

PRELIMINARY & FINAL SITE PLAN

COMMERCIAL BUILDING

BLOCK 3905, LOTS 12, 13, 14

246-264 SOUTH BROAD STREET

VILLAGE OF RIDGEWOOD

COUNTY OF BERGEN, NEW JERSEY

PROPERTY OWNERS WITHIN 200'

VILLAGE OF RIDGEWOOD (Per Tax Assessor dated 5-31-22)

Block-Lot: 2209-15 LEE, VERONICA J 7 LENOX AVE RIDGEWOOD, NJ 07450	Block-Lot: 3905-11 WEST BERGEN SPECIALIZED HOUSING INC 120 CHESTNUT ST RIDGEWOOD, NJ 07450	Block-Lot: 2905-6 200 SOUTH BROAD ST LLC %A KORRIS 203 S BROAD ST RIDGEWOOD NJ 07450
Block-Lot: 3905-40.01 GROSMAN, EDWIN MICHAEL 32 KOSSUTH PL WAYNE, NJ 07470	Block-Lot: 3905-18 GROSMAN, EDWIN & DARIA 32 KOSSUTH PL WAYNE, NJ 07470	Block-Lot: 2305-11 ZEGARRA, DIANA 7 RICHMOND AVE RIDGEWOOD NJ 07450
Block-Lot: 3902-11 KIM, GEMMA 306 S PLEASANT AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-4 ASTARITA, ROBERT & BONNIE 202 WOODSIDE AVE. RIDGEWOOD, NJ 07450	Block-Lot: 3905-15 STAFFORD, MATTHEW 95 ARLINGTON AVE HAWTHORNE, NJ 07856
Block-Lot: 3906-3.01 KIM, SUNG J & YOUNG SOOK 48 LEONARD PL RIDGEWOOD, N.J. 07450	Block-Lot: 3905-2 PISTERLA, CAROLINA & WILLET, JACOB 42 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3902-1 THAYER, HENRY & FAITH 209 S BROAD ST RIDGEWOOD, NJ 07450
Block-Lot: 3906-1 PETTINEO, SCOTT & LISA PO BOX 849 RAMSEY, NJ 07446	Block-Lot: 3906-3 WOODSIDE GARDENS CONDO ASSN 46-50 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3905-7 210 SOUTH BROAD ST LLC %A KORRIS 311 SAMMILL LN WYCKOFF, NJ 07461
Block-Lot: 3906-11 KLEINNECHT, MARGARITA 217 HIGHWOOD AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-6 PEAY, JOANN R. 295 FERRIS PLACE RIDGEWOOD, NJ 07450	Block-Lot: 3905-17 GALARZA, PATRICIA & VICTOR 290 S BROAD ST 1ST FL RIDGEWOOD, NJ 07450
Block-Lot: 3906-3.02 YOUNG, GERALD & MARY ANN 46 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3905-16 WANG, VICTOR & GONG LAURIE 4 CANDLEWOOD DRIVE OLD TAPPAN, NJ 07675	Block-Lot: 3902-10 LYNCH, BRENDAN C & LITTLEJOHN, SEAN M 223 S BROAD ST RIDGEWOOD, NJ 07450
Block-Lot: 3902-2 MOLLO, LOUISA C & TONI 32 BRAINARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3902-9 THOMAS, DONALD R. & BARBARA 229 S. BROAD ST RIDGEWOOD, NJ 07450	UTILITIES & OTHER AGENCIES
Block-Lot: 3906-10 HALWAGY, GEORGE & CLAUDETTE 319 W GLEN AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-5 HIGGINS, TERRENCE & DEBORAH 24 ELIZABETH ST. GLEN ROCK, NJ 07452	ELECTRIC & GAS PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA, T6B NEWARK, NJ 07102
Block-Lot: 3909-2 RELIGIOUS SOCIETY OF FRIENDS C/O KEIL 224 HIGHWOOD AV RIDGEWOOD, NJ 07450	Block-Lot: 3905-4.01 BRD RDO HSG CORP % D MAHAN-WILLIAMS PO BOX 81 RIDGEWOOD, NJ 07451	WATER RIDGEWOOD WATER DEPARTMENT DIRECTORS OFFICE 131 NORTH MAPLE AVENUE RIDGEWOOD, NJ 07451
Block-Lot: 3908-1 METROPOLITAN A.M.E. ZION CHURCH 299 SOUTH BROAD ST RIDGEWOOD, NJ 07450	Block-Lot: 2306-10 ASIMAKOPOULOS PARTNERSHIP % NICHOLAS 774 ALBEMARLE ST WYCKOFF, NJ 07481	SEWER ENGINEERING DIVISION COLLECTION SYSTEM OPERATIONS 131 NORTH MAPLE AVENUE RIDGEWOOD, NJ 07451
Block-Lot: 3902-8 HILLMAN, FRANK & ROSEMARY 233 S BROAD ST RIDGEWOOD, NJ 07450	Block-Lot: 3902-7 PEAY, JOANN R. 295 FERRIS PLACE RIDGEWOOD, NJ 07450	CABLE TV CABLEVISION 40 POTASH ROAD OAKLAND, NJ 07436
Block-Lot: 2209-14 BERRY, HELEN J 419 SMITH PL RIDGEWOOD NJ 07450	Block-Lot: 3902-3 MOCCIO, LOUIS 56 MEADOWBROOK RD RAMSEY, NJ 07446	TELEPHONE VERIZON NJ INC MARK BOCCIERI DIRECTOR-EXTERNAL AFFAIRS 25 MAIN STREET HACKENSACK, NJ 07601
		RAILROAD STATE OF NJ DOT MARKET STREET & MCCARTER HIGHWAY NEWARK, NJ 07101



500' RADIUS MAP

SCALE: 1"=200'

DRAWING LIST	
C1.1	COVER SHEET
C2.1	DEMOLITION & EROSION CONTROL PLAN
C2.2	SITE PLAN
C2.3	GRADING, UTILITY & EROSION CONTROL PLAN
C2.4	LANDSCAPE & LIGHTING PLAN
C2.5	LIGHTING INTENSITIES PLAN
C2.6	VEHICLE CIRCULATION PLANS
C3.1	SITE DETAILS
C3.2	UTILITY DETAILS
C3.3	DRAINAGE DETAILS
C3.4	LANDSCAPE DETAILS

ZONING NOTES

- OWNER/APPLICANT: LES DANN LLC
76 MOUNTAINVIEW BLVD
WAYNE, NJ 07470
- LOCATION: 246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
COUNTY OF BERGEN, NEW JERSEY
BLOCK 3905, LOTS 12,13,14
TAX MAP SHEET #39
- ZONE: R-3 TWO-FAMILY RESIDENCE DISTRICT (ADJACENT TO AH-1)
- USE: EXISTING - COMMERCIAL (E), ONE FAMILY DWELLING (PERMITTED)
PROPOSED - COMMERCIAL (V)
- BULK REQUIREMENTS (ARTICLE X § 190-106):

	REQUIRED	EXISTING L.12	EXISTING L.13	EXISTING L.14	PROPOSED
§ 190-106(E)(1)	MAX. BLDG HEIGHT (FT):	30	30	25	30
§ 190-106(E)(2)	MIN. FRONT YARD (FT):	40	20.2(E)	23.3(E)	117.7
§ 190-106(E)(3)	MIN. SIDE YARD (FT):	10	2.8(E)	8.8(E)	34.9
§ 190-106(E)(4)	MIN. BOTH SIDE YARD (33% OF 257.6)(FT)	85	12.28(E)	42.68	16.18(E)
	MIN. REAR YARD				74.9(V)
§ 190-106(E)(5)	MIN. REAR YARD (FT):	30	131.6	219.6	5.2(E)
§ 190-119(A)(3)	MIN. REAR YARD ABUTTING RAILROAD (FT):	45	131.6	219.6	5.2(E)
§ 190-106(E)(6)	MIN. LOT AREA (SF):	8,400	23,919	16,634	33,257
	MIN. LOT WIDTH				73,810
§ 190-106(E)(7)	MIN. FRONT YARD SETBACK (FT):	60	108.4	60.2	88.9
§ 190-106(E)(7)	WITHIN 140 FT OF FRONT LOT LINE (FT):	50	88.2	55.3	251.95
§ 190-106(E)(8)	MIN. AVERAGE LOT WIDTH** (SF):	60	102.81	60.03	98.01
§ 190-106(E)(9)	MIN. LOT DEPTH (FT):	120	299.15	299.15	286.01
	MAX. COVERAGE BY ABOVE GRADE STRUCTURES				277.89
§ 190-106(E)(10)	TOTAL (%):	25	24.08	9.43	14.92
§ 190-106(E)(11)	WITHIN 140 FT OF FRONT LOT LINE (%):	25	39.58 (E)	10.79	4.36
	MAX. GROSS BUILDING AREA (14,000-19,249 SF)				23.33
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	29/4,620	N/A	10/1,667	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	29/4,620	N/A	19.7/1,667	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY: LESSER OF (%/SF):	6/962	N/A	3.6/599	N/A
	MAX. GROSS BUILDING AREA (19,250-24,999 SF)				N/A
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	24/5,000	24.05/5,752(E)	N/A	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	24/5,000	39.58/5,728(E)	N/A	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	5/1,000	N/A	N/A	N/A
	MAX. GROSS BUILDING AREA (25,000 SF AND OVER)				N/A
§ 190-106(E)(12)	PRINCIPAL BUILDING (%):	20	N/A	N/A	5.45
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE (%):	20	N/A	N/A	4.36
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	4	N/A	N/A	9.18 (E)
	MAX. IMPROVEMENT COVERAGE (14,000-24,999 SF)				18.68****
§ 190-119(H)(1)	TOTAL (% MAX.(FT))	40/8,750	100/23,919(E)	76.01/12,643 (E)	N/A
§ 190-119(H)(2)	WITHIN 140 FT OF FR LOT LINE (% MAX.(FT))	40/8,750	100/14,470(E)	30.18/5,019	N/A
	MAX. IMPROVEMENT COVERAGE (25,000 SF AND OVER)				N/A
§ 190-119(H)(1)	TOTAL (%):	35	N/A	N/A	94/31,291(E)
§ 190-119(H)(2)	WITHIN 140 FT OF FRONT LOT LINE (%):	35	N/A	N/A	85.7/11,757 (E)
	RETAINING WALLS				68.82(V)
§ 190-124(F)(3)	MAX. HEIGHT (FT)	6	3.9	2.2	3
§ 190-124(F)(2b)	MIN. REAR YARD SETBACK (FT)***	4.76	>50	>50	0(E)
	FENCES				4.76
§ 190-119(F)(3a)	MAX. HEIGHT REAR YARD (FT)	6	N/A	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT SIDE YARD (FT)	6	5	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT FRONT YARD (FT)	4	6(E)	N/A	N/A
	EXTERIOR EQUIPMENT				N/A
§ 190-124(M)(2)	MIN. FRONT YARD SETBACK (FT)	40	>40	N/A	>40
§ 190-124(M)(3)	MIN. SETBACK FROM RESIDENTIAL PROPERTY (FT)	10	0(E)	N/A	>10
	FLAGPOLES				59.15
§ 190-119(C)(1)(G)	MAX HEIGHT (FT)	30	N/A	N/A	16
§ 190-119(C)(1)(G)	MIN. SETBACK (FT)	16	N/A	N/A	26

6. SIGNS (§ 190-122. E) (R-3 ZONE NOT PERMITTED, ZONE C BULK SCHEDULE BELOW)

	REQUIRED	PROPOSED
MAX. # OF FREESTANDING SIGNS	1	1
MAX. # OF AFFIXED SIGNS PER BUILDING	1	10
MAX. AREA (SF)	12	12
MIN. SETBACK (FT)	5	10
MAX. HEIGHT (FT)	10	4.2

7. OFF-STREET PARKING (ZONE C, AUTOMOTIVE REPAIR PERMITTED) (ARTICLE X § 190-121)

	REQUIRED	PROPOSED
1 SPACE PER 250 SF GROSS FLOOR AREA (22,132 / 250)	88.5	84(V) (81+3 EVSE CREDIT)
PARKING SPACE SIZE		
NO CURB OVERHANG (FTxFT)	9x20	9x18(V)
WITH 2 FT OVERHANG (FTxFT)	9x18	9x18

* REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

NON-RESIDENTIAL	REQUIRED	PROVIDED
MIN. (EVSE)(76 - 100 SPACES PROVIDED):	3	3

**CALCULATED SO THAT AT LEAST 8,400 SF OF LOT AREA BE PROVIDED WITHIN 140 FT OF FRONT LOT LINE
***A HORIZONTAL DISTANCE NOT LESS THAN ONE FOOT FOR EACH FOOT OF HEIGHT OF THE RETAINING WALL
****NOT APPLICABLE TO COMMERCIAL. SHOWN FOR COMPARISON

NC = NO CHANGE
(V) = VARIANCE
(E) = EXISTING NON-CONFORMITY
N/A = NOT APPLICABLE

APPROVED BY THE VILLAGE OF RIDGEWOOD BOARD OF ADJUSTMENT

CHAIRMAN	DATE
SECRETARY	DATE
BOROUGH ENGINEER	DATE

66 GLEN AVENUE
GLEN ROCK, NJ 07452
P 201.670.6888
F 201.670.9788
www.bertinengineering.com



CALISTO J. BERTIN, P.E.
PROFESSIONAL ENGINEER

CT LIC. NO. 12950 NJ LIC. NO. 28845
MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER

NJ LIC. NO. 37073
NY LIC. NO. 071209

REVISION

NO.	DATE	REVISION
1	10-20-22	ADD EASE AND SIGN SCHEDULE
2	2-11-23	REVISE BULK REQUIREMENTS AND DRAWING LIST
3	5-9-23	REVISE ZONING NOTES
4	11-4-24	REVISE ZONING NOTES

DRAWING TITLE
COVER SHEET

PROJECT
MOUNTAIN VIEW AUTO BODY

BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY: M.B.L. CHECKED BY: S.P.F.

