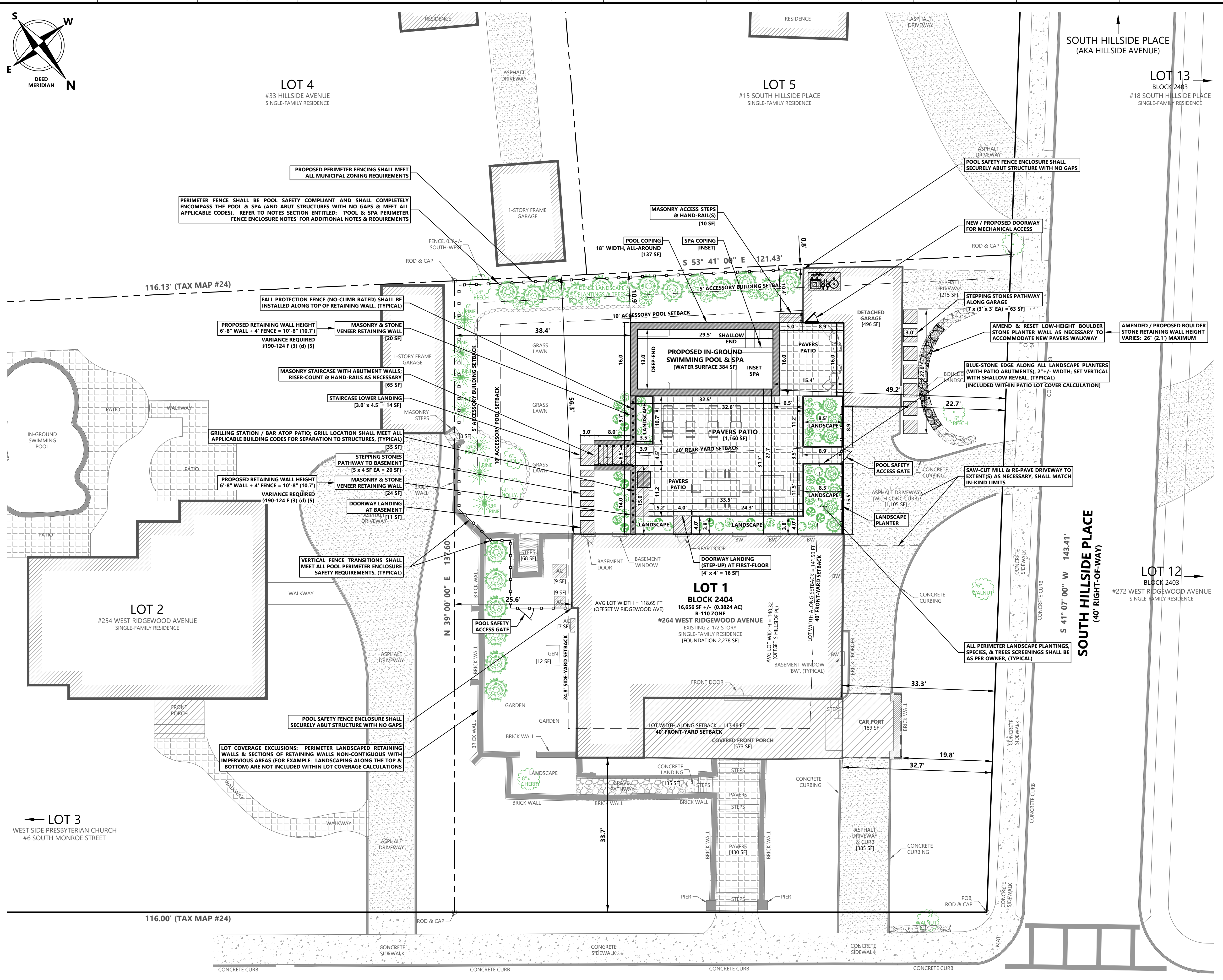
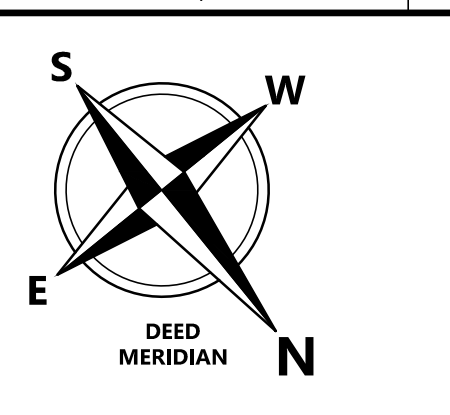
LOT 5  
BLOCK 2112  
#245 WEST RIDGEWOOD AVENUE  
SINGLE-FAMILY RESIDENCE

**WEST RIDGEWOOD AVENUE**  
FORMERLY: "FRANKLIN AVENUE"  
(60' RIGHT-OF-WAY)

LOT 6  
BLOCK 2112  
#255 WEST RIDGEWOOD AVENUE  
SINGLE-FAMILY RESIDENCE

**NORTH HILLSIDE PLACE**  
(ACROSS INTER-SECTION)

EXISTING SURVEY



### LOT COVERAGE CALCULATIONS

DESCRIPTION	NOTES	EXISTING	PROPOSED
PRINCIPAL RESIDENCE FOUNDATION	TO REMAIN	2,278 SF	2,278 SF
COVERED FRONT PORCH	TO REMAIN	573 SF	573 SF
CAR-PORT EXTENSION	TO REMAIN	189 SF	189 SF
DETACHED GARAGE	TO REMAIN	496 SF	496 SF
POOL & SPA WATER SURFACE	NEW / PROPOSED	0 SF	384 SF
POOL PERIMETER COPING	NEW / PROPOSED	0 SF	137 SF
POOL, SPA, & COPING			521 SF COMBINED
<b>SUB-TOTAL BUILDING COVER</b>		<b>3,536 SF</b>	<b>4,057 SF</b>
LOT AREA	AS PER SURVEY	16,656 SF	16,656 SF
<b>BUILDING LOT COVERAGE</b>	<b>20% MAXIMUM</b>	<b>21.23 %</b>	<b>24.36 % \$190-101 E (10) &amp; (11) VARIANCE REQUIRED</b>

### IMPROVED LOT COVERAGE

DESCRIPTION	NOTES	EXISTING	PROPOSED
DRIVEWAY WEST RIDGEWOOD AVENUE	TO REMAIN	385 SF	385 SF
DRIVEWAY SOUTH HILLSIDE PLACE	REPAVE IN-KIND	1,105 SF	1,105 SF
DRIVEWAY DETACHED GARAGE	TO REMAIN	215 SF	215 SF
WOOD DECK WALK (ALONG GARAGE)	REMOVE	85 SF	0 SF
STEPPERS PATHWAY (ALONG GARAGE)	NEW / PROPOSED	0 SF	63 SF
FRONT WALK, STEPS, & WALLS	TO REMAIN	430 SF	430 SF
FRONT GRAVEL PATH & WALLS	TO REMAIN	135 SF	135 SF
REAR PATIO (UPPER TERRACE)	REMOVE	520 SF	0 SF
POOL PATIO AREAS (ALL)	NEW / PROPOSED	0 SF	1,160 SF
REAR DOORWAY LANDING (FIRST-FLOOR)	REBUILD	16 SF	16 SF
GRILLING STATION (UPPER TERRACE)	NEW / PROPOSED	0 SF	35 SF
MASONRY STEPS NEAR POOL MECH DOOR	NEW / PROPOSED	0 SF	10 SF
MASONRY PATIO RETAINING WALLS	NEW / PROPOSED	0 SF	44 SF
MASONRY STAIRCASE (TO LOWER YARD)	NEW / PROPOSED	0 SF	65 SF
REAR PATIO (LOWER TERRACE)	REMOVE	225 SF	0 SF
STAIRCASE LOWER LANDING	NEW / PROPOSED	0 SF	14 SF
STEPPERS PATHWAY TO BASEMENT DOOR	NEW / PROPOSED	0 SF	20 SF
REAR DOORWAY LANDING (BASEMENT)	REBUILD IF NECESSARY	11 SF	11 SF
MASONRY STEPS (NEAR AC UNITS)	TO REMAIN	68 SF	68 SF
MASONRY STEPS (LOT 2 GARAGE CORNER)	TO REMAIN	8 SF	8 SF
AC CONDENSER UNITS (ALL, 3)	TO REMAIN	25 SF	25 SF
BACK-UP POWER GENERATOR	TO REMAIN	12 SF	12 SF
POOL MECHANICAL EQUIPMENT	N/A (INSIDE GARAGE)	0 SF	0 SF
<b>SUB-TOTAL IMPROVEMENTS</b>		<b>3,240 SF</b>	<b>3,821 SF</b>
<b>TOTAL LOT COVERAGE</b>	<b>BLDG + IMP</b>	<b>6,776 SF</b>	<b>7,878 SF &lt; 8,750 SF</b>
LOT AREA	AS PER SURVEY	16,656 SF	16,656 SF
<b>TOTAL LOT COVERAGE</b>	<b>40% MAXIMUM</b>	<b>40.68 %</b>	<b>47.30 % \$190-119 H (1) &amp; (2) VARIANCE REQUIRED</b>

- ### NOTES
- ENTIRETY OF SUBJECT PROPERTY AREA IS WITHIN 175' OFFSET FROM EACH RIGHT-OF-WAY, WEST RIDGEWOOD AVENUE AND SOUTH HILLSIDE PLACE, RESPECTIVELY.
  - THICKNESS (WIDTHS) OF RETAINING WALLS NON-CONTIGUOUS WITH IMPERVIOUS AREAS HAVE BEEN EXCLUDED FROM LOT COVERAGE CALCULATIONS; I.E. - SECTIONS OF RETAINING WALLS WITH LAWN AND/OR LANDSCAPING BOTH ABOVE-AND-BELOW.