SCALE: AS SHOWN PROJECT NO: 22-146

DATE: 6-13-22 REVISION NO.: 2

DRAWING NO.

C1.1

PATERSON & RAMAPO BRANCH

GENERAL NOTES

1. SITE PLAN BASED ON: "LOCATION AND TOPOGRAPHIC SURVEY OF 246-264 SOUTH BROAD STREET, LOT 12, LOT 13 AND LOT 14 IN BLOCK 3905, VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, N.J.", PREPARED BY BERTIN ENGINEERING, MILOSLAV REHAK, N.J.P.L.S. NO. 43233, FILE NO. 22-146, DWG. NO. SV-1, DATED MARCH 29, 2022.
2. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
3. LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
4. UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
5. THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
6. UNLESS OTHERWISE NOTED, ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURBS OR FACE OF WALLS.
7. UNLESS OTHERWISE NOTED, ALL RADII ARE TWO FEET (2').
8. LAWN AND/OR DECIDUOUS AND ORNAMENTAL TREE PLANTING AREAS CAN BE USED FOR SNOW STORAGE (SEE LOCATIONS INDICATED AND SHEET C2.4).

TRAFFIC SIGN LEGEND

ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.

- (A) R7-8N (12"x18") RESERVED PARKING
- (A2) R7-8c (12"x6") HANDICAP ACCESSIBLE
- N-17 (10"x12") PENALTY FOR PARKING IN PROHIBITED ZONE
- (B) R1-1 (30"x30") STOP
- (C) "EMPLOYEE PARKING ONLY" (12"x18") EMPLOYEE PARKING ONLY
- (E) D9-11b (24"x24") EV CHARGER
- (E2) R7-1 MOD (12"x18") EV CHARGER

LEGEND

- EOP EXISTING EDGE OF PAVEMENT
- T TRAFFIC SIGN
- AL AREA LIGHT
- FH FIRE HYDRANT
- UP UTILITY POLE
- GV GAS VALVE
- WV WATER VALVE
- SM SANITARY MANHOLE
- DM DRAINAGE MANHOLE
- MW MONITORING WELL
- EOP PROPOSED EDGE OF PAVEMENT
- R HANDICAP RAMP
- SW SIDEWALK
- CW CROSSWALK
- DC DEPRESSED CURB
- FH FIRE HYDRANT
- DM DRAINAGE MANHOLE
- CI CURB INLET
- YI YARD INLET
- TS TRAFFIC SIGN
- AL AREA LIGHT
- WML WALL MOUNTED LIGHT
- L LANDING
- DL DOOR LOCATION
- LS LANDSCAPING
- NS No. OF PARKING SPACES
- NSV No. OF SPACES FOR SERVICED VEHICLES

66 GLEN AVENUE
GLEN ROCK, NJ 07452
P 201.670.6688
F 201.670.3788
www.bertinengineering.com



CALISTO J. BERTIN, P.E.
PROFESSIONAL ENGINEER
CT LIC. NO. 12950 NJ LIC. NO. 28845
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SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
4	11-11-24	UPDATE SITE LAYOUT
3	5-8-23	RELOCATE AND ADD DIMS FOR TRANSFORMER
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
1	10-20-22	ADD EV PARKING, RECYCLING CONTAINERS AND MONUMENT SIGN WITH PLANTING BED

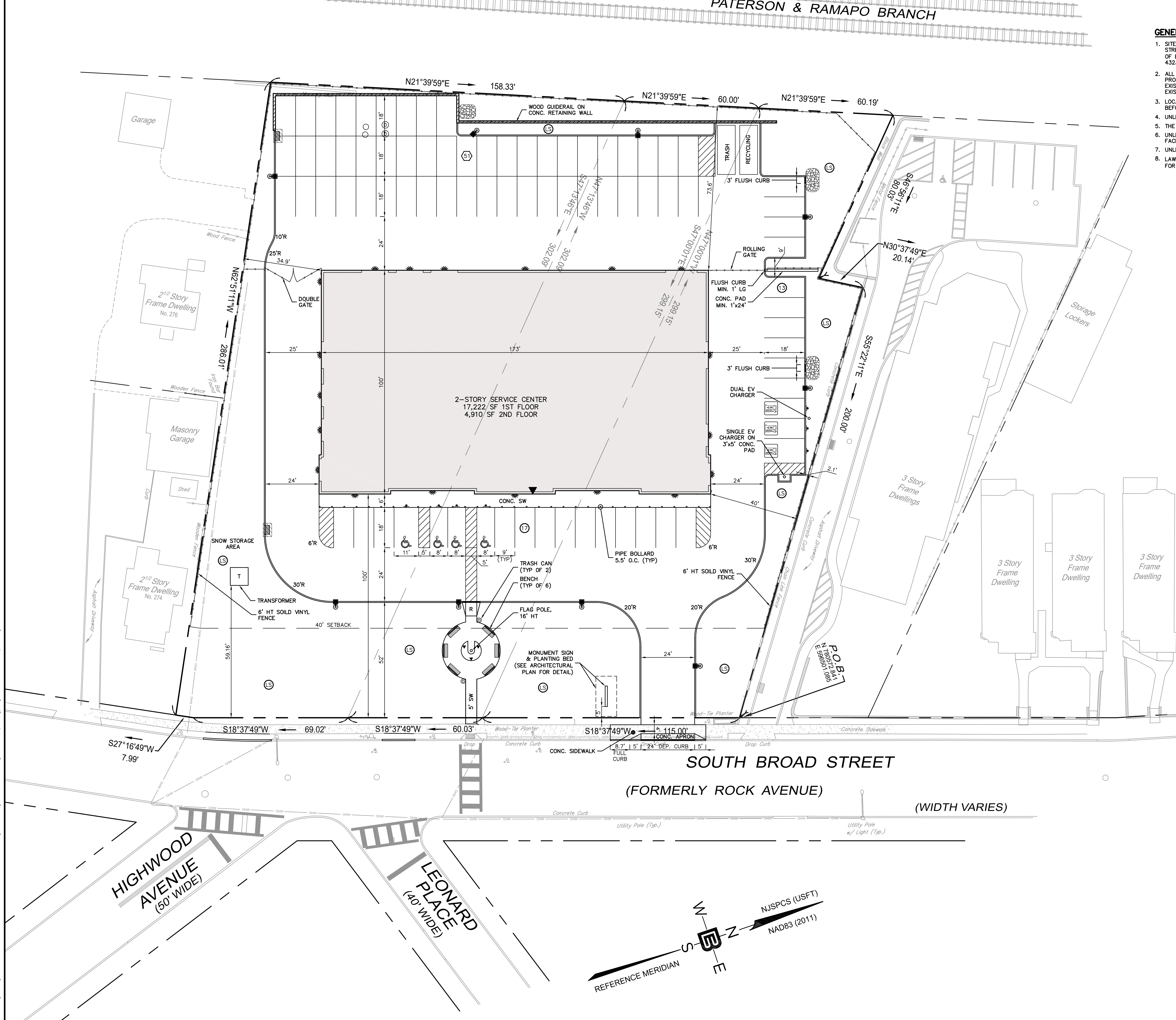
SITE PLAN

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

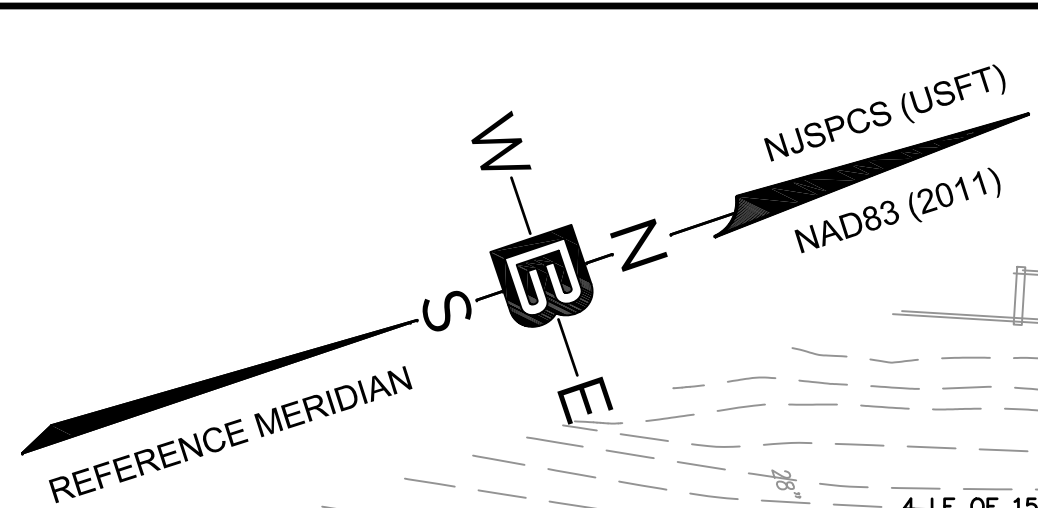
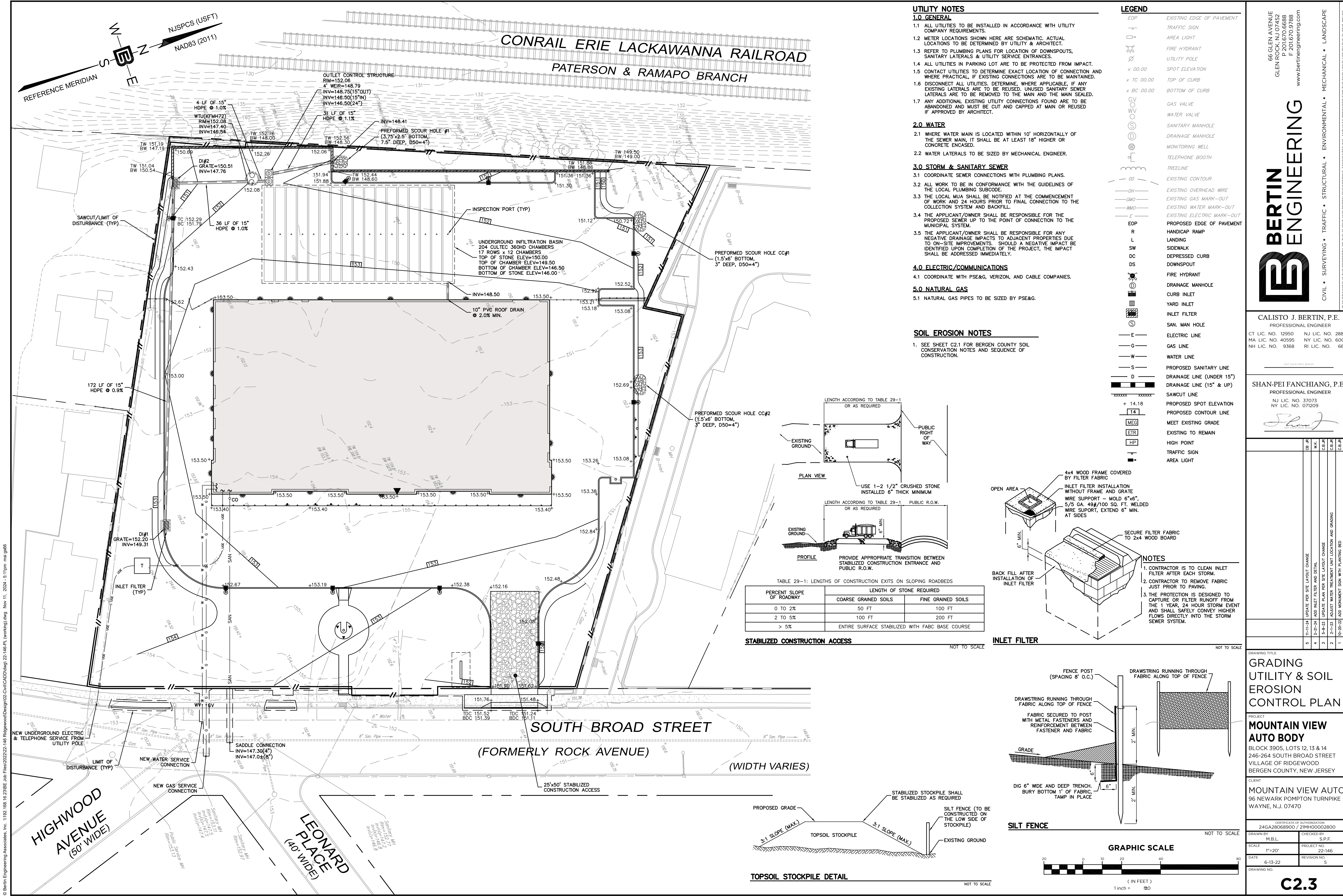
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY CB JR	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 7/02/24	REVISION NO. 4
DRAWING NO.	