### VILLAGE OF RIDGEWOOD ZONING REQUIREMENTS \$190-101 & \$190-124 ACCESSORY SWIMMING POOL & SPA

DESCRIPTION	REQUIREMENT	PROPOSED	CONDITION
FRONT-YARD SETBACK SOUTH HILLSIDE PLACE	40 FT \$190-124 T (1)	49.2 FT	COMPLIES
SIDE / REAR-YARD SETBACK (SOUTH-WEST LOT 5 PROP LINE)	10 FT \$190-124 T (2)	10.9 FT	COMPLIES
SIDE-YARD SETBACK (SOUTH-EAST LOT 2 PROP LINE)	10 FT \$190-124 T (2)	38.4 FT	COMPLIES
DISTANCE WATER'S EDGE TO RESIDENCE FOUNDATION	12 FT §190-119 C (1) (D)	31.7 FT	COMPLIES

**\$190-101 R-110 SINGLE FAMILY DISTRICT**  
 B. ACCESSORY USES AND STRUCTURES, (2) PRIVATE SWIMMING POOLS AS PERMITTED AND REGULATED BY §190-124 T

**\$190-124 SPECIAL REGULATIONS FOR CERTAIN USES AND STRUCTURES**  
 T. RESIDENTIAL SWIMMING AND WADING POOLS. SWIMMING AND WADING POOLS DEFINED AS "REGULATED POOLS" IN §190-3 AND WHICH ARE ACCESSORY TO A RESIDENTIAL DWELLING SHALL BE SUBJECT TO THE FOLLOWING REQUIREMENTS:  
 (1) SUCH POOLS, INCLUDING ANY DECKING OR PATIO ADJACENT TO THE POOL, SHALL BE PROHIBITED IN THE FRONT YARD, AND SHALL BE LOCATED FROM THE FRONT LOT LINE A DISTANCE NOT LESS THAN THE MINIMUM FRONT YARD DEPTH, WHICHEVER IS MORE RESTRICTIVE.  
 (2) SUCH POOLS, INCLUDING ANY DECKING OR PATIO ADJACENT TO THE POOL, SHALL BE SET BACK FROM THE SIDE AND REAR LOT LINES A DISTANCE NOT LESS THAN 10 FEET. THE FOREGOING REQUIREMENT SHALL NOT APPLY TO PORTABLE-TYPE WADING POOLS.

# ROSEN, RIDGEWOOD DESIGN LAYOUT & ZONING ANALYSIS

**ONELLO ENGINEERING**

5 BEECHNUT STREET  
 HILLSDALE, NEW JERSEY 07642  
 201-774-1444 Angelo@OnelloEng.com

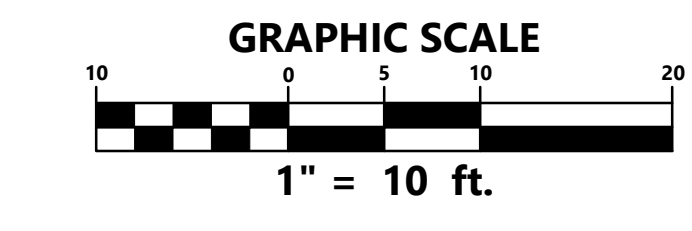
**PLOT PLAN**  
 ZONING ANALYSIS & SOIL MOVEMENT

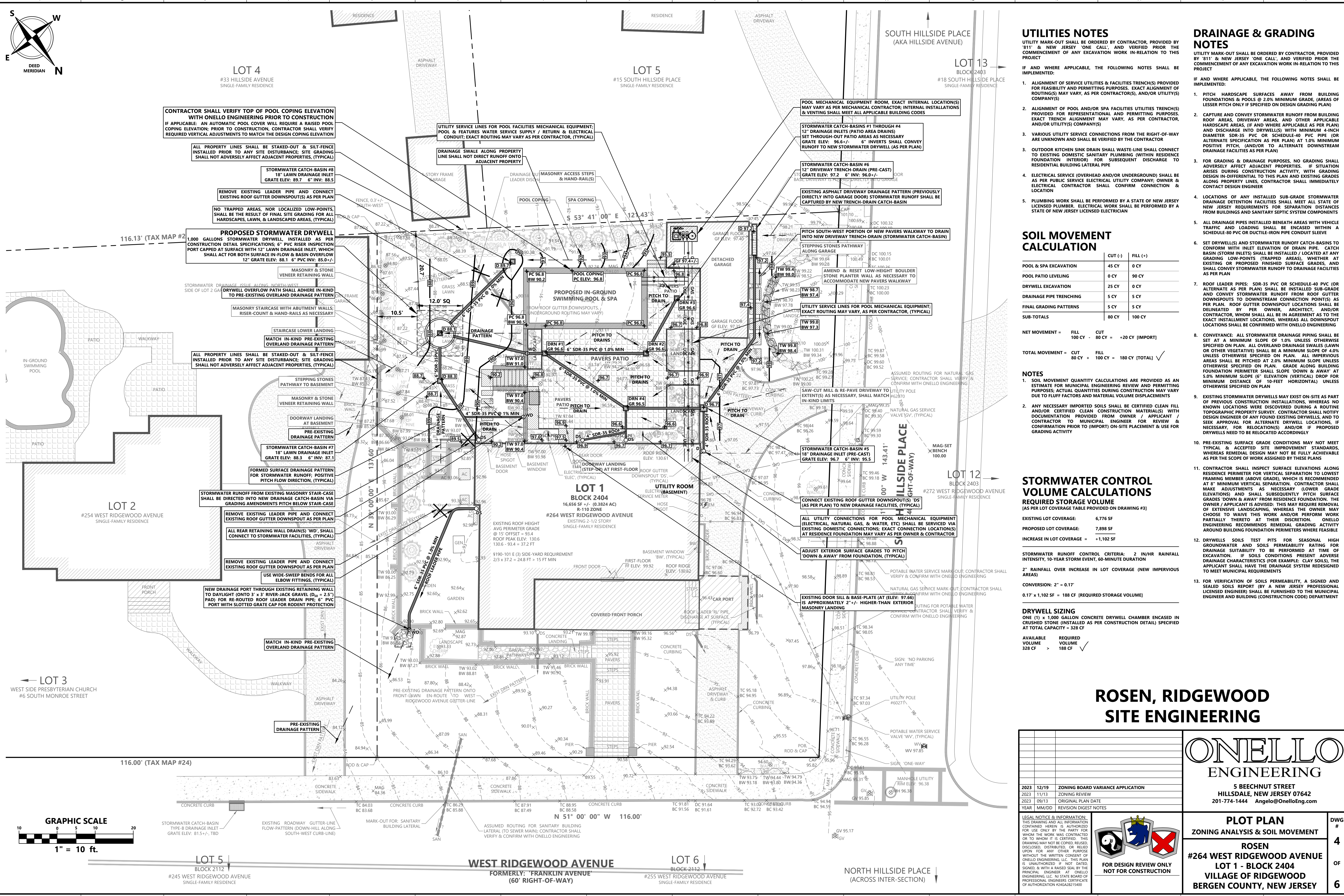
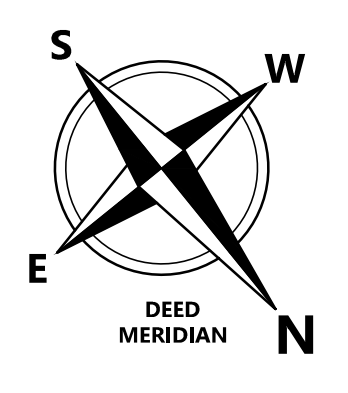
**ROSEN**  
 #264 WEST RIDGEWOOD AVENUE  
 LOT 1 - BLOCK 2404  
 VILLAGE OF RIDGEWOOD  
 BERGEN COUNTY, NEW JERSEY

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**FOR DESIGN REVIEW ONLY**  
**NOT FOR CONSTRUCTION**





- ### UTILITIES NOTES
- UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT
- IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED:
- ALIGNMENT OF SERVICE UTILITIES & FACILITIES TRENCH(S) PROVIDED FOR FEASIBILITY AND PERMITTING PURPOSES. EXACT ALIGNMENT OF ROUTING(S) MAY VARY, AS PER CONTRACTOR(S), AND/OR UTILITY(S) COMPANY(S)
  - ALIGNMENT OF POOL AND/OR SPA FACILITIES UTILITIES TRENCH(S) PROVIDED FOR REPRESENTATIONAL AND PERMITTING PURPOSES. EXACT TRENCH ALIGNMENT MAY VARY, AS PER CONTRACTOR, AND/OR UTILITY(S) COMPANY(S)
  - VARIOUS UTILITY SERVICE CONNECTIONS FROM THE RIGHT-OF-WAY ARE UNKNOWN AND SHALL BE VERIFIED BY THE CONTRACTOR
  - OUTDOOR KITCHEN SINK DRAIN SHALL WASTE-LINE SHALL CONNECT TO EXISTING DOMESTIC SANITARY PLUMBING (WITHIN RESIDENCE FOUNDATION INTERIOR) FOR SUBSEQUENT DISCHARGE TO RESIDENTIAL BUILDING LATERAL PIPE
  - ELECTRICAL SERVICE (OVERHEAD AND/OR UNDERGROUND) SHALL BE AS PER PUBLIC SERVICE ELECTRICAL UTILITY COMPANY; OWNER & ELECTRICAL CONTRACTOR SHALL CONFIRM CONNECTION & LOCATION
  - PLUMBING WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED PLUMBER. ELECTRICAL WORK SHALL BE PERFORMED BY A STATE OF NEW JERSEY LICENSED ELECTRICIAN

- ### DRAINAGE & GRADING NOTES
- UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR, PROVIDED BY '811' & NEW JERSEY 'ONE CALL', AND VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK IN-RELATION TO THIS PROJECT
- IF AND WHERE APPLICABLE, THE FOLLOWING NOTES SHALL BE IMPLEMENTED:
- PITCH HARDSCAPE SURFACES AWAY FROM BUILDING FOUNDATIONS & POOLS @ 2.0% MINIMUM GRADE, (AREAS OF LESSER PITCH ONLY IF SPECIFIED ON DESIGN GRADING PLAN)
  - CAPTURE AND CONVEY STORMWATER RUNOFF FROM BUILDING ROOF AREAS, DRIVEWAY AREAS, AND OTHER APPLICABLE HARDSCAPE AREAS, (IF AND WHERE APPLICABLE AS PER PLAN) AND DISCHARGE INTO DRYWELLS WITH MINIMUM 4-INCH DIAMETER SDR-35 PVC OR SCHEDULE-40 PVC PIPE (OR ALTERNATE SPECIFICATION AS PER PLAN) AT 1.0% MINIMUM POSITIVE PITCH, (AND/OR TO ALTERNATE DOWNSTREAM DRAINAGE FACILITIES AS PER PLAN)
  - FOR GRADING & DRAINAGE PURPOSES, NO GRADING SHALL ADVERSELY AFFECT ADJACENT PROPERTIES. IF SITUATION ARISES DURING CONSTRUCTION ACTIVITY, WITH GRADING DESIGN DIFFERENTIAL TO THIS PLAN AND EXISTING GRADES ALONG PROPERTY LINES, CONTRACTOR SHALL IMMEDIATELY CONTACT DESIGN ENGINEER
  - LOCATIONS OF ANY INSTALLED SUB-GRADE STORMWATER DRAINAGE DETENTION FACILITIES SHALL MEET ALL STATE OF NEW JERSEY REQUIREMENTS FOR SEPARATION DISTANCES FROM BUILDINGS AND SANITARY SEPTIC SYSTEM COMPONENTS
  - ALL DRAINAGE PIPES INSTALLED BENEATH AREAS WITH VEHICLE TRAFFIC AND LOADING SHALL BE ENCASED WITHIN A SCHEDULE-80 PVC OR DUCTILE-IRON PIPE CONDUIT SLEEVE
  - SET DRYWELLS & STORMWATER RUNOFF CATCH-BASINS TO CONFORM WITH INLET ELEVATION OF DRAIN PIPE. CATCH BASIN (STORM INLETS) SHALL BE INSTALLED / LOCATED AT ANY GRADING LOW-POINTS (TRAPPED AREAS), WHETHER AT EXISTING OR PROPOSED FINISHED SURFACE GRADES, AND SHALL CONVEY STORMWATER RUNOFF TO DRAINAGE FACILITIES AS PER PLAN
  - ROOF LEADER PIPES: SDR-35 PVC OR SCHEDULE-40 PVC (OR ALTERNATE AS PER PLAN) SHALL BE INSTALLED SUB-GRADE AND CONVEY STORMWATER RUNOFF FROM ROOF GUTTER DOWNSPOUTS TO DOWNSTREAM CONNECTION POINT(S) AS PER PLAN. ROOF GUTTER DOWNSPOUT LOCATIONS SHALL BE DELINEATED BY PER OWNER, ARCHITECT, AND/OR CONTRACTOR, WHO SHALL ALL BE IN AGREEMENT AS TO THE EXACT INSTALLMENT LOCATIONS, WHEREAS ALL DOWNSPOUT LOCATIONS SHALL BE CONFIRMED WITH ONELLO ENGINEERING
  - CONVEYANCE OF ALL STORMWATER DRAINAGE PIPING SHALL BE SET AT MINIMUM SLOPE OF 1.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL OVERLAND DRAINAGE SWALES (LAWN OR OTHER VEGETATIVE) SHALL BE A MINIMUM SLOPE OF 4.0% UNLESS OTHERWISE SPECIFIED ON PLAN. ALL IMPROVISED AREAS SHALL BE PITCHED AT 2.0% MINIMUM SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN. GRADE ALONG BUILDING FOUNDATION PERIMETER SHALL SLOPE DOWN & AWAY AT 5.0% MINIMUM SLOPE (ELEVATION (VERTICAL) DROP FOR MINIMUM DISTANCE OF 10-FEET HORIZONTAL) UNLESS OTHERWISE SPECIFIED ON PLAN
  - EXISTING STORMWATER DRYWELLS MAY EXIST ON-SITE AS PART OF PREVIOUS CONSTRUCTION INSTALLATIONS, WHEREAS NO KNOWN LOCATIONS WERE DISCOVERED DURING A ROUTINE TOPOGRAPHIC PROPERTY SURVEY. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ANY FOUND EXISTING DRYWELLS, AND TO SEEK APPROVAL FOR ALTERNATE DRYWELL LOCATIONS, IF NECESSARY, FOR RELOCATIONS AND/OR IF PROPOSED DRYWELLS NEED TO BE RELOCATED ACCORDINGLY
  - PRE-EXISTING SURFACE GRADE CONDITIONS MAY NOT MEET TYPICAL & ACCEPTED SITE IMPROVEMENT STANDARDS, WHEREAS REMEDIAL DESIGN MAY NOT BE FULLY ACHIEVABLE AS PER THE SCOPE OF WORK ASSIGNED BY THESE PLANS
  - CONTRACTOR SHALL INSPECT SURFACE ELEVATIONS ALONG RESIDENCE PERIMETER FOR VERTICAL SEPARATION TO LOWEST FRAMING MEMBER (ABOVE GRADE), WHICH IS RECOMMENDED AT 8" MINIMUM VERTICAL SEPARATION. CONTRACTOR SHALL MAKE ADJUSTMENTS AS NECESSARY (LOWER GRADE ELEVATIONS) AND SHALL SUBSEQUENTLY PITCH SURFACE GRADES DOWN & AWAY FROM RESIDENCE FOUNDATION. THE OWNER / APPLICANT IS ADVISED, THIS MAY REQUIRE REMOVAL OF EXTENSIVE LANDSCAPING, WHEREAS THE OWNER MAY CHOOSE TO WAIVE THIS WORK AND/OR PERFORM WORK PARTIALLY THEREON AT THEIR DISCRETION. ONELLO ENGINEERING RECOMMENDS REMEDIAL GRADING ACTIVITY AROUND BUILDING FOUNDATION PERIMETERS WHERE FEASIBLE
  - DRYWELLS SOILS TEST PITS FOR SEASONAL HIGH GROUNDWATER AND SOILS PERMEABILITY RATING FOR DRAINAGE SUITABILITY TO BE PERFORMED AT TIME OF EXCAVATION. IF SOILS CONDITIONS PRESENT ADVERSE DRAINAGE CHARACTERISTICS (FOR EXAMPLE: CLAY SOILS), THE APPLICANT SHALL HAVE THE DRAINAGE SYSTEM REDESIGNED TO MEET MUNICIPAL REQUIREMENTS
  - FOR VERIFICATION OF SOILS PERMEABILITY, A SIGNED AND SEALED SOILS REPORT (BY A NEW JERSEY PROFESSIONAL LICENSED ENGINEER) SHALL BE FURNISHED TO THE MUNICIPAL ENGINEER AND BUILDING CONSTRUCTION CODE DEPARTMENT

### SOIL MOVEMENT CALCULATION

	CUT (-)	FILL (+)
POOL & SPA EXCAVATION	45 CY	0 CY
POOL PATIO LEVELING	0 CY	90 CY
DRYWELL EXCAVATION	25 CY	0 CY
DRAINAGE PIPE TRENCHING	5 CY	5 CY
FINAL GRADING PATTERNS	5 CY	5 CY
SUB-TOTALS	80 CY	100 CY

NET MOVEMENT = FILL - CUT  
100 CY - 80 CY = +20 CY [IMPORT]

TOTAL MOVEMENT = CUT + FILL  
80 CY + 100 CY = 180 CY [TOTAL] ✓

- ### NOTES
- SOIL MOVEMENT QUANTITY CALCULATIONS ARE PROVIDED AS AN ESTIMATE FOR MUNICIPAL ENGINEERING REVIEW AND PERMITTING PURPOSES. ACTUAL QUANTITIES DURING CONSTRUCTION MAY VARY DUE TO FLUFF FACTORS AND MATERIAL VOLUME DISPLACEMENTS
  - ANY NECESSARY IMPORTED SOILS SHALL BE CERTIFIED CLEAN FILL AND/OR CERTIFIED CLEAN CONSTRUCTION MATERIALS WITH DOCUMENTATION PROVIDED FROM OWNER / APPLICANT / CONTRACTOR TO MUNICIPAL ENGINEER FOR REVIEW & CONFIRMATION PRIOR TO (IMPORT) ON-SITE PLACEMENT & USE FOR GRADING ACTIVITY

### STORMWATER CONTROL VOLUME CALCULATIONS

REQUIRED STORAGE VOLUME [AS PER LOT COVERAGE TABLE PROVIDED ON DRAWING #3]

EXISTING LOT COVERAGE:	6,776 SF
PROPOSED LOT COVERAGE:	7,898 SF
INCREASE IN LOT COVERAGE =	+1,122 SF

STORMWATER RUNOFF CONTROL CRITERIA: 2 IN/HR RAINFALL INTENSITY, 10-YEAR STORM EVENT, 60-MINUTE DURATION

2" RAINFALL OVER INCREASE IN LOT COVERAGE (NEW IMPERVIOUS AREAS)

CONVERSION: 2" = 0.17'

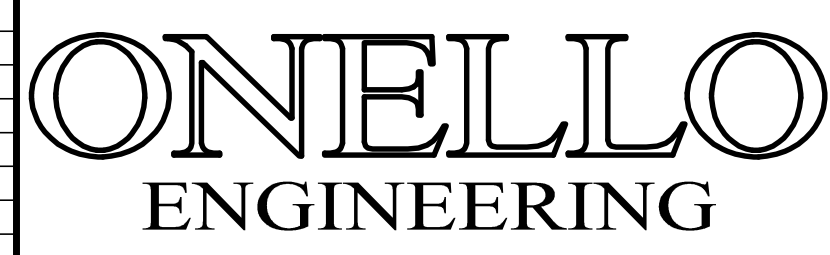
0.17" x 1,122 SF = 188 CF [REQUIRED STORAGE VOLUME]

### DRYWELL SIZING

ONE (1) x 1,000 GALLON CONCRETE DRYWELL CHAMBER ENCASED IN CRUSHED STONE (INSTALLED AS PER CONSTRUCTION DETAIL) SPECIFIED AT TOTAL CAPACITY = 328 CF

AVAILABLE VOLUME	REQUIRED VOLUME
328 CF	188 CF

## ROSEN, RIDGEWOOD SITE ENGINEERING



5 BEECHNUT STREET  
HILLSDALE, NEW JERSEY 07642  
201-774-1444 Angelo@OnelloEng.com

**PLOT PLAN**  
ZONING ANALYSIS & SOIL MOVEMENT

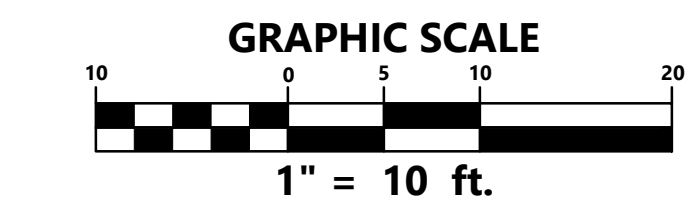
**ROSEN**  
#264 WEST RIDGEWOOD AVENUE  
LOT 1 - BLOCK 2404  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY

DWG # 4 OF 6

2023 12/19 ZONING BOARD VARIANCE APPLICATION  
2023 11/13 ZONING REVIEW  
2023 09/13 ORIGINAL PLAN DATE  
YEAR / MM/DD REVISION DIGEST NOTES

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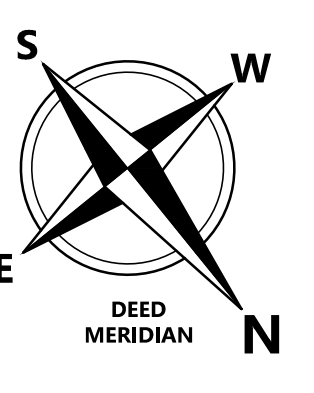


LOT 5  
BLOCK 2112  
#245 WEST RIDGEWOOD AVENUE  
SINGLE-FAMILY RESIDENCE

LOT 6  
BLOCK 2112  
#255 WEST RIDGEWOOD AVENUE  
SINGLE-FAMILY RESIDENCE

WEST RIDGEWOOD AVENUE  
FORMERLY: "FRANKLIN AVENUE"  
(60' RIGHT-OF-WAY)

NORTH HILLSIDE PLACE  
(ACROSS INTER-SECTION)