C2.2



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**CONRAIL ERIE LACKAWANNA RAILROAD
PATERSON & RAMAPO BRANCH**

UTILITY NOTES

- 1.0 GENERAL**
- 1.1 ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
 - 1.2 METER LOCATIONS SHOWN HERE ARE SCHEMATIC, ACTUAL LOCATIONS TO BE DETERMINED BY UTILITY & ARCHITECT.
 - 1.3 REFER TO PLUMBING PLANS FOR LOCATION OF DOWNSPOUTS, SANITARY LATERALS & UTILITY SERVICE ENTRANCES.
 - 1.4 ALL UTILITIES IN PARKING LOT ARE TO BE PROTECTED FROM IMPACT.
 - 1.5 CONTACT UTILITIES TO DETERMINE EXACT LOCATION OF CONNECTION AND WHERE PRACTICAL, IF EXISTING CONNECTIONS ARE TO BE MAINTAINED.
 - 1.6 DISCONNECT ALL UTILITIES, DETERMINE, WHERE APPLICABLE, IF ANY EXISTING LATERALS ARE TO BE REUSED, UNUSED SANITARY SEWER LATERALS ARE TO BE REMOVED TO THE MAIN AND THE MAIN SEALED.
 - 1.7 ANY ADDITIONAL EXISTING UTILITY CONNECTIONS FOUND ARE TO BE ABANDONED AND MUST BE CUT AND CAPPED AT MAIN OR REUSED IF APPROVED BY ARCHITECT.
- 2.0 WATER**
- 2.1 WHERE WATER MAIN IS LOCATED WITHIN 10' HORIZONTALLY OF THE SEWER MAIN, IT SHALL BE AT LEAST 18" HIGHER OR CONCRETE ENCASED.
 - 2.2 WATER LATERALS TO BE SIZED BY MECHANICAL ENGINEER.
- 3.0 STORM & SANITARY SEWER**
- 3.1 COORDINATE SEWER CONNECTIONS WITH PLUMBING PLANS.
 - 3.2 ALL WORK TO BE IN CONFORMANCE WITH THE GUIDELINES OF THE LOCAL PLUMBING SUBCODE.
 - 3.3 THE LOCAL MUA SHALL BE NOTIFIED AT THE COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO FINAL CONNECTION TO THE COLLECTION SYSTEM AND BACKFILL.
 - 3.4 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR THE PROPOSED SEWER UP TO THE POINT OF CONNECTION TO THE MUNICIPAL SYSTEM.
 - 3.5 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR ANY NEGATIVE DRAINAGE IMPACTS TO ADJACENT PROPERTIES DUE TO ON-SITE IMPROVEMENTS. SHOULD A NEGATIVE IMPACT BE IDENTIFIED UPON COMPLETION OF THE PROJECT, THE IMPACT SHALL BE ADDRESSED IMMEDIATELY.
- 4.0 ELECTRIC/COMMUNICATIONS**
- 4.1 COORDINATE WITH PSE&G, VERIZON, AND CABLE COMPANIES.
- 5.0 NATURAL GAS**
- 5.1 NATURAL GAS PIPES TO BE SIZED BY PSE&G.

LEGEND

- EOP EXISTING EDGE OF PAVEMENT
- TRAFFIC SIGN
- AREA LIGHT
- FIRE HYDRANT
- UTILITY POLE
- SPOT ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- GAS VALVE
- WATER VALVE
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- MONITORING WELL
- TELEPHONE BOOTH
- TREELINE
- EXISTING CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING GAS MARK-OUT
- EXISTING WATER MARK-OUT
- EXISTING ELECTRIC MARK-OUT
- EOP PROPOSED EDGE OF PAVEMENT
- R HANDICAP RAMP
- L LANDING
- SW SIDEWALK
- DC DEPRESSED CURB
- DS DOWNSPOUT
- FIRE HYDRANT
- DRAINAGE MANHOLE
- CURB INLET
- YARD INLET
- INLET FILTER
- SAN. MAN HOLE
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- PROPOSED SANITARY LINE
- DRAINAGE LINE (UNDER 15")
- DRAINAGE LINE (15" & UP)
- SAWCUT LINE
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR LINE
- MEET EXISTING GRADE
- EXISTING TO REMAIN
- HP HIGH POINT
- TRAFFIC SIGN
- AREA LIGHT

SOIL EROSION NOTES

1. SEE SHEET C2.1 FOR BERGEN COUNTY SOIL CONSERVATION NOTES AND SEQUENCE OF CONSTRUCTION.

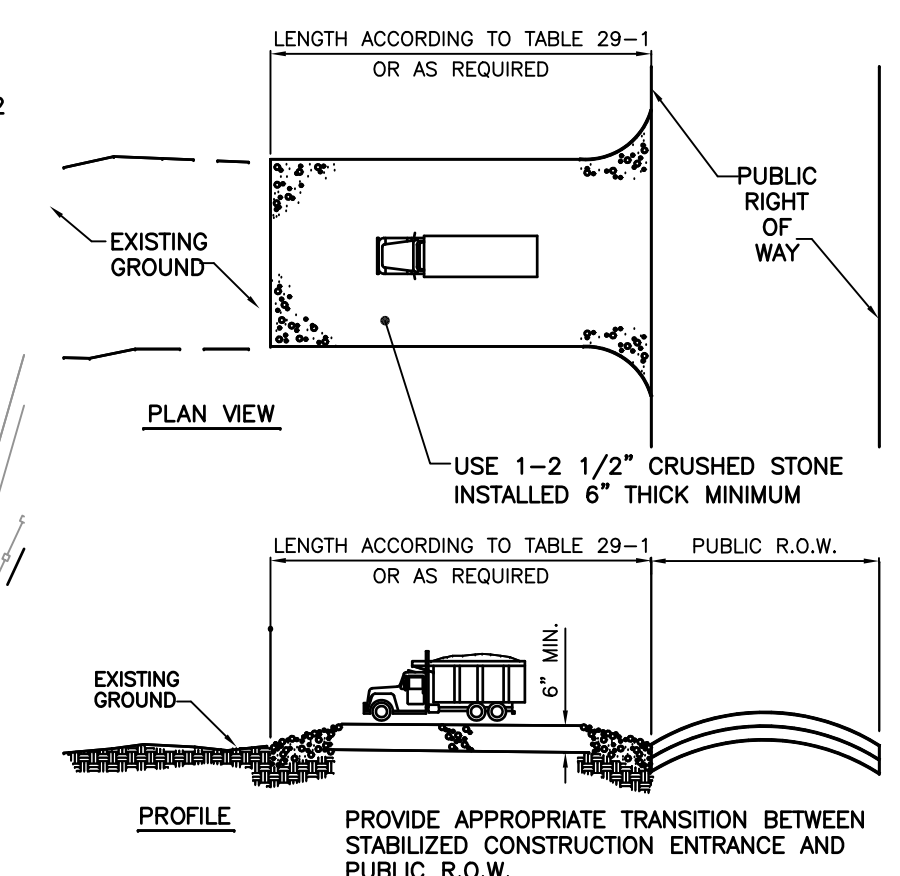
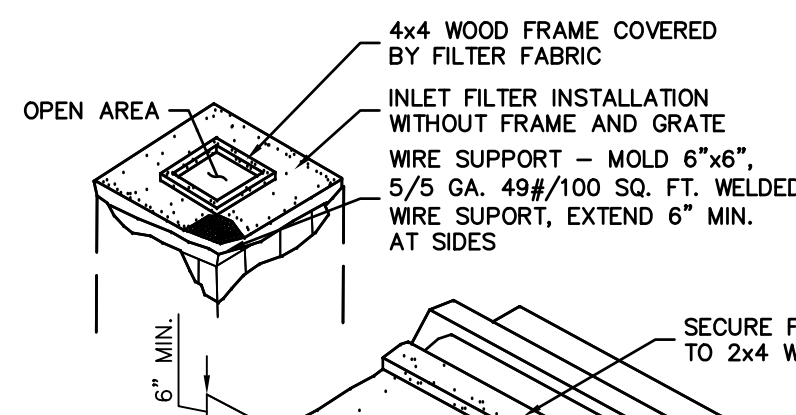


TABLE 29-1: LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

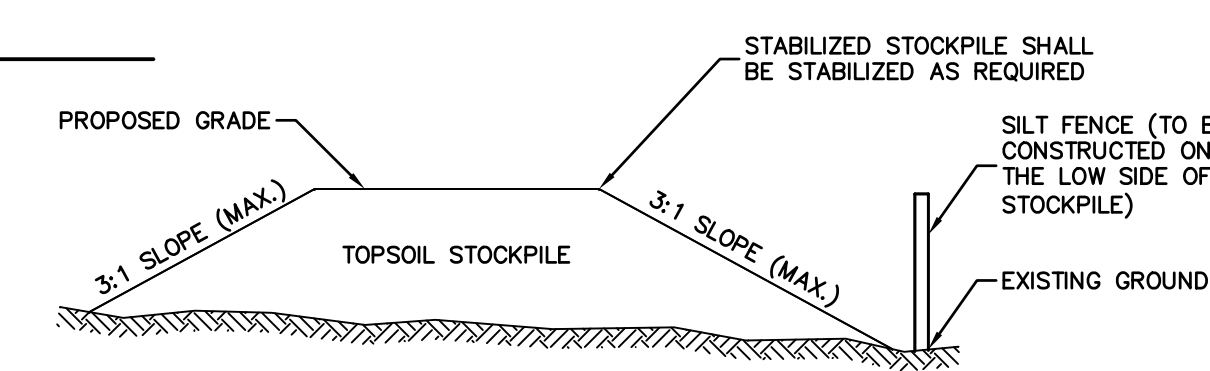


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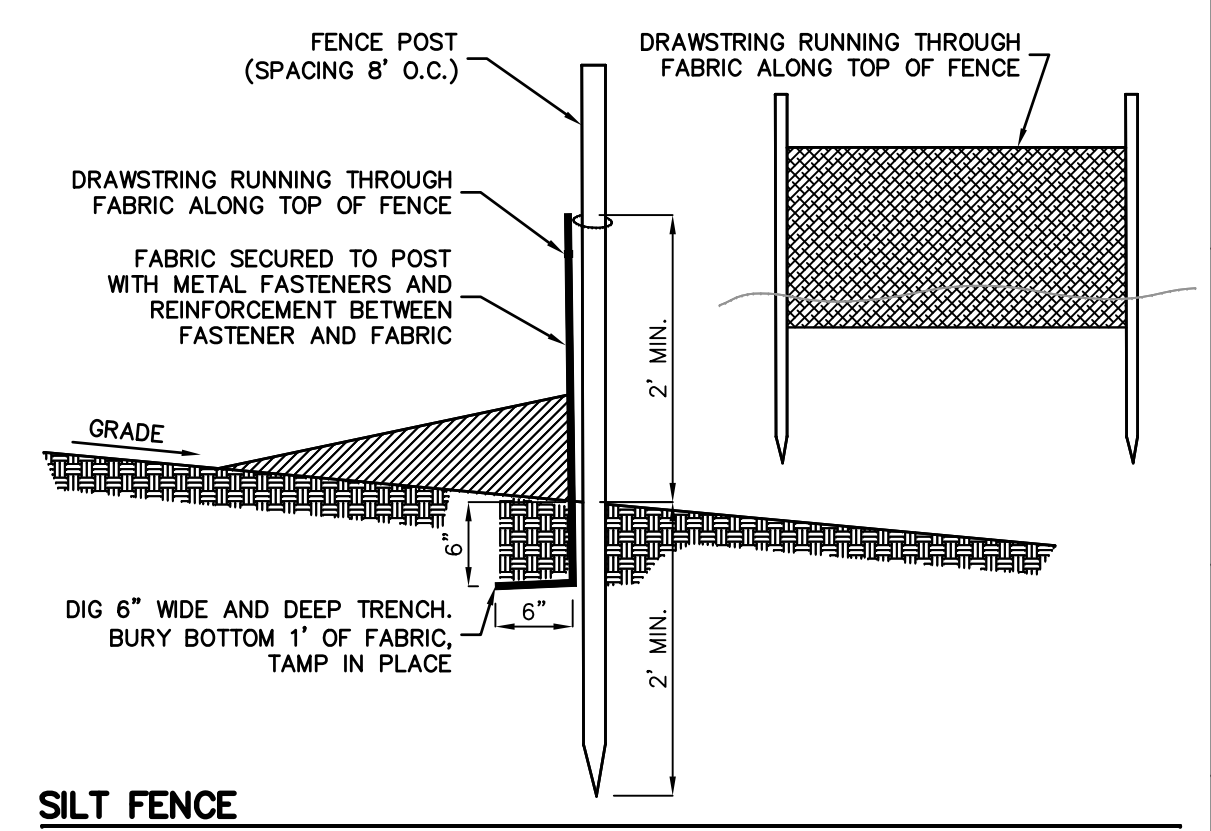
1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EACH STORM.
2. CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
3. THE PROTECTION IS DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