**LIMIT OF DISTURBANCE AREA**  
**6,500 SF (0.149 AC)**  
 > 5,000 SF, BCSD SESC CERTIFICATION REQUIRED

**SOIL DE-COMPACTION EXCLUSION**  
 THIS PROJECT IS EXEMPT FROM SOIL DE-COMPACTION REMEDIATION AND TESTING AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA

**ALL OPEN EXCAVATION PITS, IN-GROUND SWIMMING POOLS, AND/OR UTILITY & DRAINAGE FACILITIES TRENCHES SHALL BE COMPLETELY SURROUNDED AND SECURED WITH TEMPORARY CONSTRUCTION SAFETY FENCING, (TYPICAL)**

**ALL SOIL STOCK-PILES SHALL BE SURROUNDED WITH FILTER FENCE, (TYPICAL)**

**DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)**

**BERGEN COUNTY SOIL CONSERVATION DISTRICT**  
**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- (REVISED 12/7/17)
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
  - ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PERMITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
  - STABILIZATION SPECIFICATIONS:
    - TEMPORARY SEEDING AND MULCHING: GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - WORKY 11LBS./1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - PERENNIAL RYEGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
    - PERMANENT SEEDING AND MULCHING: TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5". MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED. GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS. FERTILIZER - APPLY 11 LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4". SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1 (SUMMER SEEDING REQUIRES IRRIGATION) MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
  - SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
  - STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
  - A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
  - MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
  - DRIVEWAYS MUST BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
  - ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
  - CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS.
  - STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
  - DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
  - DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
  - TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
  - THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
  - ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
  - A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
  - THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SCD, 700 KINDERKAMACK ROAD, SUITE 106, ORADELL, NJ 07649. TEL: (201) 261-4407; FAX: (201) 261-7573
  - THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
  - THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

CONTRACTOR SHALL VERIFY TOP OF POOL COPING ELEVATION WITH ONELLO ENGINEERING PRIOR TO CONSTRUCTION IF APPLICABLE. AN AUTOMATIC POOL COVER WILL REQUIRE A RAISED POOL COPING ELEVATION; PRIOR TO CONSTRUCTION, CONTRACTOR SHALL VERIFY REQUIRED VERTICAL ADJUSTMENTS TO MATCH THE DESIGN COPING ELEVATION

ALL PROPERTY LINES SHALL BE STAKED-OUT & SILT-FENCE INSTALLED PRIOR TO ANY SITE DISTURBANCE; SITE GRADING SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

REMOVE EXISTING LEADER PIPE AND CONNECT EXISTING ROOF GUTTER DOWNSPOUT(S) AS PER PLAN

NO TRAPPED AREAS, NOR LOCALIZED LOW-POINTS, SHALL BE THE RESULT OF FINAL SITE GRADING FOR ALL HARDCAPES, LAWN, & LANDSCAPE AREAS, (TYPICAL)

**PROPOSED STORMWATER DRYWELL**  
1,000 GALLONS STORMWATER DRYWELL, INSTALLED AS PER CONSTRUCTION DETAIL SPECIFICATIONS; 6" PVC RISER INSPECTION PORT CAPPED AT SURFACE WITH 12" LAWN DRAINAGE INLET, WHICH SHALL ACT FOR BOTH SURFACE IN-FLOW & BASIN OVERFLOW  
12" GRATE ELEV.: 88.1 6" PVC INV.: 85.0 +/-

**FILTER FENCE SHALL BE INSTALLED ALONG ALL DOWNHILL SIDES OF LIMIT OF DISTURBANCE, (TYPICAL)**

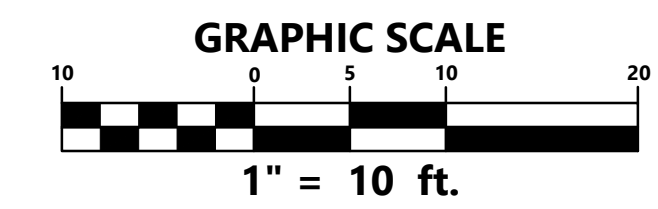
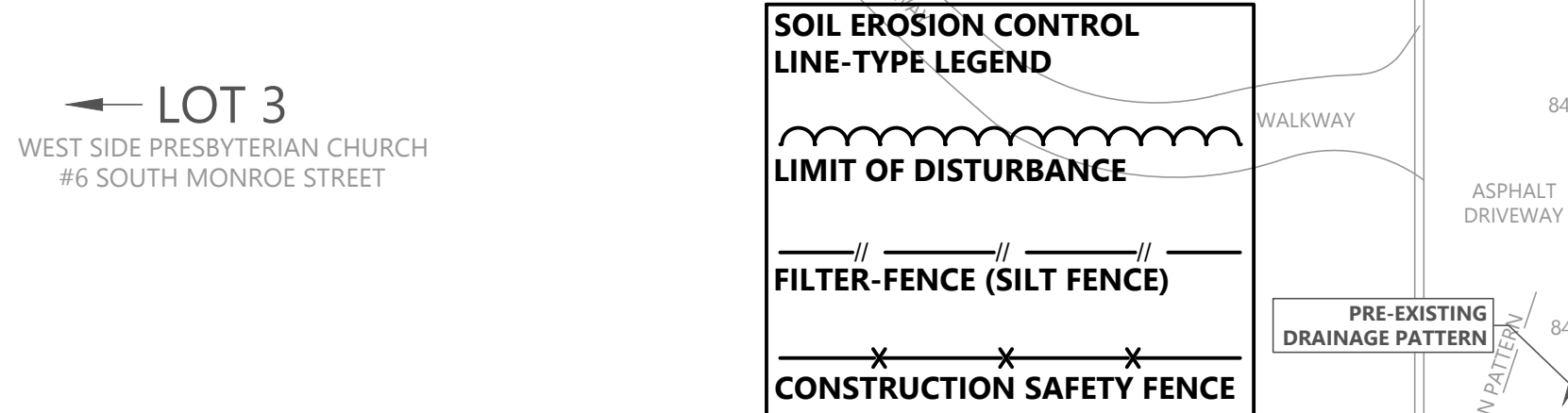
**TREE PROTECTION SHALL BE PROVIDED THROUGHOUT ALL CONSTRUCTION AREAS, AS NECESSARY, (TYPICAL)**

**INSTALL CONSTRUCTION FENCE FOR FALL PROTECTION ATOP ALL RETAINING WALLS DURING CONSTRUCTION ACTIVITY, SHALL NOT BE REMOVED UNTIL TOP OF WALL IS COMPLETELY STABILIZED WITH NON-TRAVERSABLE HEAVY LANDSCAPE PLANTING VEGETATION AND/OR THE INSTALLATION OF PERMANENT FALL PROTECTION FENCE (NO-CLIMB RATED), (TYPICAL)**

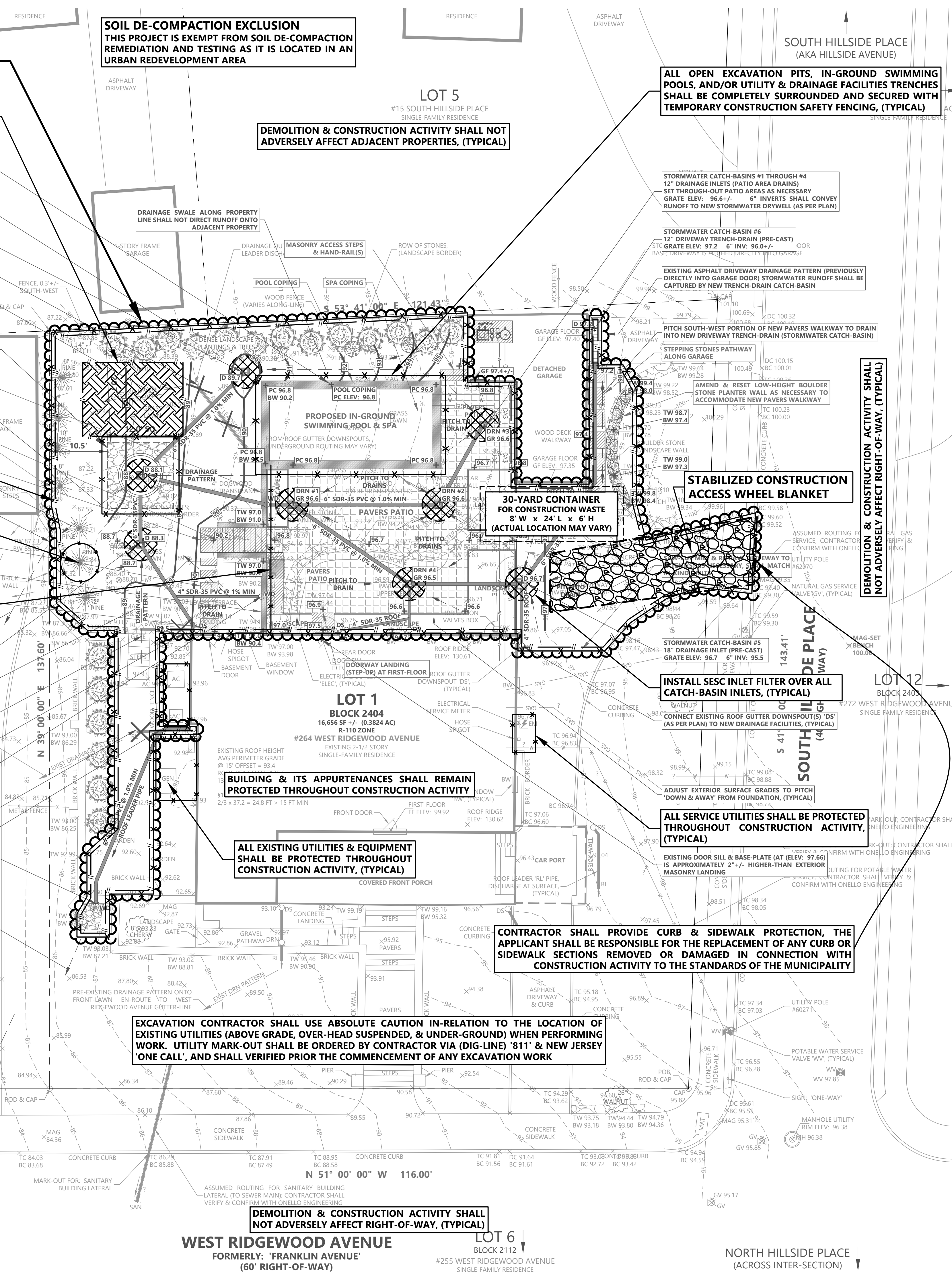
STORMWATER RUNOFF FROM EXISTING MASONRY STAIR-CASE SHALL BE DIRECTED INTO NEW DRAINAGE CATCH-BASIN VIA GRADING AMENDMENTS PITCH BELOW STAIR-CASE

**DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)**

USE WIDE-SWEEP BENDS FOR ALL ELBOW FITTINGS, (TYPICAL)



LOT 5 | BLOCK 2112 | #245 WEST RIDGEWOOD AVENUE | SINGLE-FAMILY RESIDENCE



**BUILDING & ITS APPURTENANCES SHALL REMAIN PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY**

**ALL EXISTING UTILITIES & EQUIPMENT SHALL BE PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY, (TYPICAL)**

**EXCAVATION CONTRACTOR SHALL USE ABSOLUTE CAUTION IN-RELATION TO THE LOCATION OF EXISTING UTILITIES (ABOVE GRADE, OVER-HEAD SUSPENDED, & UNDER-GROUND) WHEN PERFORMING WORK. UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR VIA (DIG-LINE) '811' & NEW JERSEY 'ONE CALL', AND SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION WORK**

**CONTRACTOR SHALL PROVIDE CURB & SIDEWALK PROTECTION, THE APPLICANT SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY CURB OR SIDEWALK SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY TO THE STANDARDS OF THE MUNICIPALITY**

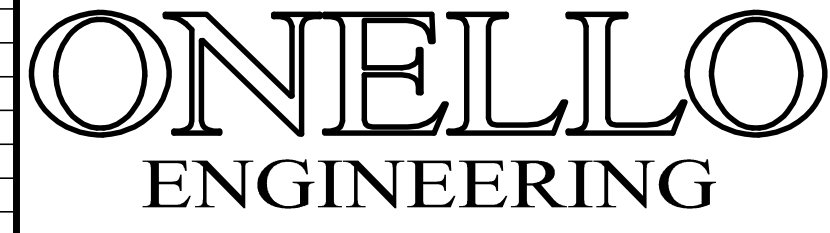
**DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT RIGHT-OF-WAY, (TYPICAL)**

**WEST RIDGEWOOD AVENUE**  
FORMERLY: 'FRANKLIN AVENUE'  
(60' RIGHT-OF-WAY)

**SEQUENCE OF CONSTRUCTION**

- OBTAIN ALL NECESSARY AND APPLICABLE CONSTRUCTION PERMITS FROM MUNICIPAL BUILDING DEPARTMENT (CONSTRUCTION OFFICE) AND SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION IF AND WHERE REQUIRED.
- INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN REQUIREMENTS AS SPECIFIED ON-PLAN; INCLUSIVE, BUT NOT LIMITED TO: STABILIZED CONSTRUCTION ACCESS WHEEL BLANKET, PERIMETER SILT FILTER FENCE, STORMWATER DRAINAGE CATCH-BASIN INLET FILTERS, TOP-SOIL STOCK-PILE CONFINEMENT AREA (SURROUNDED WITH SILT FILTER FENCE, AND TREE PROTECTION, IF AND WHERE APPLICABLE, AND/OR DIRECTED BY ENGINEER.
- SCHEDULE SESC INSPECTION WITH MUNICIPAL ENGINEER AND/OR BUILDING INSPECTOR, AS NECESSARY, FOR RELEASE OF ADDITIONAL PERMITS, WHERE APPLICABLE.
- DEMOLISH AND REMOVE ALL HARD-SCAPE ITEMS AS PER PLAN (IF REQUIRED). ALL REMOVED MATERIALS DURING CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE MUNICIPALITY.
- EXCAVATE FOR STRUCTURE FOUNDATION (POOL, BUILDING, FOOTINGS, ETC) & EXCAVATE FOR DRYWELL.
- SCHEDULE ENGINEER (WITH FIVE (5) BUSINESS DAYS' NOTICE) FOR EXCAVATION WITNESS AT DRYWELL LOCATION TO SERVE AS SOILS TEST PIT, INSPECT FOR SEASONAL HIGH GROUND WATER, AND TEST SOILS AT LABORATORY FOR PERMEABILITY RATING.
- INSTALL DRYWELL AND HAVE INSPECTED BY ENGINEER PRIOR TO BACKFILL FOR CERTIFICATION OF INSTALLATION.
- GRADE SUB-BASE FOR HARDCAPE AREAS AS NECESSARY.
- INSTALL FINISHED HARDCAPE SURFACES (PAVERS / CONCRETE PATIOS, ASPHALT DRIVES, ETC) AND CONNECT DRAINAGE TO STORMWATER DRYWELL CHAMBER AS PER PLAN.
- FINALIZE SUB-GRADE GRADING WITH DRAINAGE PATTERNS, PLACE 5" LAYER OF TOP SOIL & SEED AS PER SPEC REQUIREMENTS. TOPSOIL STANDARDS: UNIFORM APPLICATION TO AN AVERAGE DEPTH OF FIVE (5) INCHES, MINIMUM FOUR (4) INCHES, OF TOPSOIL, FIRMED IN-PLACE, IS REQUIRED (FOR PLACEMENT) AND THEN SEED AS PER SPECIFICATIONS.
- TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE REMOVED UPON THE PERMANENT STABILIZATION OF ALL EXPOSED AREAS. IF REQUIRED, OBTAIN AUTHORIZATION VIA INSPECTION BY SESC OFFICIAL AND/OR MUNICIPAL ENGINEER / BUILDING INSPECTOR.

**ROSEN, RIDGEWOOD**  
**SOIL EROSION & SEDIMENT CONTROL**

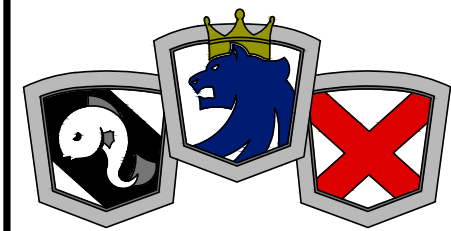


5 BEECHNUT STREET  
HILLSDALE, NEW JERSEY 07642  
201-774-1444 Angelo@OnelloEng.com

YEAR	MM/DD	REVISION / DIGEST NOTES
2023	12/19	ZONING BOARD VARIANCE APPLICATION
2023	11/13	ZONING REVIEW
2023	09/13	ORIGINAL PLAN DATE

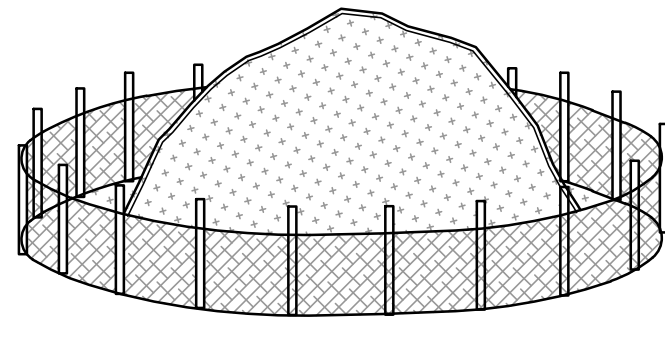
**PLOT PLAN**  
ZONING ANALYSIS & SOIL MOVEMENT

**ROSEN**  
#264 WEST RIDGEWOOD AVENUE  
LOT 1 - BLOCK 2404  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY



FOR DESIGN REVIEW ONLY  
NOT FOR CONSTRUCTION

Site Engineering



- TOPSOIL STOCKPILE PROTECTION**
- APPLY LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
  - APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
  - APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB PER 1000 SF & ANNUAL RYEGRASS SEED AT A RATE OF 1 LB PER 1000 SF
  - MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
  - APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
  - PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE

- STOCK PILE NOTES**
- REFER TO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY 3.9.1
  - SILT FENCE PROTECTION INSTALLED AROUND STOCK PILE AS PER 'SILT FENCE DETAIL'

**TOPSOIL STOCK PILE DETAIL**  
NOT TO SCALE

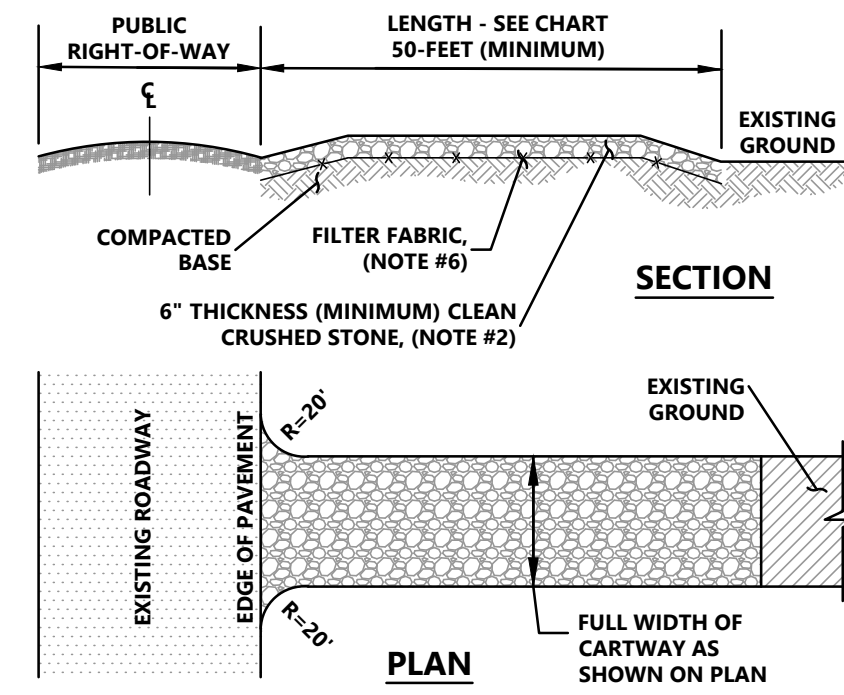
**SEEDING DATES IN ACCORDANCE TO TABLE 4-2 & 4-3 OF THE STANDARDS FOR SOIL EROSION & SEDIMENT CONTROL IN NEW JERSEY**

**TEMPORARY STABILIZATION SPECIFICATIONS**

- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- APPLY SEED MIXTURE:  
PERENNIAL RYEGRASS AT 1 LB PER 1000 SF  
ANNUAL RYEGRASS AT 1 LB PER 1000 SF
- MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH

**PERMANENT STABILIZATION SPECIFICATIONS**

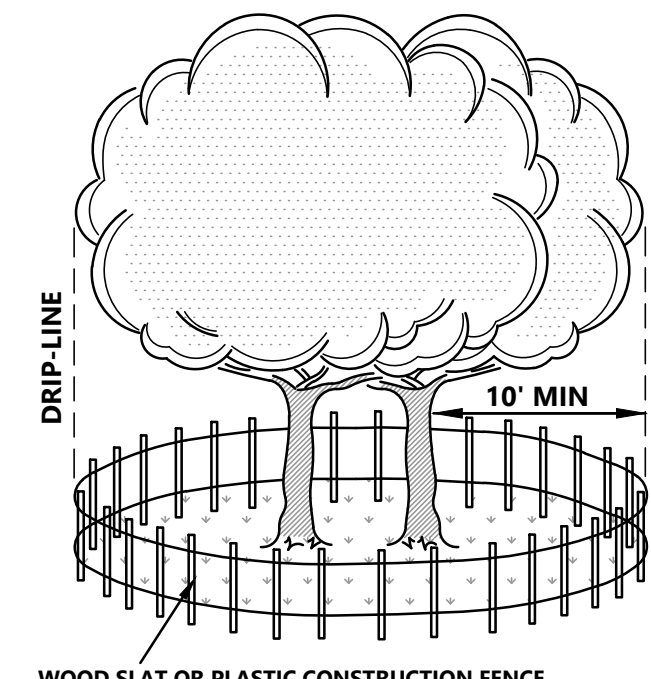
- APPLY TOPSOIL TO A DEPTH OF 5-INCHES (UNSETTLED)
- APPLY GROUND LIMESTONE AT A RATE OF 90 LBS PER 1000 SF & WORK 4-INCHES INTO THE TOPSOIL
- APPLY FERTILIZER (10-10-10) AT A RATE OF 11 LBS PER 1000 SF, (500 LBS PER ACRE)
- APPLY SEED MIXTURE:  
TALL FESCUE (TURF-TYPE) 6 LBS PER 1000 SF  
PERENNIAL RYEGRASS AT 5 LBS PER 1000 SF  
OPTIMAL PLANTING PERIOD: MARCH 1 - APRIL 30  
ACCEPTABLE PLANTING PERIOD: MAY 1 - AUGUST 14
- MULCH WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH



% SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE SOILS	FINE SOILS
0% TO 2%	50- FEET	100- FEET
2% TO 5%	100- FEET	200- FEET
> 5%	ENTIRE SURFACE TO BE STABILIZED*	

\*IF REQUIRED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY

**STABILIZED CONSTRUCTION ACCESS  
WHEEL BLANKET TRACKING PAD DETAIL**  
NOT TO SCALE

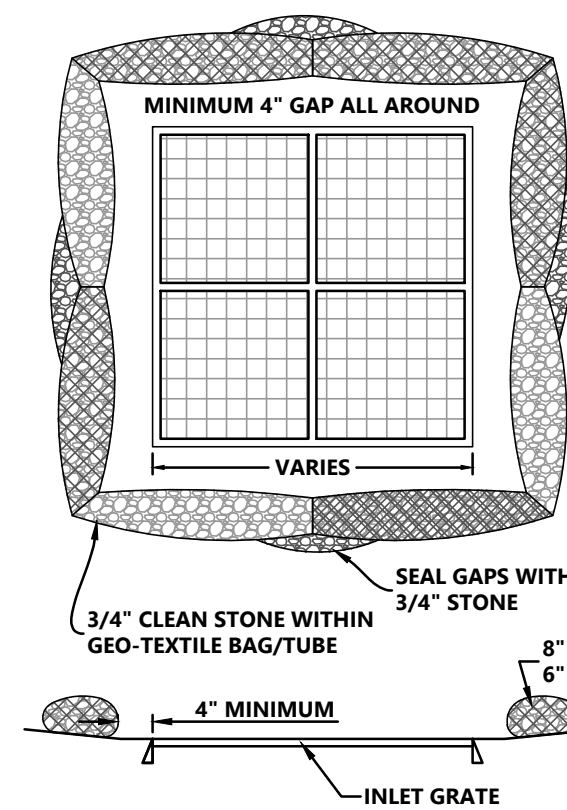


- TREE PROTECTION NOTES**
- ALL SPECIMEN TREES AS SHOWN ON THE PLANS ARE TO BE PROTECTED DURING CONSTRUCTION
  - THE CONTRACTOR SHALL INSTALL SNOW FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN VICINITY OF THE TREE

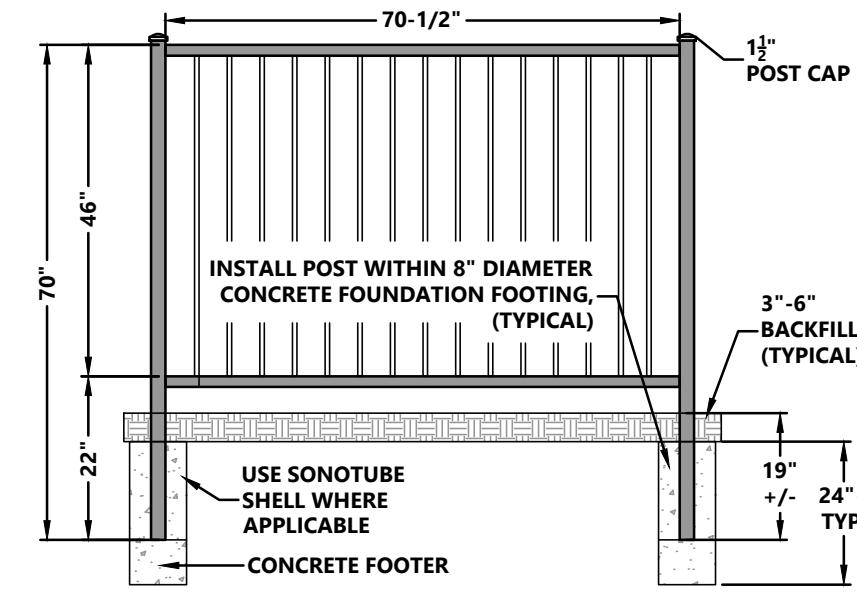
- TREE NOTES**
- IF TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION, THE OWNER SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE MUNICIPALITY
  - CONSTRUCTION ACTIVITY SHALL BE KEPT CLEAR OF ALL TREES TO REMAIN, WHEREAS TREE PROTECTION SHALL BE INSTALLED IF AND WHERE NECESSARY AS PER THE PROVIDED CONSTRUCTION DETAIL WITHIN THIS PLAN SET
  - NO ADJACENT PROPERTY(S) TREE ROOTS SHALL BE COMPROMISED AS A RESULT OF THIS APPLICATION. IF ADJACENT PROPERTY(S) TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THE IMMEDIATE ARE EXCAVATION SHALL COME TO A HALT, WHEREAS THE ADJACENT PROPERTY OWNER(S) SHALL BE CONTACTED ACCORDINGLY. A TREE EXPERT SHALL BE ENGAGED TO EVALUATE THE PROPOSED EXCAVATION ACTIVITIES AT THE SOLE COST OF THE OWNER

**TREE PROTECTION DETAIL**  
NOT TO SCALE

- TRACKING PAD NOTES**
- PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION
  - STONE SIZE SHALL BE ASTM C-33, SIZE #2 OR #3, CLEANED CRUSHED ANGULAR STONE
  - THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE NOT BE LESS THAN 6" (SIX INCHES)
  - WIDTH - NOT LESS THEN FULL WIDTH OF POINTS OF INGRESS OF EGRESS
  - LENGTH - STABILIZED CONSTRUCTION ACCESS SHALL NOT BE LESS IN LENGTH THAN AS SPECIFIED IN THE CHART BELOW
  - AT POORLY DRAINED LOCATIONS, SUB-SURFACE DRAINAGE GRAVEL FILTER FABRIC SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE
  - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY / PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURE USED TO TRAP SEDIMENT
  - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY



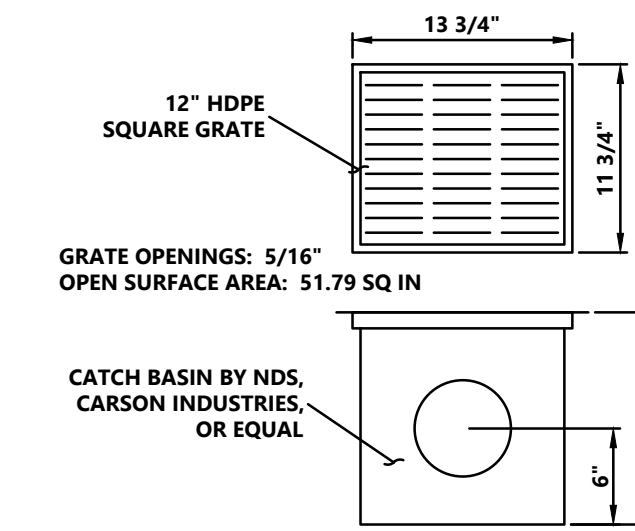
**SOIL EROSION CONTROL INLET FILTER DETAIL  
FOR STORMWATER CATCH-BASIN GRATES**  
NOT TO SCALE



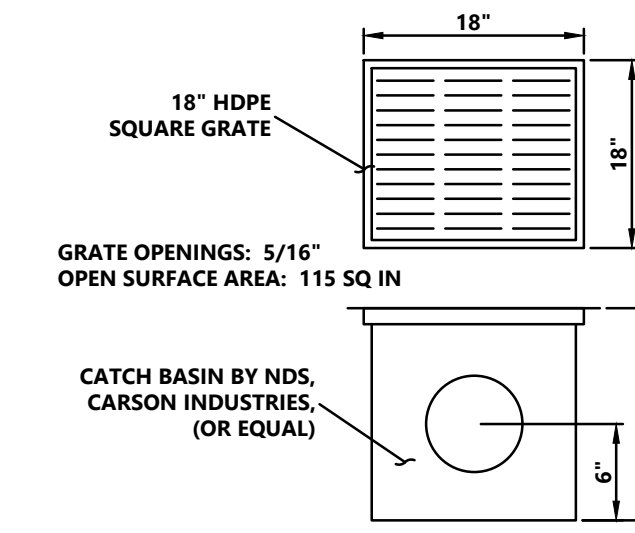
**ALUMINUM POOL FENCE DETAIL  
JERITH MANUFACTURING CO., INC.  
OVATION SERIES - 4' (48") HEIGHT  
MODEL OV48USN, NOT TO SCALE**

THE NEW FENCE WILL REQUIRE APPROVAL AND PERMIT ISSUANCE FROM THE BUILDING DEPARTMENT FOR COMPLIANCE WITH POOL SAFETY REGULATIONS