STABILIZED CONSTRUCTION ACCESS NOT TO SCALE

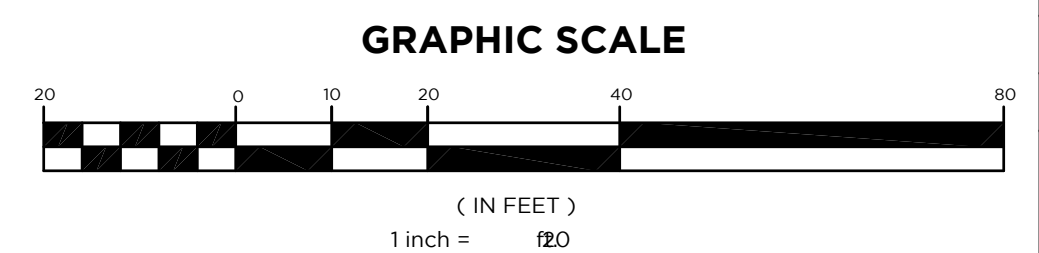
INLET FILTER NOT TO SCALE



TOPSOIL STOCKPILE DETAIL NOT TO SCALE



SILT FENCE NOT TO SCALE



GRAPHIC SCALE

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PROFESSIONAL ENGINEER
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MA LIC. NO. 40595 NY LIC. NO. 60022
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
5	11-11-24	UPDATE PER SITE LAYOUT CHANGE
4	2-11-24	ADD INLET FILTER AND DETAIL
3	5-8-23	UPDATE PLAN PER SITE LAYOUT CHANGE
2	2-11-23	ADJUST WATER TREATMENT UNIT LOCATION AND GRADING
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED

**GRADING
UTILITY & SOIL
EROSION CONTROL PLAN**

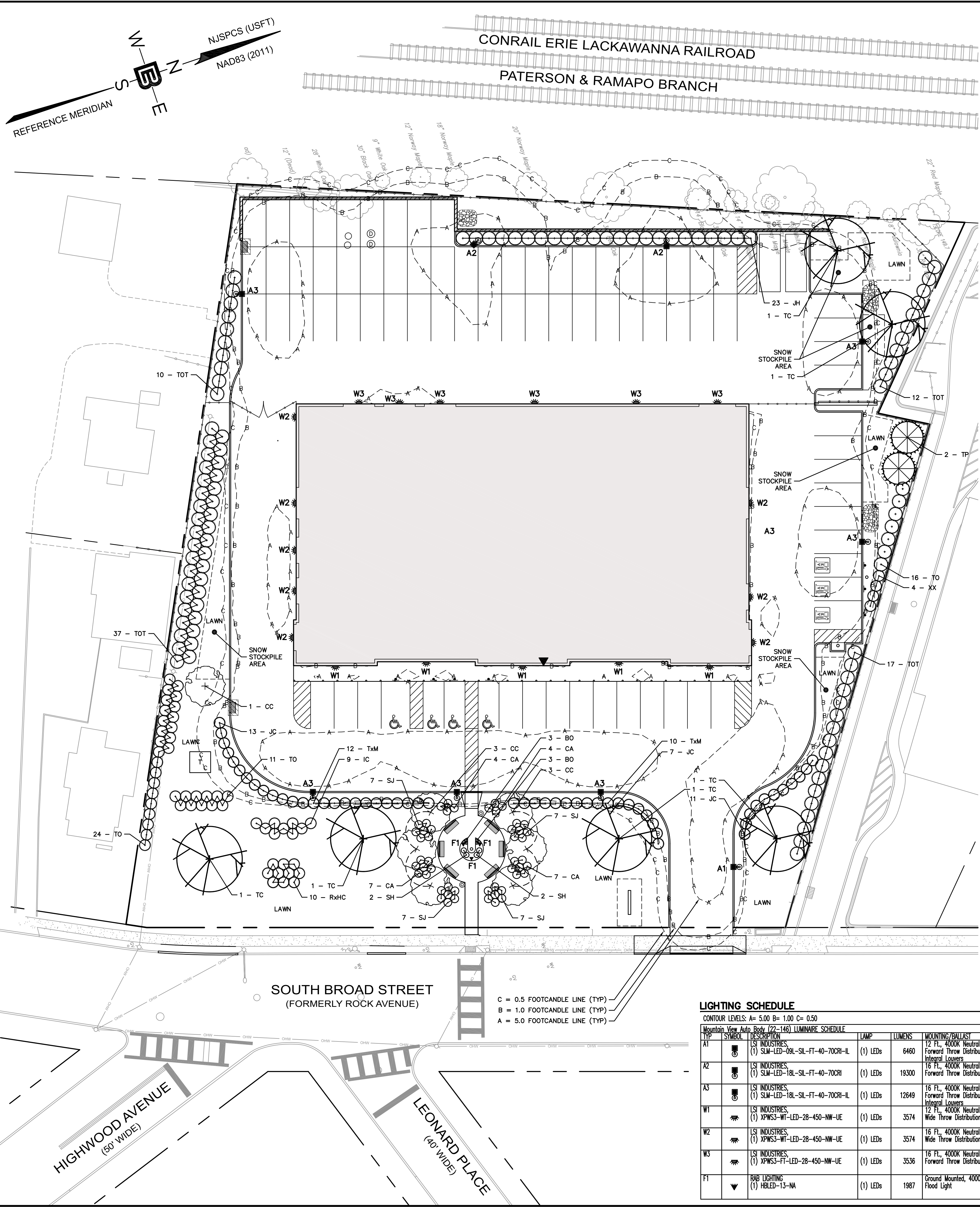
PROJECT
**MOUNTAIN VIEW
AUTO BODY**
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

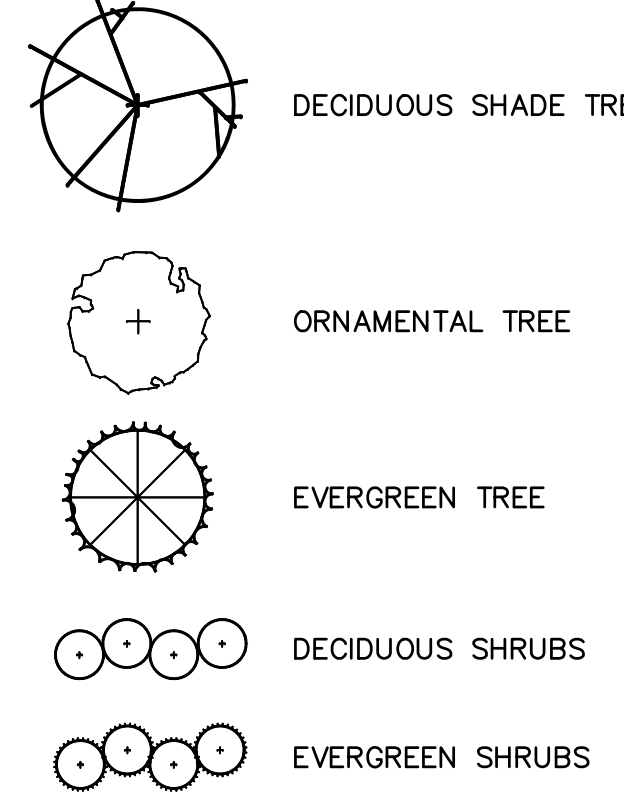
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DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 5
DRAWING NO.	

C2.3

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LANDSCAPE KEY



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		MATURE SIZE		SPACING	
				HEIGHT	ROOT	HEIGHT	SPREAD		
DECIDUOUS SHADE TREES									
TC	6	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LINDEN	10' - 12'	2" CAL. (MIN.)	B&B	40'-50'	30'-35'	35' O.C. (MIN.)
ORNAMENTAL TREES									
CC	7	CERCIS CANADENSIS	EASTERN REDBUD	4' - 6'	2" CAL. (MIN.)	B&B	20'-30'	20'-30'	15' O.C.
EVERGREEN TREES									
TP	2	THUJA PLICATA X STANDISHII "GREEN GIANT"	THUJA GREEN GIANT	5' MIN.		10 GAL.	30'-20'	12'-15'	12' O.C.
DECIDUOUS SHRUBS									
CA	22	CLETHRA ALNIFOLIA "HUMMINGBIRD"	HUMMINGBIRD CLETHRA, SUMMERSWEET	18" - 24"		2 GAL.	3'-4'	4'-5'	3' O.C.
SJ	28	SPIRAEA JAPONICA "WALBUMA"	MAGIC CARPET SPIREA	15" - 18"		1 GAL.	18"-24"	18"-24"	2' O.C.
EVERGREEN SHRUBS									
IC	9	ILEX GRENATA "HELLER"	DWARF JAPANESE HOLLY	15" - 18"		1 GAL.	3'-4'	4'-5'	4' O.C.
JH	31	JUNIPERUS CHINENSIS "SEA GREEN"	SEA GREEN JUNIPER	24" - 36"		3 GAL.	4'-5'	4'-5'	4' O.C.
JC	23	JUNIPERUS HORIZONTALIS "BAR HARBOR"	BAR HARBOR JUNIPER	24" - 36"		3 GAL.	4'-5'	4'-5'	4' O.C.
RxHC	10	RHODODENDON X "HINO-CRIMSON"	HINO-CRIMSON AZALEA	15" - 18"		1 GAL.	3'-5'	3'-5'	4' O.C.
TO	54	THUJA OCCIDENTALIS "SMARAGD"	EMERALD GREEN ARBORVITAE	5' MIN.		10 GAL.	10'-15'	3'-5'	4' O.C.
TOT	76	THUJA OCCIDENTALIS "TECHNY"	TECHNY ARBORVITAE	5' MIN.		10 GAL.	12'-15'	6'-8'	5' O.C.
TxM	22	TAXUS X MEDIA "DENSIFORMIS"	DENSIFORMIS ANGLQJAP YEW	18" - 24"		2 GAL.	4'-5'	8'-10'	4' O.C.
DECORATIVE GRASSES									
SH	4	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	15" - 18"		1 GAL.	2'-3"	2'-3"	2' O.C.

NOTE: PRUNE DENSIFORMIS ANGLQJAP YEW (TxM) TO MAINTAIN A HEDGE 36 INCHES HIGH AND 4 FEET WIDE

LANDSCAPE MAINTENANCE NOTES

- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- TREES AND SHRUBS:** MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS:** MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
- MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECT AND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
- NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

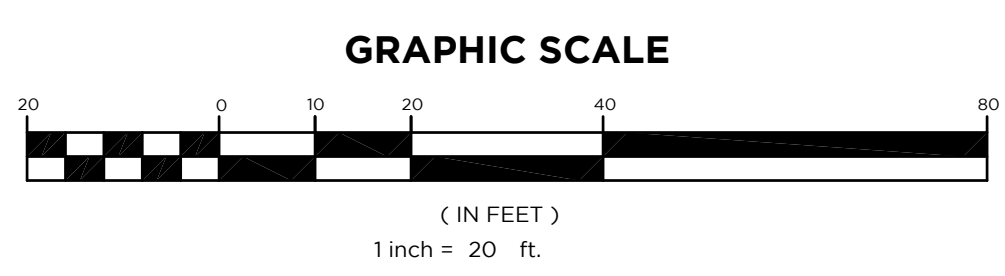
LANDSCAPE NOTES

- ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
- ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. Z 60.1-1969.
- SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 1" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
- TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
- IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DELETERIOUS TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
- PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
- CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
- UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTING AND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURE MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILLED/RIPPED TO SOFTEN SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
- FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.

LIGHTING SCHEDULE

CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50

TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
A1	☉	LS INDUSTRIES (1) SLM-LED-09L-SIL-FT-40-70CRI-IL	(1) LEDs	6460	12 FT., 4000K Neutral White LEDs, Forward Throw Distribution with Integral Louvers	0.85	1
A2	☉	LS INDUSTRIES (1) SLM-LED-18L-SIL-FT-40-70CRI	(1) LEDs	19300	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution	0.85	2
A3	☉	LS INDUSTRIES (1) SLM-LED-18L-SIL-FT-40-70CRI-IL	(1) LEDs	12649	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution with Integral Louvers	0.85	7
W1	☉	LS INDUSTRIES (1) XPWSS-WT-LED-28-450-NW-UE	(1) LEDs	3574	12 FT., 4000K Neutral White LEDs, Wide Throw Distribution	0.85	5
W2	☉	LS INDUSTRIES (1) XPWSS-WT-LED-28-450-NW-UE	(1) LEDs	3574	16 FT., 4000K Neutral White LEDs, Wide Throw Distribution	0.85	8
W3	☉	LS INDUSTRIES (1) XPWSS-FT-LED-28-450-NW-UE	(1) LEDs	3536	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution	0.85	6
F1	☉	BAB LIGHTING (1) HBLED-13-NA	(1) LEDs	1987	Ground Mounted, 4000K Neutral White LEDs, Flood Light	0.85	3



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CALISTO J. BERTIN, P.E.
PROFESSIONAL ENGINEER
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MA LIC. NO. 40595 NY LIC. NO. 60022
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SHAN-PEI FANCHIANG, P.E.
PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED AND ADJUST PROPOSED PLANTING
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
3	5-8-23	REVISE LANDSCAPING ALONG NORTH AND SOUTH LOT LINES
4	11-11-24	UPDATE PER SITE LAYOUT CHANGE