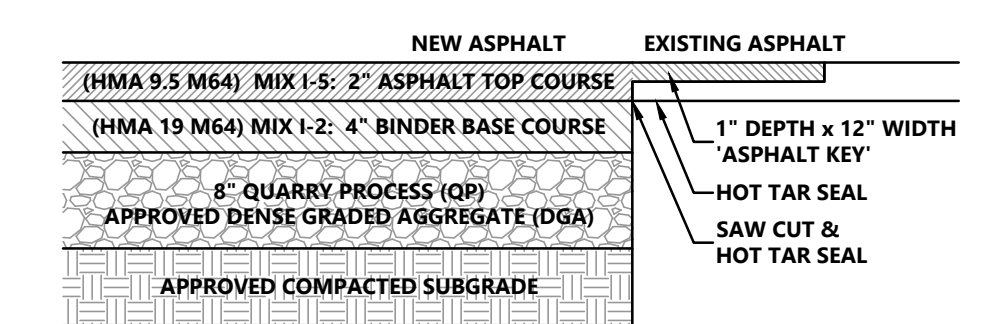
- INLET FILTER NOTES**
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT GEOTEX 117F, BY PROPEX GEOTEXTILE SYSTEMS, OR APPROVED EQUAL
  - 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE TUBS/BAGS. SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE
  - WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENIRCLE THE DRAIN INLET
  - INLET GRATE OPENING TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES
  - THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM
  - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED
  - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT



**12" CATCH BASIN**  
NOT TO SCALE

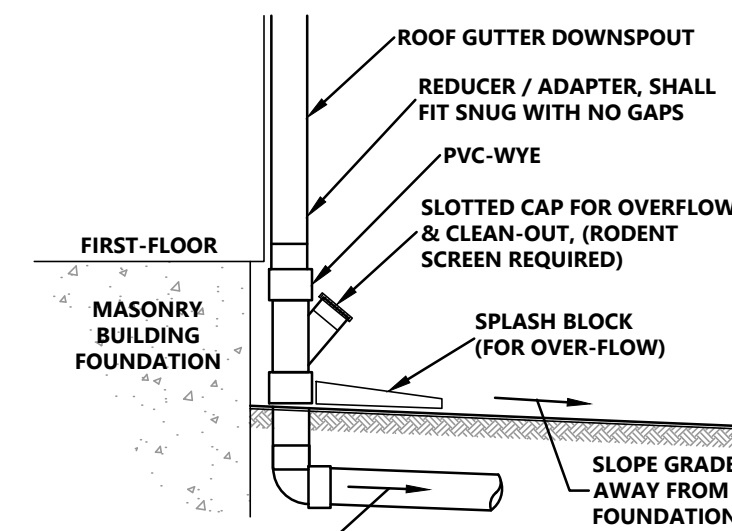


**18" CATCH BASIN**  
NOT TO SCALE  
FOR ALTERNATE LAWN DRAIN CATCH-BASIN SIZE, IF & WHERE NECESSARY AND/OR AS DIRECTED BY ENGINEER

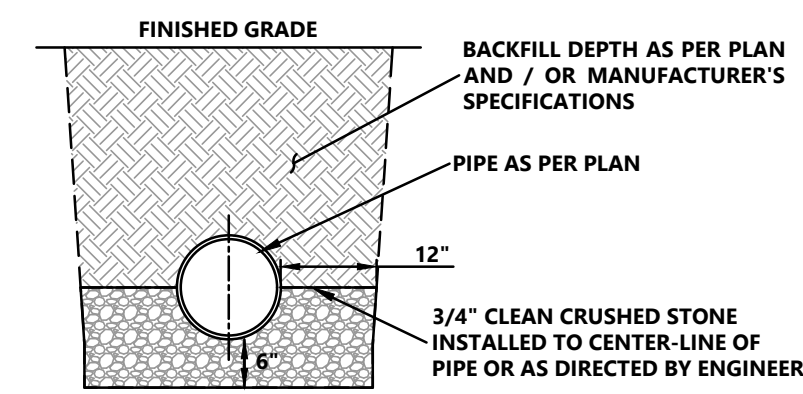


NOTE  
FOR ASPHALT REPAIRS, REMOVE UNSUITABLE EXISTING CONDITIONS TO DEPTHS AS NECESSARY AND REPLACE WITH MATERIALS AS SPECIFIED

**ASPHALT CONSTRUCTION DETAIL  
CROSS-SECTION FOR PARKING AREAS & DRIVE-LANES**  
NOT TO SCALE

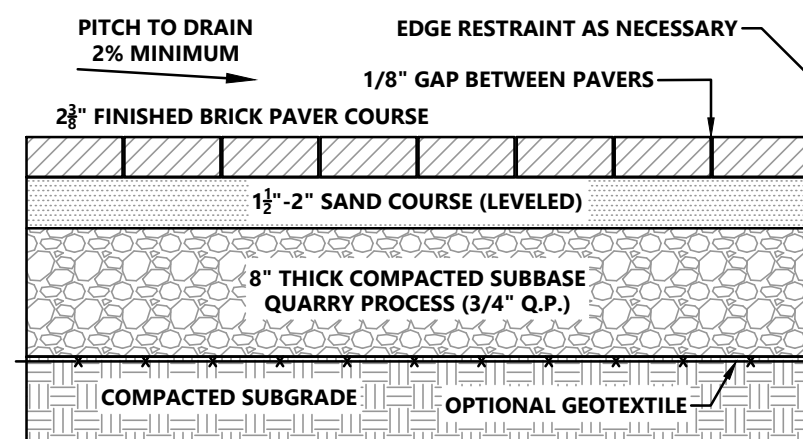


**ROOF LEADER DETAIL**  
NOT TO SCALE

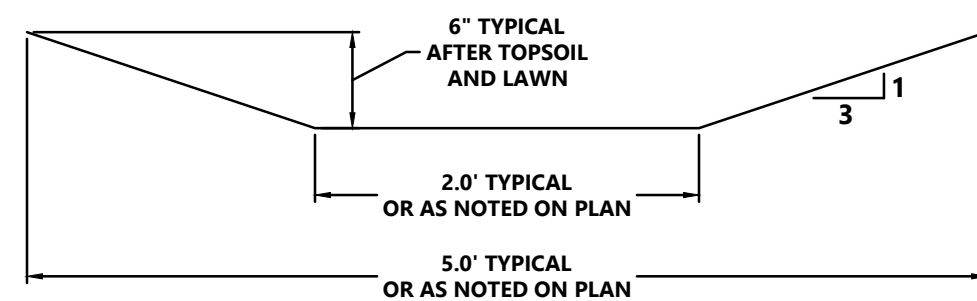


\*IF UNDER-BEDDING SOIL IS UNSUITABLE OR GROUNDWATER EXISTS, FURTHER EXCAVATION MAY BE REQUIRED, AND LIMIT OF CRUSHED STONE TO BE DIRECTED BY TOWN ENGINEER

**STORM PIPE TRENCH DETAIL**  
NOT TO SCALE



**PAVER INSTALLATION DETAIL  
CROSS-SECTION FOR DRIVEWAYS & PATIOS**  
NOT TO SCALE



**GRADED DRAINAGE SWALE**  
NOT TO SCALE

**STANDARD FOR DUST CONTROL**

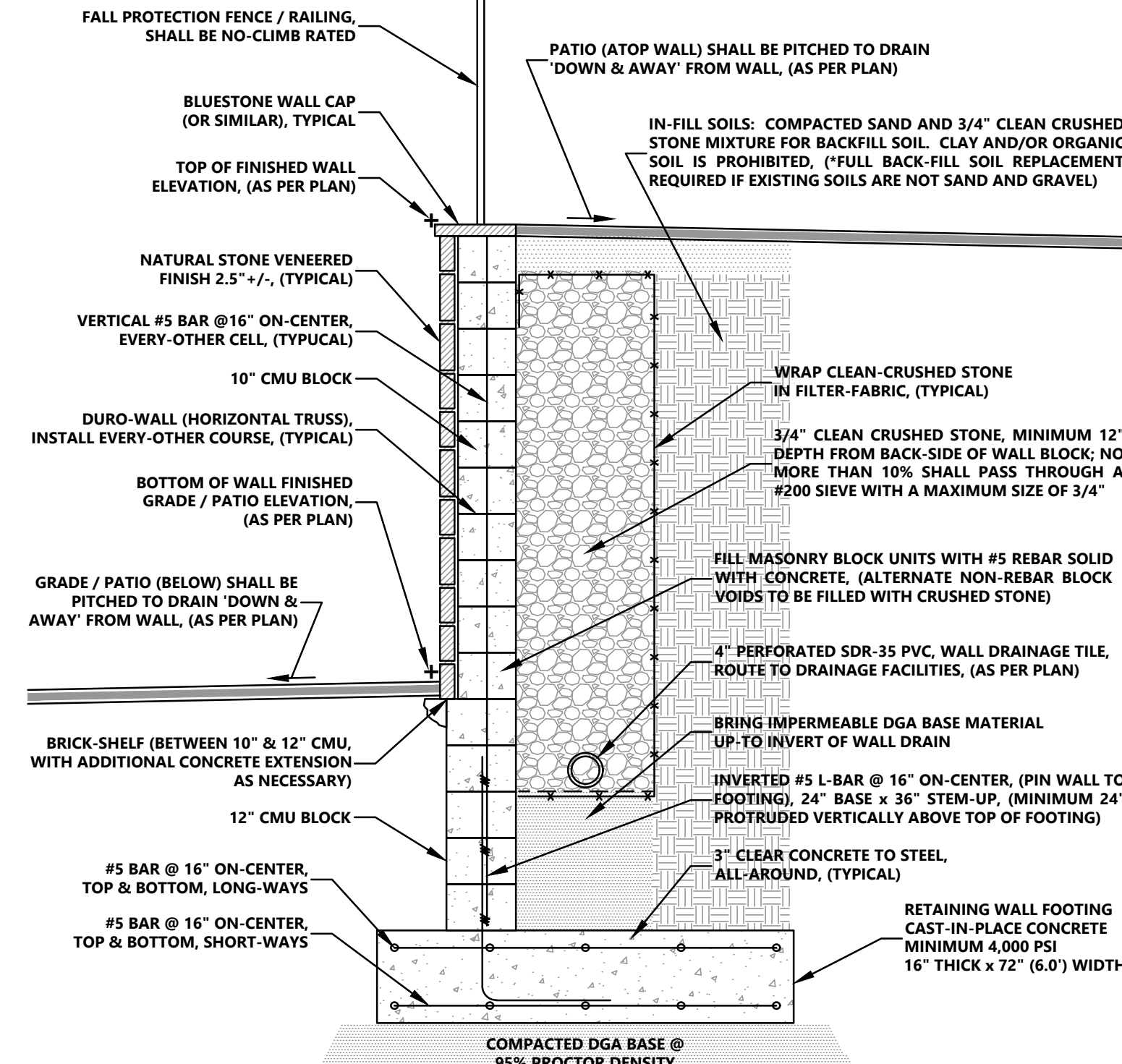
- DEFINITION** - THE CONTROL OF DUST ON CONSTRUCTION SITES AND ROADS
- PURPOSE** - TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCED ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY
- CONDITION WHERE PRACTICE APPLIES** - THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON-SITE AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT. CONSULT WITH LOCAL MUNICIPAL ORDINANCES ON ANY RESTRICTIONS
- WATER QUALITY ENHANCEMENT** - SEDIMENTS DEPOSITED AS 'DUST' ARE OFTEN FINE COLLOIDAL MATERIAL WHICH IS EXTREMELY DIFFICULT TO REMOVE FROM WATER ONCE IT BECOMES SUSPENDED USE OF THIS STANDARD WILL HELP TO CONTROL THE GENERATION OF DUST FROM CONSTRUCTION SITES AND SUBSEQUENT BLOWING AND DEPOSITION INTO LOCAL SURFACE WATER RESOURCES
- PLANNING CRITERIA**
- THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- MULCHES - REFER TO 'STANDARD OF STABILIZATION WITH MULCHES ONLY' (PAGE 5-1)
  - VEGETATIVE COVER - REFER TO STANDARD FOR: 'TEMPORARY VEGETATIVE COVER', (PAGE 7-1), 'PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION' (PAGE 4-1), AND 'PERMANENT STABILIZATION WITH SOD' (PAGE 6-1)
  - SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS

**DUST CONTROL MATERIALS, TABLE 16-1\***

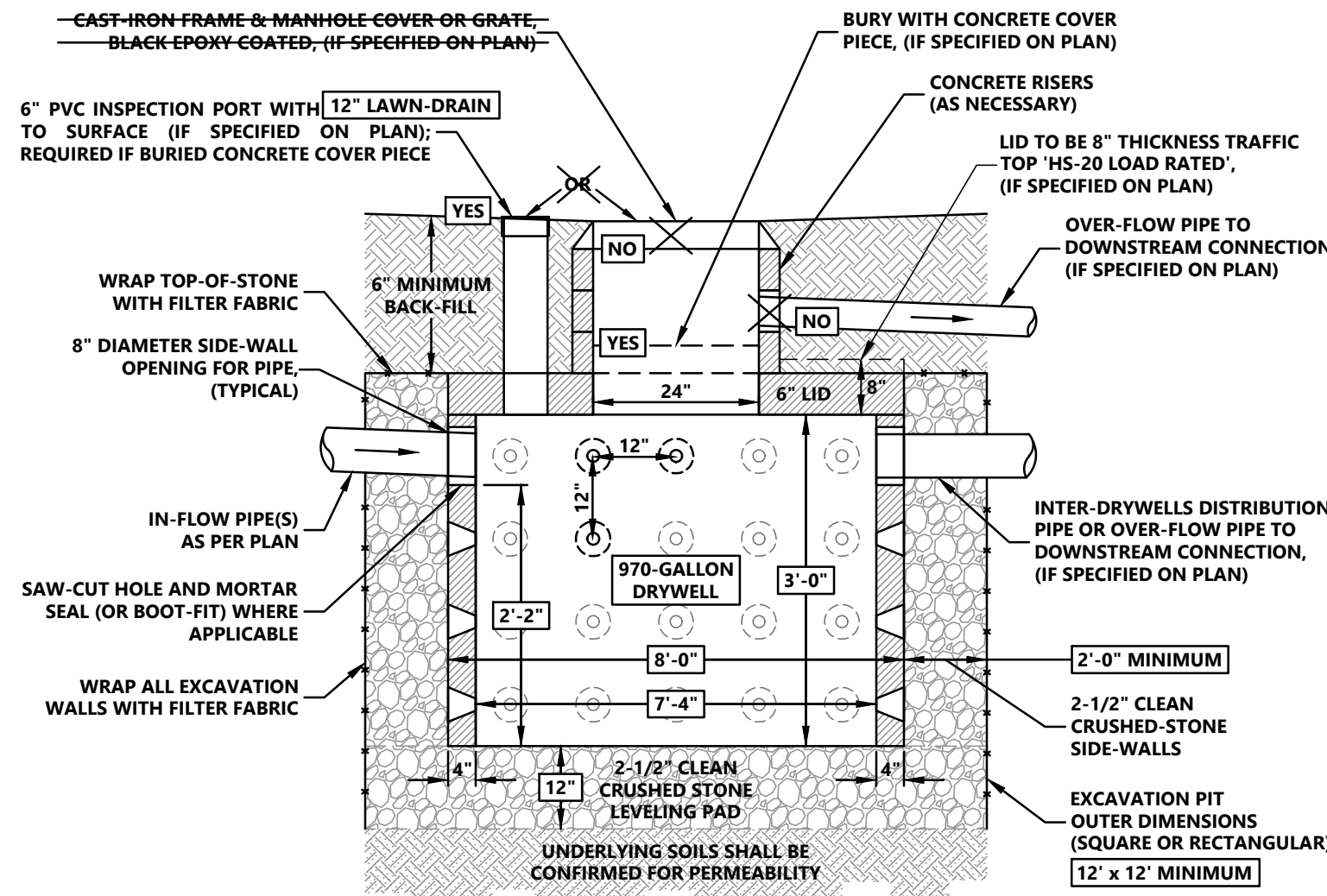
MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON TOP & BOTTOM, LONG-WAYS	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. *REFER TO: 'SEDIMENT BASIN STANDARDS' (PAGE 24-1)		
ACIDULATED SOY BEAN SOAP STICK	NONE	COURSE SPRAY	1,200

\*REFER TO 'STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY'

- TILLAGE** - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT
- SPRINKLING** - SITE IS SPRINKLED UNTIL THE SURFACE IS WET
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS
- STONE** - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL



**RETAINING WALL  
CONCRETE BLOCK WITH STONE VENEER**  
NOT-TO-SCALE



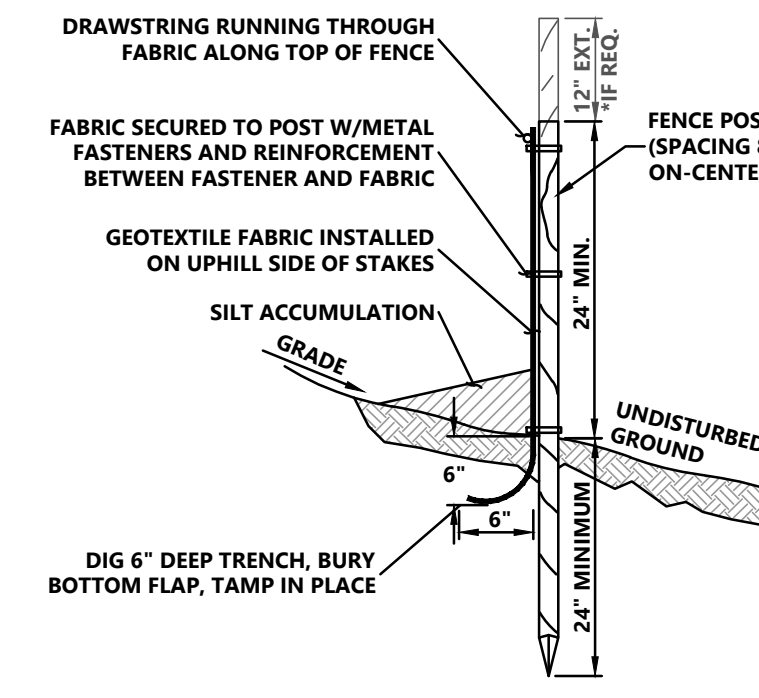
**STORMWATER DRYWELL SEEPAGE PIT  
CONCRETE CHAMBER INSTALLATION DETAIL**  
NOT TO SCALE

- DRYWELL SEEPAGE PIT NOTES**
- CONTRACTOR SHALL NOTIFY BOTH ONELLO ENGINEERING AND THE MUNICIPAL ENGINEER MINIMUM FORTY-EIGHT (48) HOURS PRIOR TO DRYWELL INSTALLATION
  - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE OF DRYWELL SEEPAGE PIT. MINIMUM FOUR (4) TIMES ANNUALLY (EVERY THREE (3) MONTHS), AND AFTER ANY STORM EVENT RESULTING IN 1"- RAINFALL
  - DRYWELL LID SHALL BE 6" THICK CONCRETE FOR LIGHT RESIDENTIAL LOADING (OR 8" THICKNESS FOR HS-20 TRAFFIC LOADING IF SPECIFIED ON PLAN). CONTACT PEERLESS FOR 8" HS-20 TRAFFIC LOAD RATED COVER
  - CONTRACTOR SHALL NOTIFY ONELLO ENGINEERING OF ANY CHANGE-ORDERS AND/ON INSTALLATION MODIFICATIONS
  - PRE-CAST CONCRETE MANUFACTURER SUBSTITUTION CHANGE-ORDER ONLY IF SPECIFICATIONS OF THIS UNIT ARE EQUAL OR GREATER, WHEREAS BOTH ONELLO ENGINEERING AND MUNICIPAL ENGINEER SHALL BE NOTIFIED; SUBSEQUENT APPROVAL REQUIRED PRIOR TO ANY INSTALLATIONS RELATED TO THE SAME

- DRYWELL CAPACITY CALCULATIONS**
- 130 CF (970-GAL) CONCRETE CHAMBER VOLUME
  - 12' x 12' SQUARE PIT (OR RECTANGULAR) AS PER PLAN
  - 138 CF CRUSHED STONE SIDE-WALLS VOIDS VOLUME (42%)
  - 60 CF CRUSHED STONE LEVELING PAD VOIDS VOLUME (42%)

**TOTAL COMPOSITE  
DRYWELL VOLUME**  
**328 CF**

**MANUFACTURER & MODEL SPECIFICATION**  
970-GALLON CAPACITY SEEPAGE PIT MANUFACTURED BY PEERLESS CONCRETE, 246 MAIN STREET, BUTLER, NEW JERSEY 07405, 937-838-3385, SALES@PEERLESS.CONCRETE.COM



**SILT FENCE DETAIL**  
NOT TO SCALE

- REQUIREMENTS FOR SILT FENCE**
- FENCE POSTS SHALL BE SPACED 8 FEET ON-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES
  - A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FT. HEIGHT MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED
  - A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FT. ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS AND STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHER, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH

**ROSEN, RIDGEWOOD  
CONSTRUCTION DETAILS**

**ONELLO  
ENGINEERING**

5 BEECHNUT STREET  
HILLSDALE, NEW JERSEY 07642  
201-774-1444 Angelo@OnelloEng.com

DATE	DESCRIPTION
2023 12/19	ZONING BOARD VARIANCE APPLICATION
2023 11/13	ZONING REVIEW
2023 09/13	ORIGINAL PLAN DATE
YEAR	MM/DD REVISION DIGEST NOTES

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**FOR DESIGN REVIEW ONLY  
NOT FOR CONSTRUCTION**

**PLOT PLAN  
ZONING ANALYSIS & SOIL MOVEMENT**

**ROSEN  
#264 WEST RIDGEWOOD AVENUE  
LOT 1 - BLOCK 2404  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY**

DWG # 6 OF 6  
CONSTRUCTION DETAILS