DRAWING TITLE
LANDSCAPE & LIGHTING PLAN

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

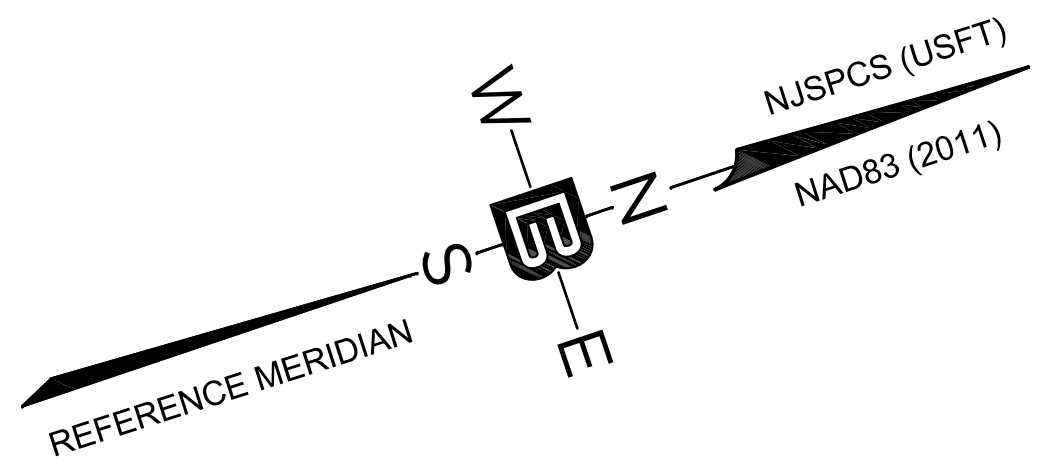
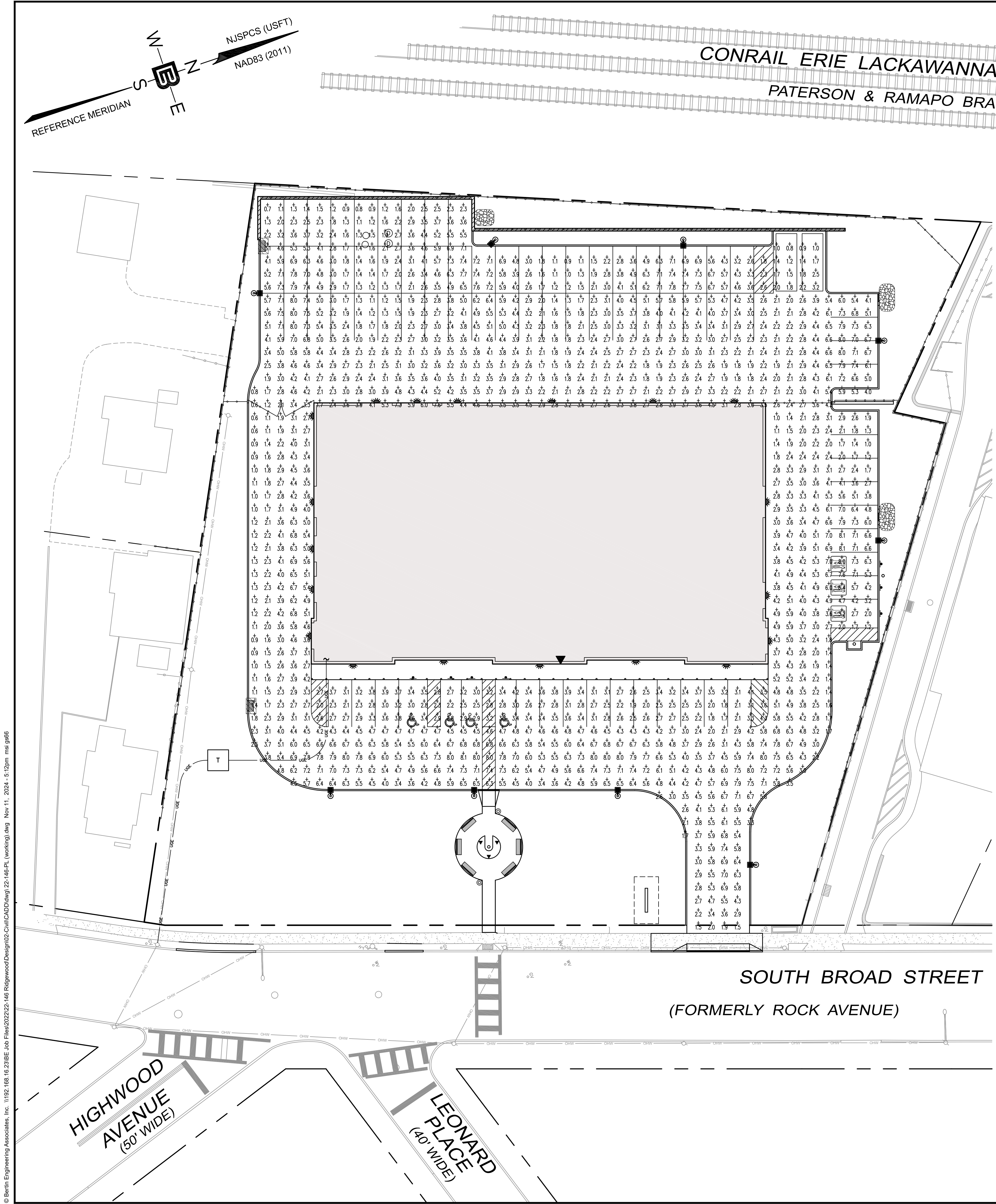
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY: M.B.L. CHECKED BY: S.P.F.
SCALE: 1"=20' PROJECT NO: 22-146
DATE: 6-13-22 REVISION NO: 4
DRAWING NO:

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SUMMARY OF LIGHTING INTENSITIES IN PARKING LOT

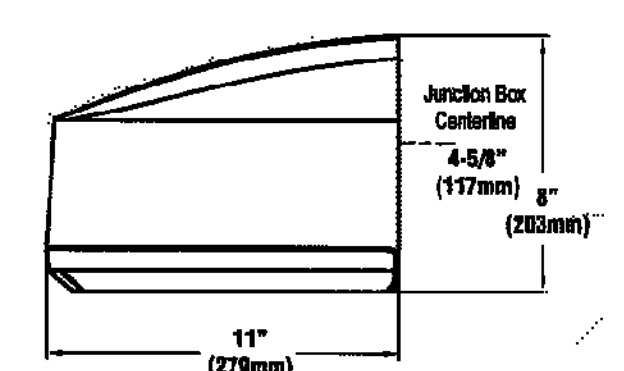
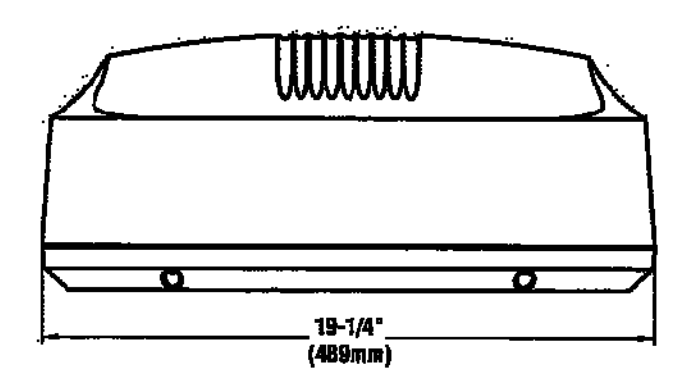
CALCULATION SUMMARY		GRID / TYPE	F. PTS	SPAC	GROUP	AVE.	MAX.	MIN.	MAX./MIN.	AVE./MIN.		
AREA	WAVE	DIMENSIONS	P / H-H	1281	5.00	<+>	3.83	8.06	0.56	14.33	6.82	
Area 1	500.00	400.00x100.00	6/12	P / H-H	1281	5.00	<+>	3.83	8.06	0.56	14.33	6.82



LED BULLET FLOODLIGHT, MANUFACTURED BY RAB LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.
NOTE: FLOODLIGHTS TO BE SPACED 120 DEGREES APART FROM EACH OTHER AROUND FLAGPOLE (SEE SITE PLANS), AIM LIGHTS TO CENTER OF THE FLAG OR THE TOP OF THE POLE.

FLOOD LIGHT FIXTURE DETAIL

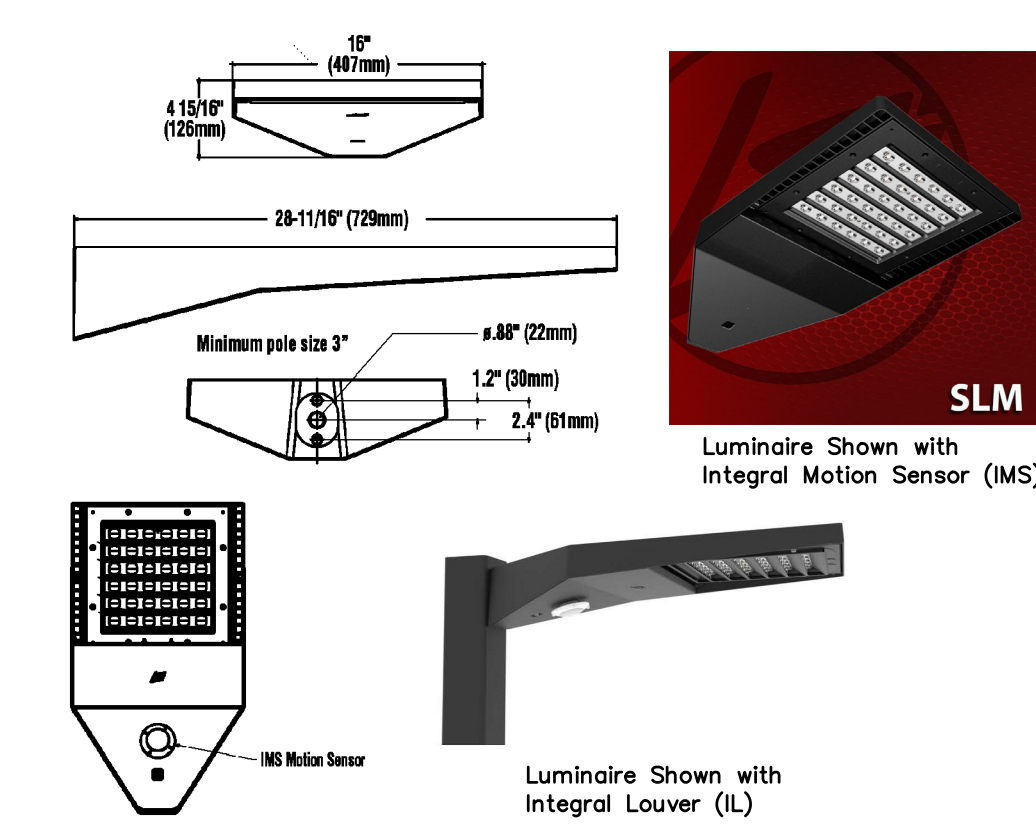
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"PATRIOT WALL SCONCE (WPWS3)" LED WALL LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

WALL LIGHT FIXTURE DETAIL

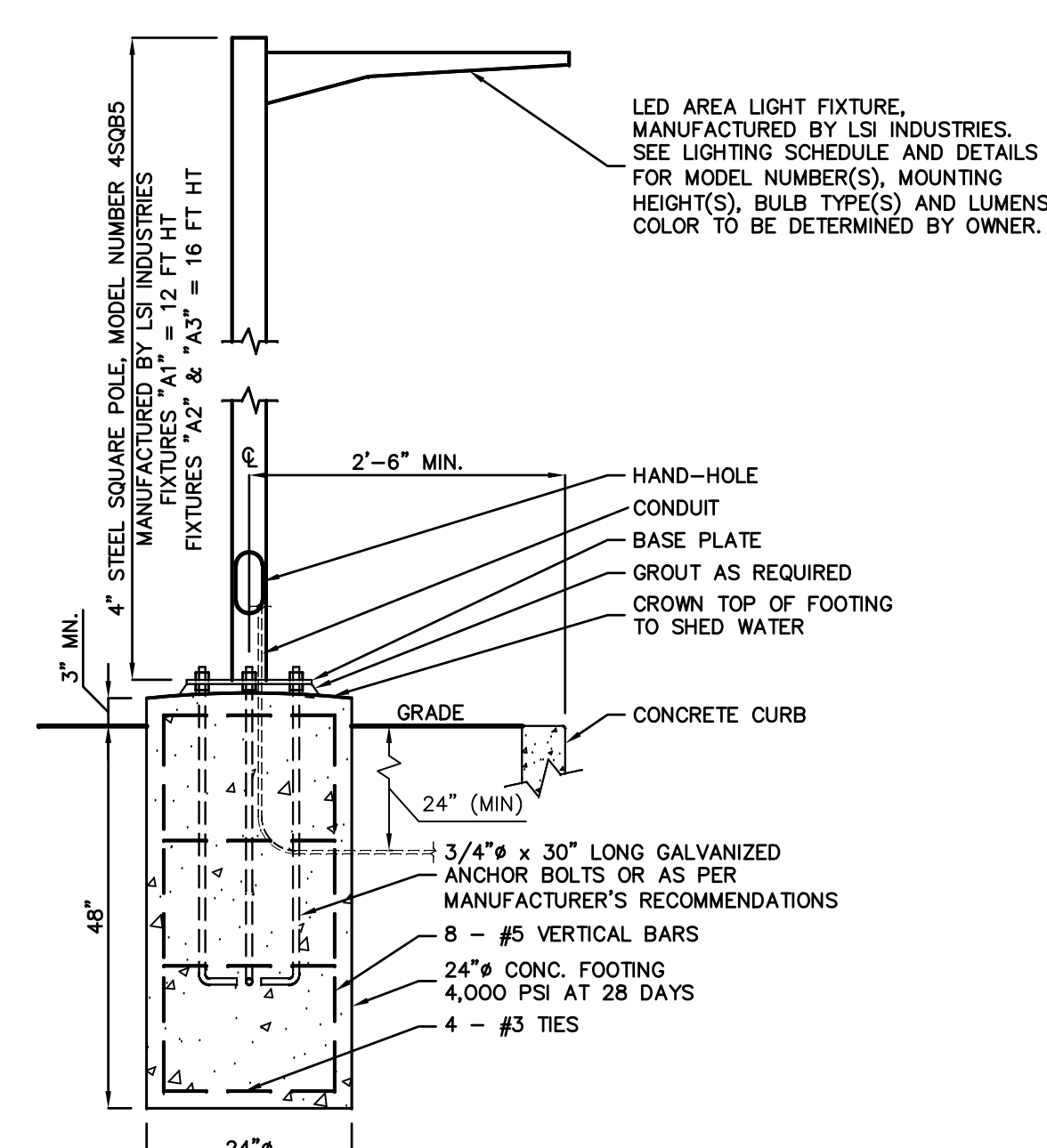
NOT TO SCALE



"SLICE MEDIUM - SLM" OUTDOOR LED AREA LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

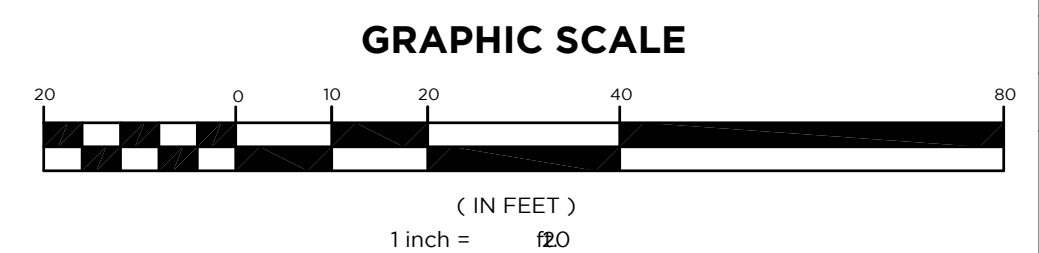
AREA LIGHT FIXTURE DETAIL

NOT TO SCALE



AREA LIGHT & FOOTING DETAIL

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PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
3	5-8-23	UPDATE PLAN PER SITE LAYOUT CHANGE
4	11-11-24	UPDATE PLAN PER SITE LAYOUT CHANGE

DRAWING TITLE
LIGHTING INTENSITIES PLAN

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

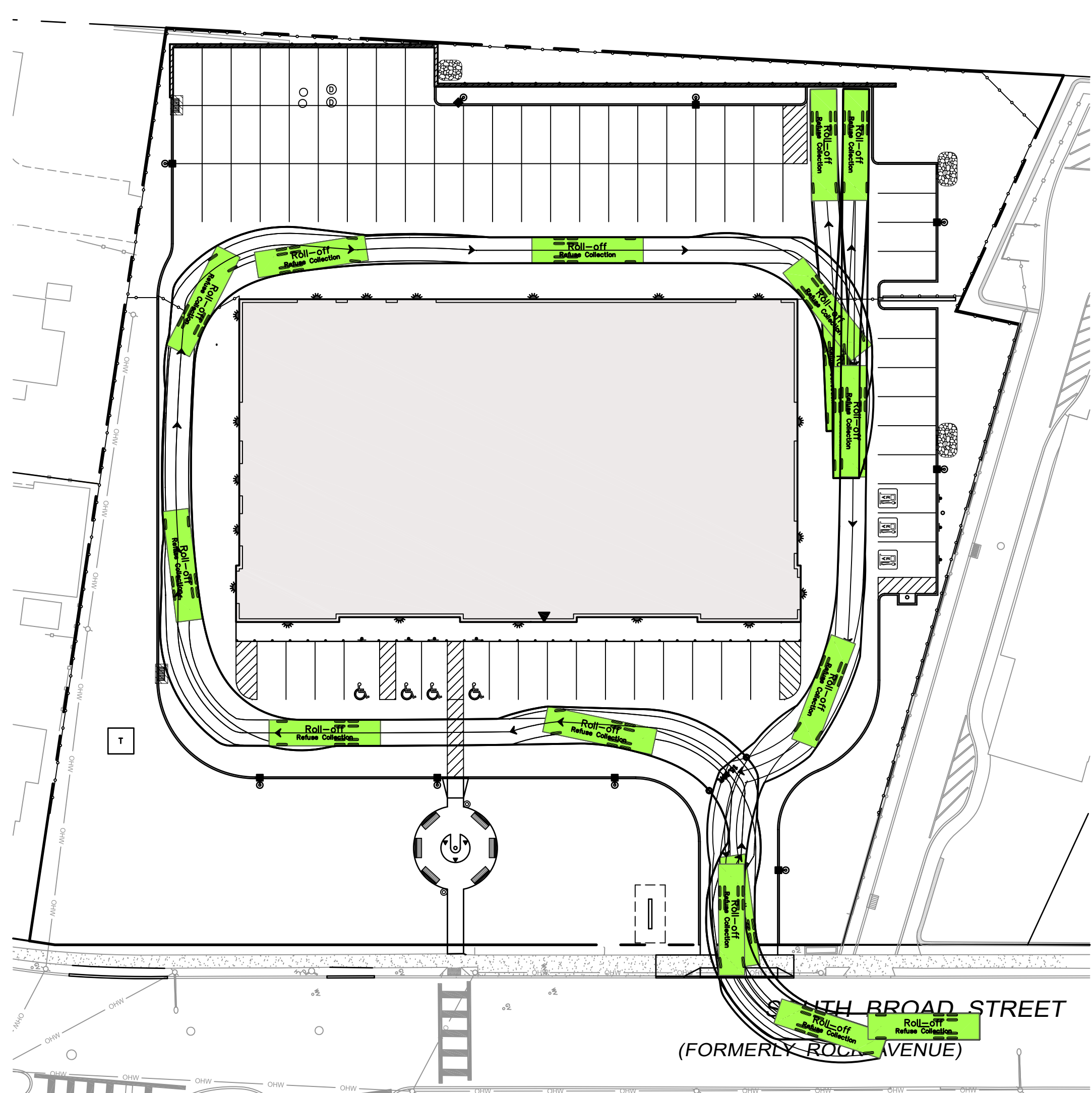
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION
24GA28068900 / 21MH00002800

DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 4

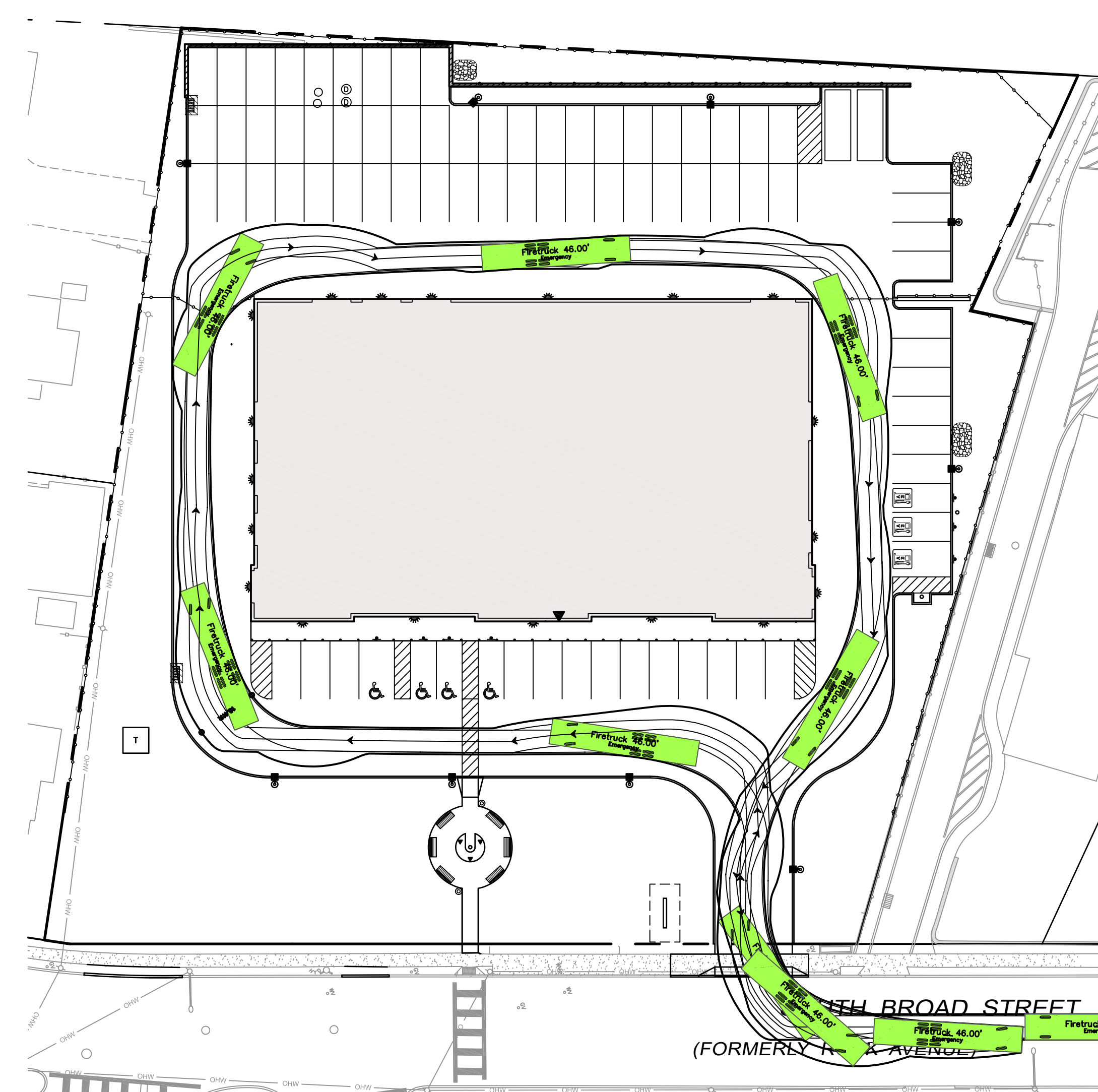
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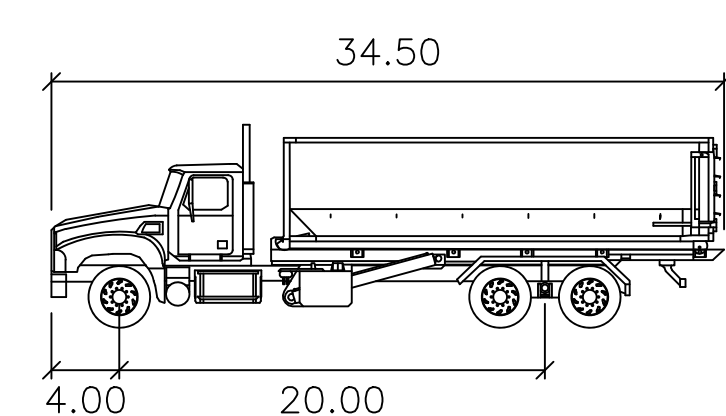
ROLL-OFF DUMPSTER TRUCK CIRCULATION PATH

SCALE: 1" = 30'



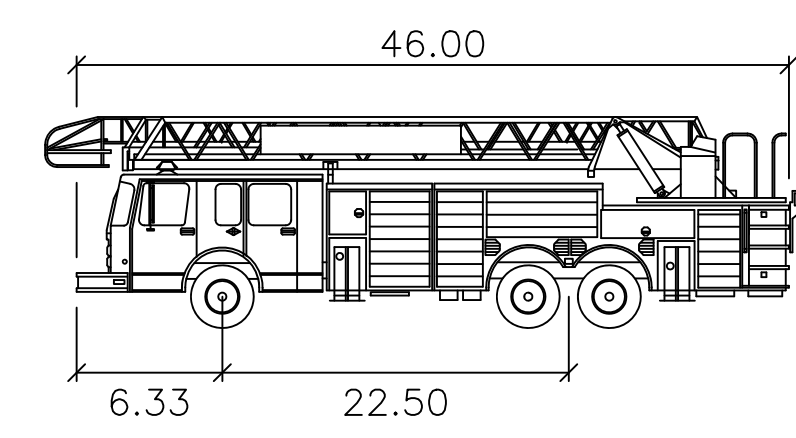
FIRETRUCK CIRCULATION PATH

SCALE: 1" = 30'



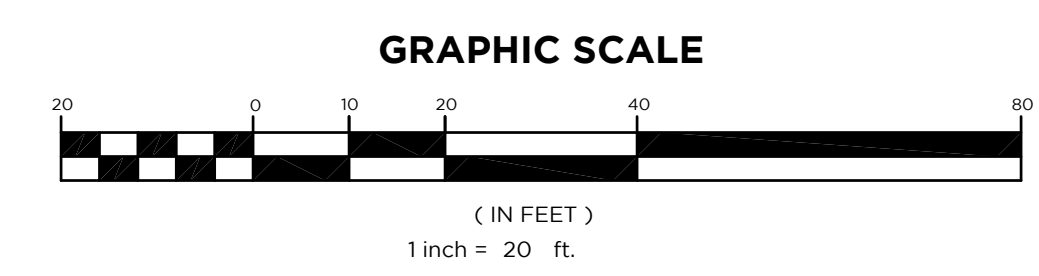
Roll-off

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



Firetruck 46.00'

	feet
Width	: 7.99
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 40.0



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SHAN-PEI FANCHIANG, P.E.
 PROFESSIONAL ENGINEER
 NJ LIC. NO. 37073 NY LIC. NO. 071209

NO.	DATE	REVISION
1	11-11-24	UPDATE PLAN PER SITE LAYOUT CHANGE

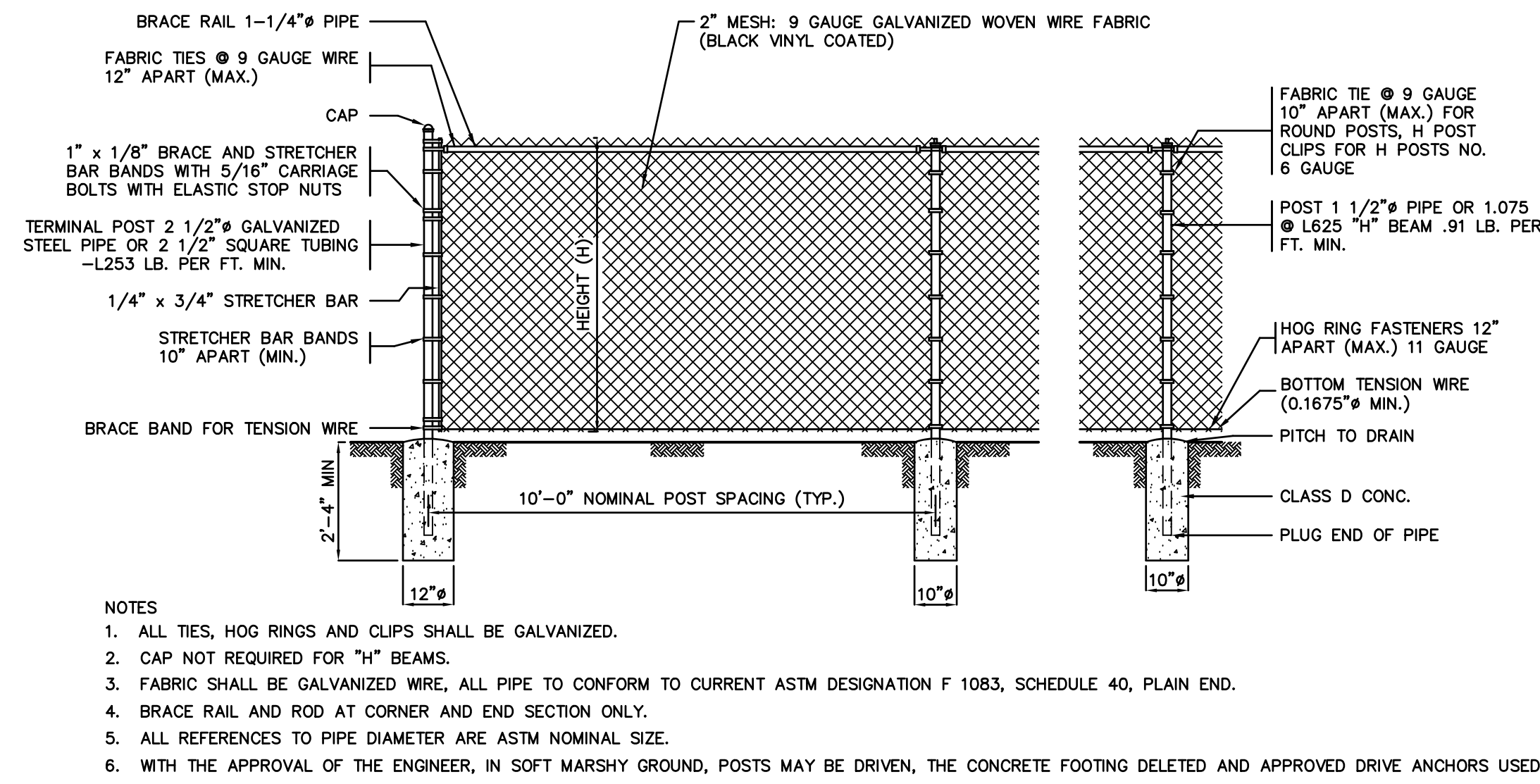
VEHICLE CIRCULATION PLANS

PROJECT
MOUNTAIN VIEW AUTO BODY
 BLOCK 3905, LOTS 12, 13 & 14
 246-264 SOUTH BROAD STREET
 VILLAGE OF RIDGEWOOD
 BERGEN COUNTY, NEW JERSEY

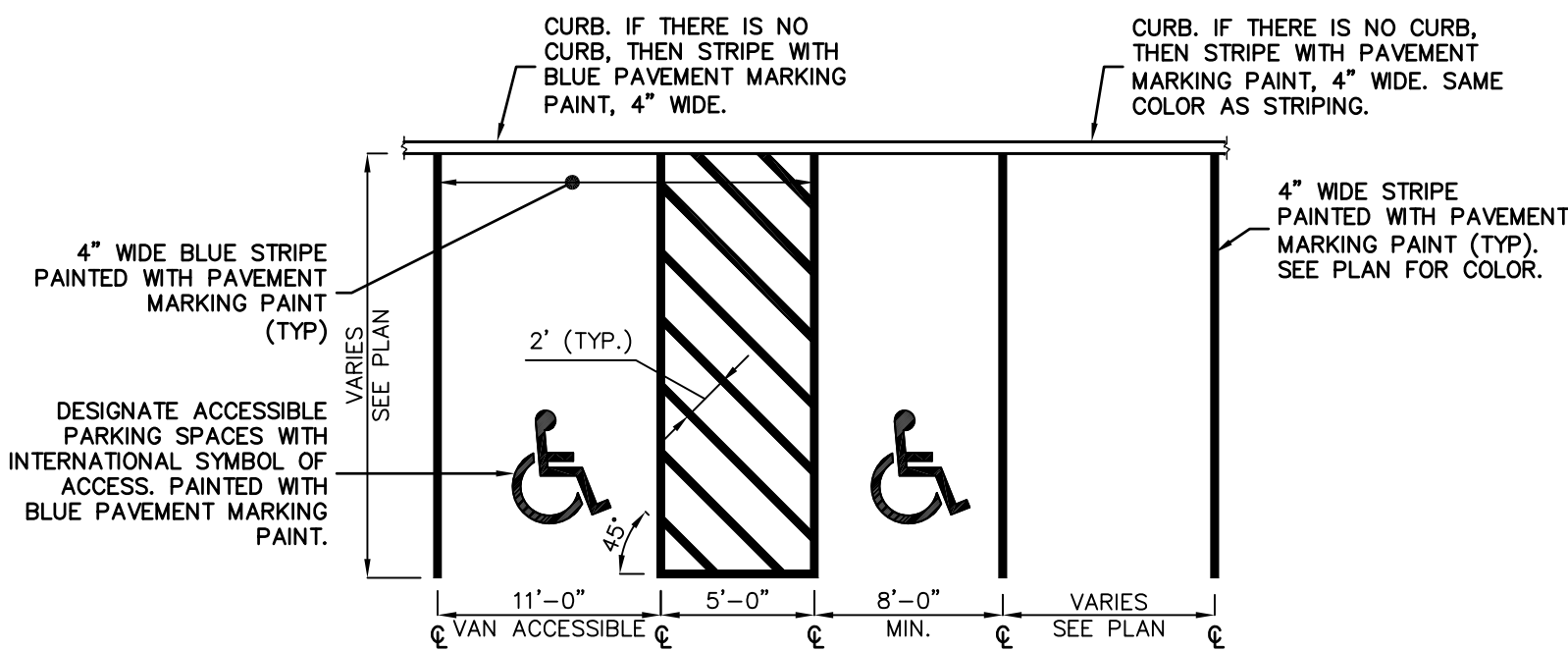
CLIENT
 MOUNTAIN VIEW AUTO
 96 NEWARK POMPTON TURNPIKE
 WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION: 24GA28068900 / 21MH00002800	
DRAWN BY J.A.S.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 7/02/24	REVISION NO. 1

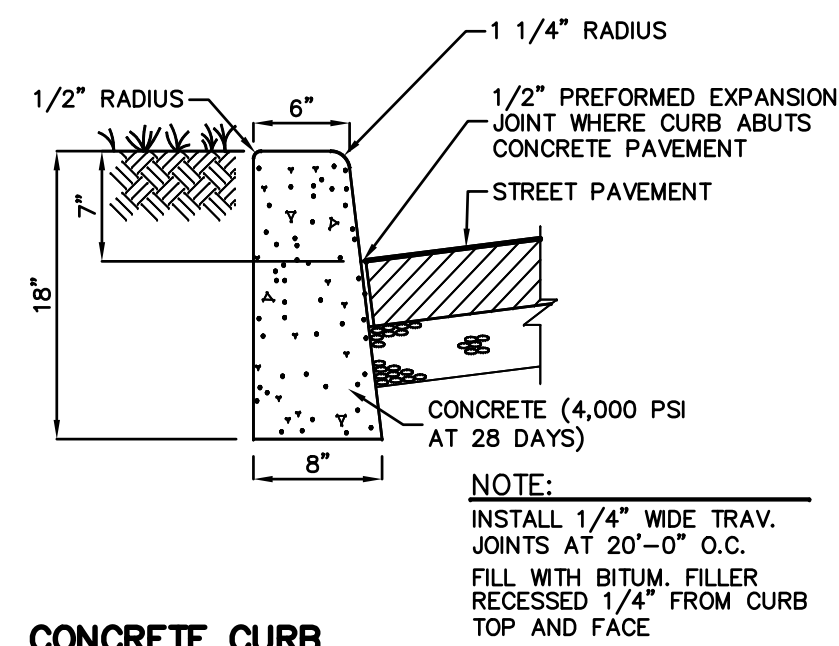
DRAWING NO. **C2.6**



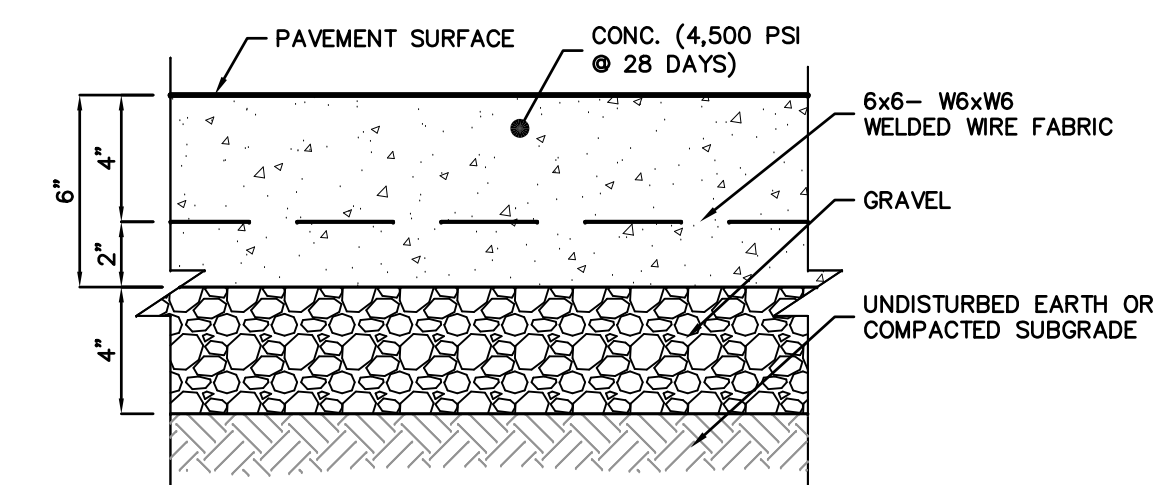
CHAIN LINK FENCE DETAIL NOT TO SCALE



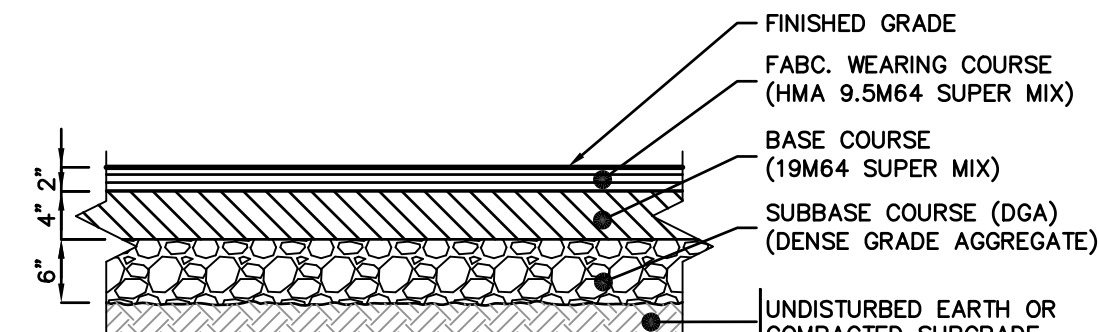
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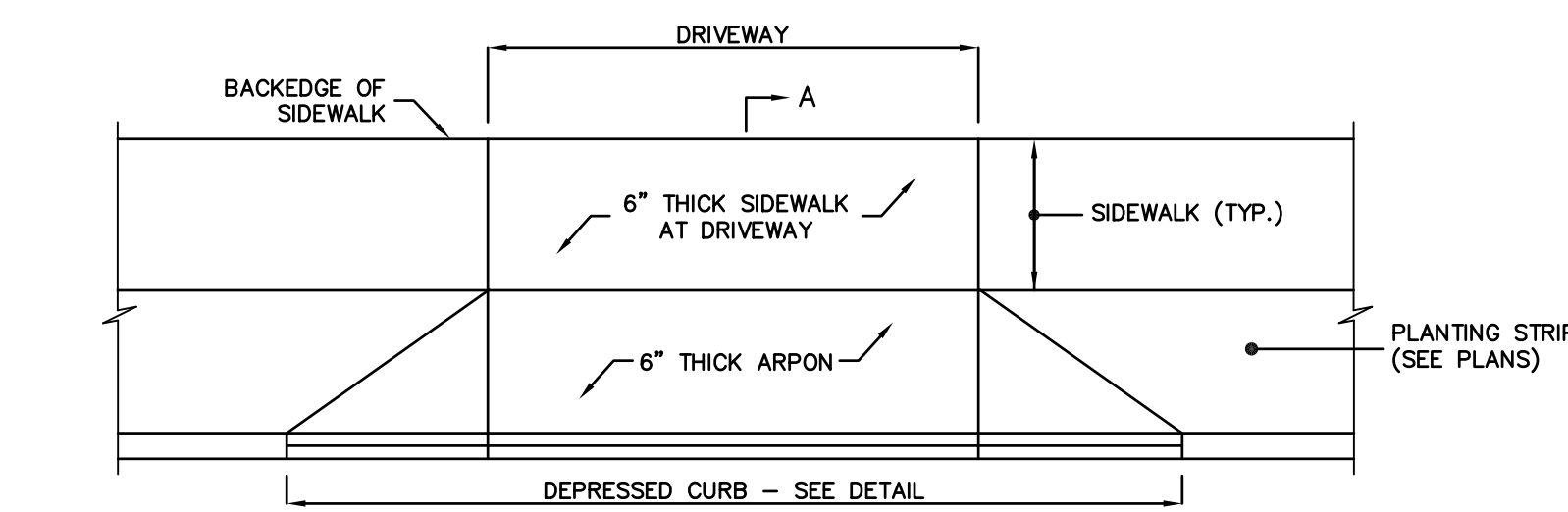
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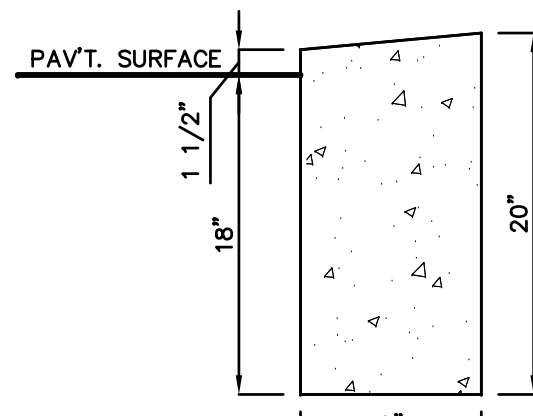
CONCRETE PAVEMENT DETAIL NOT TO SCALE



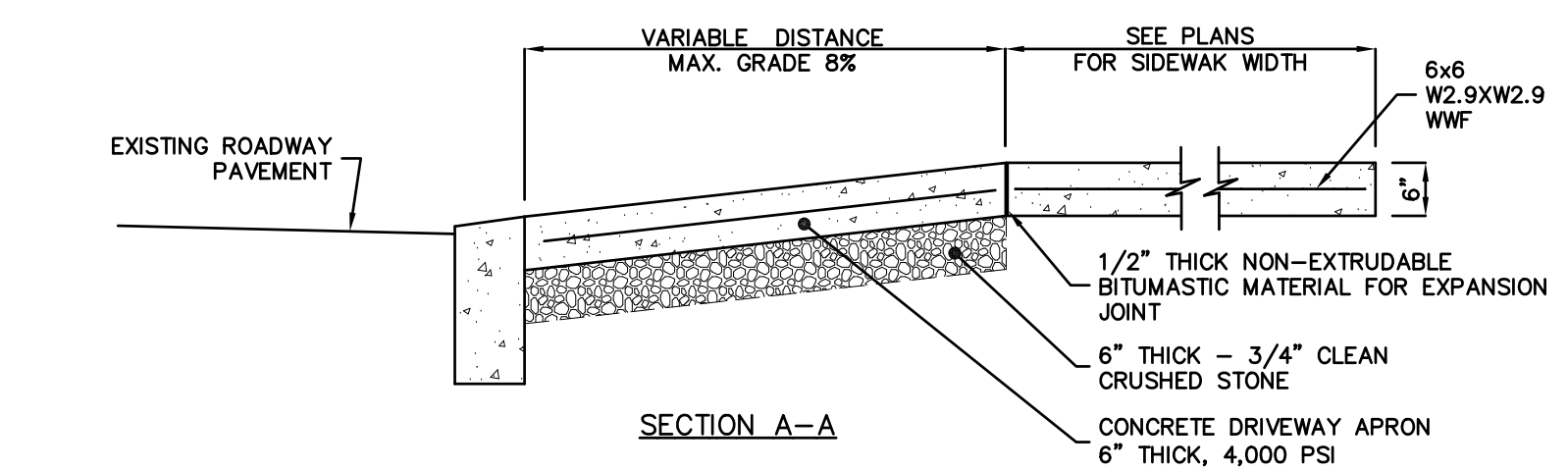
ASPHALT PAVEMENT DETAIL NOT TO SCALE



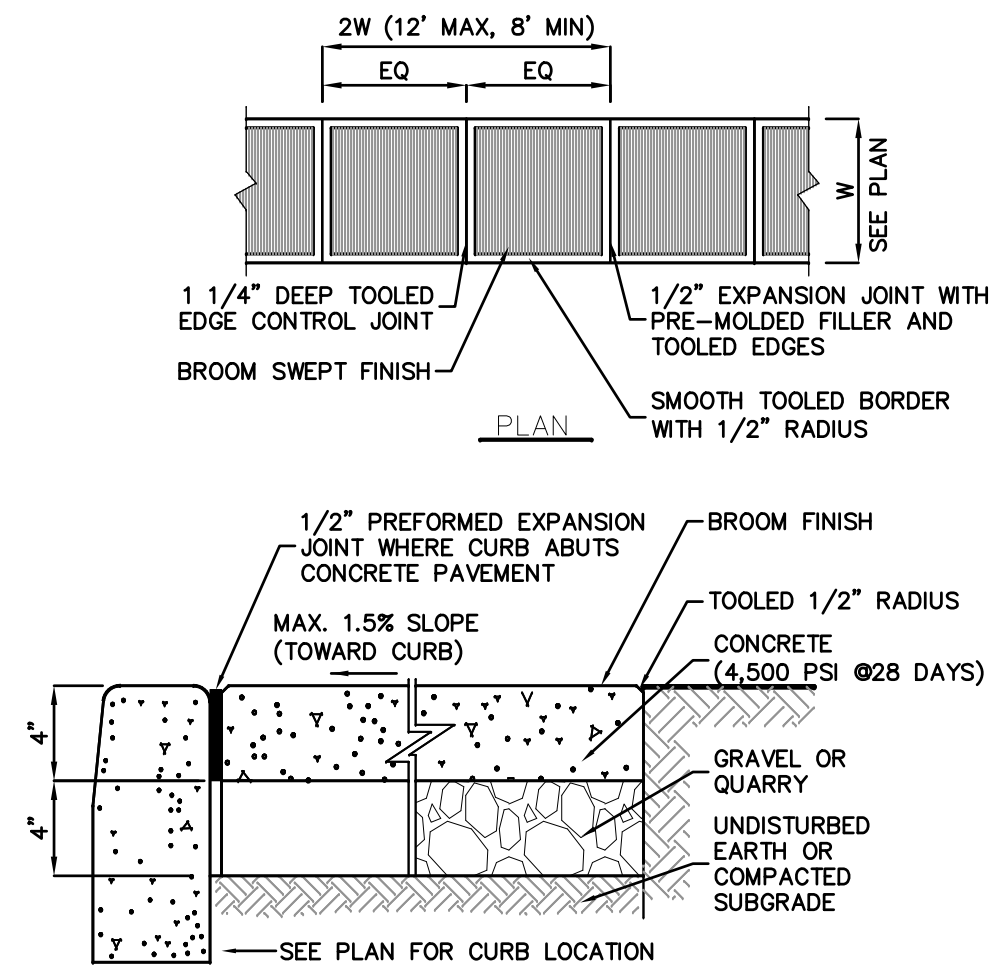
CONCRETE APRON NOT TO SCALE



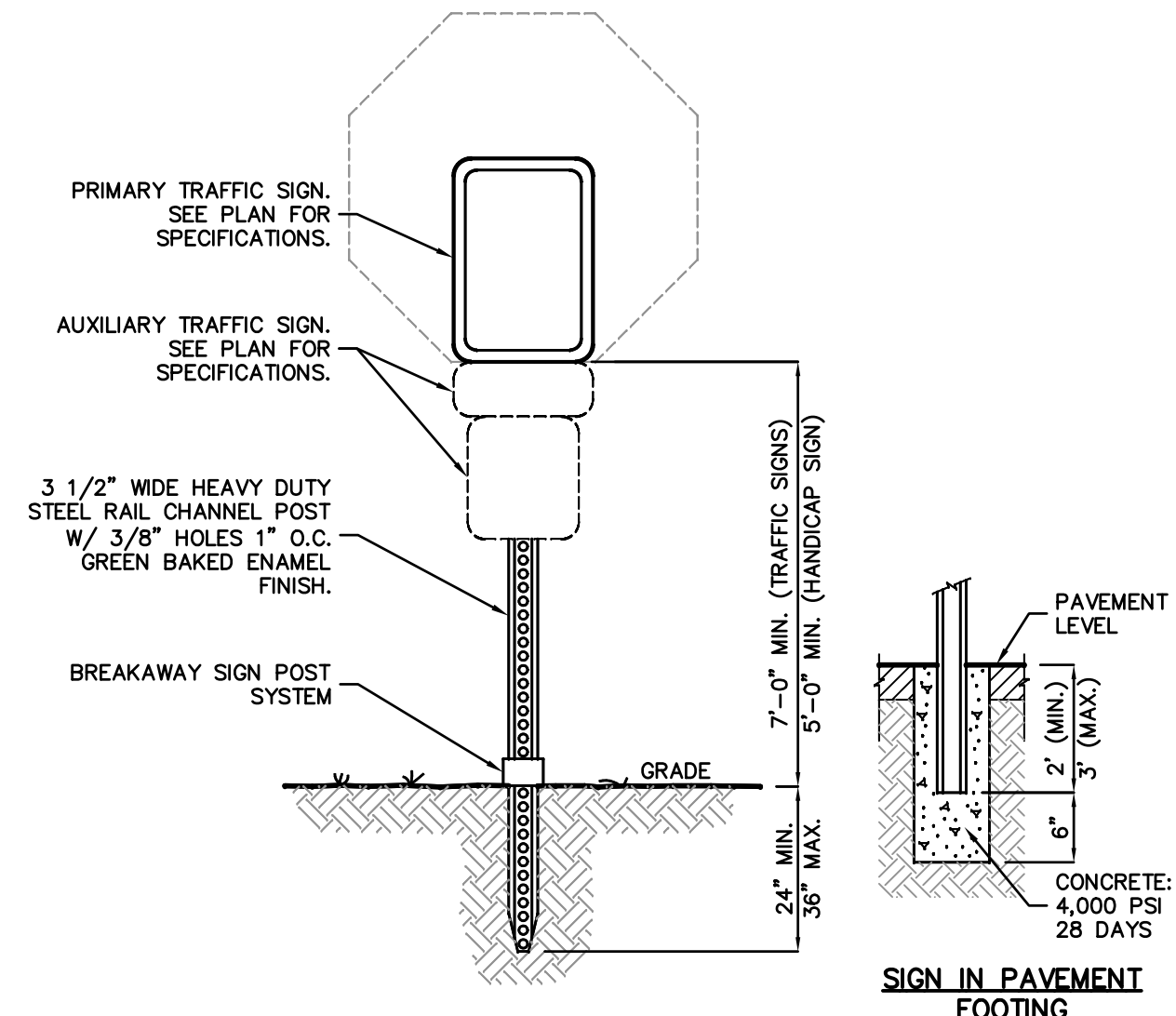
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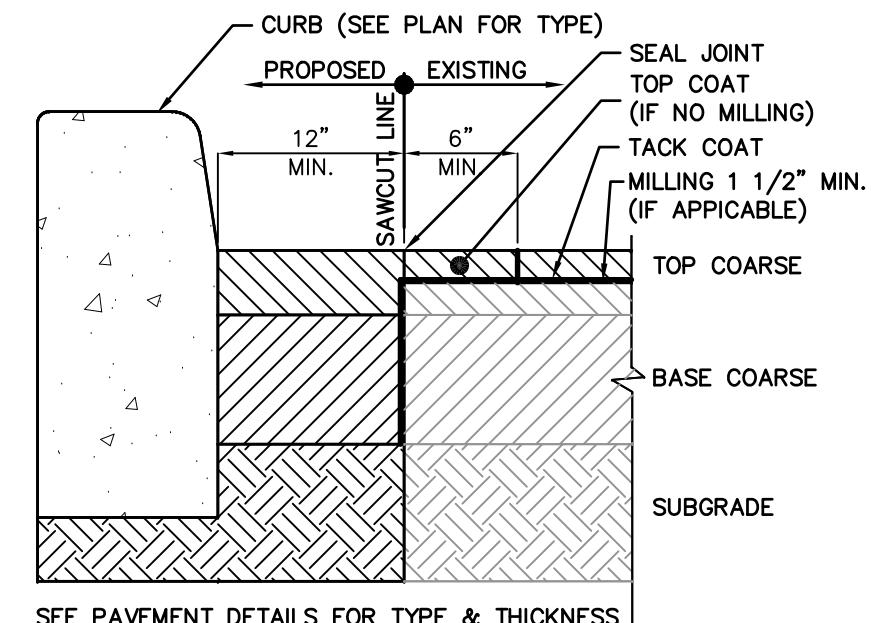
CONCRETE DRIVEWAY APRON NOT TO SCALE



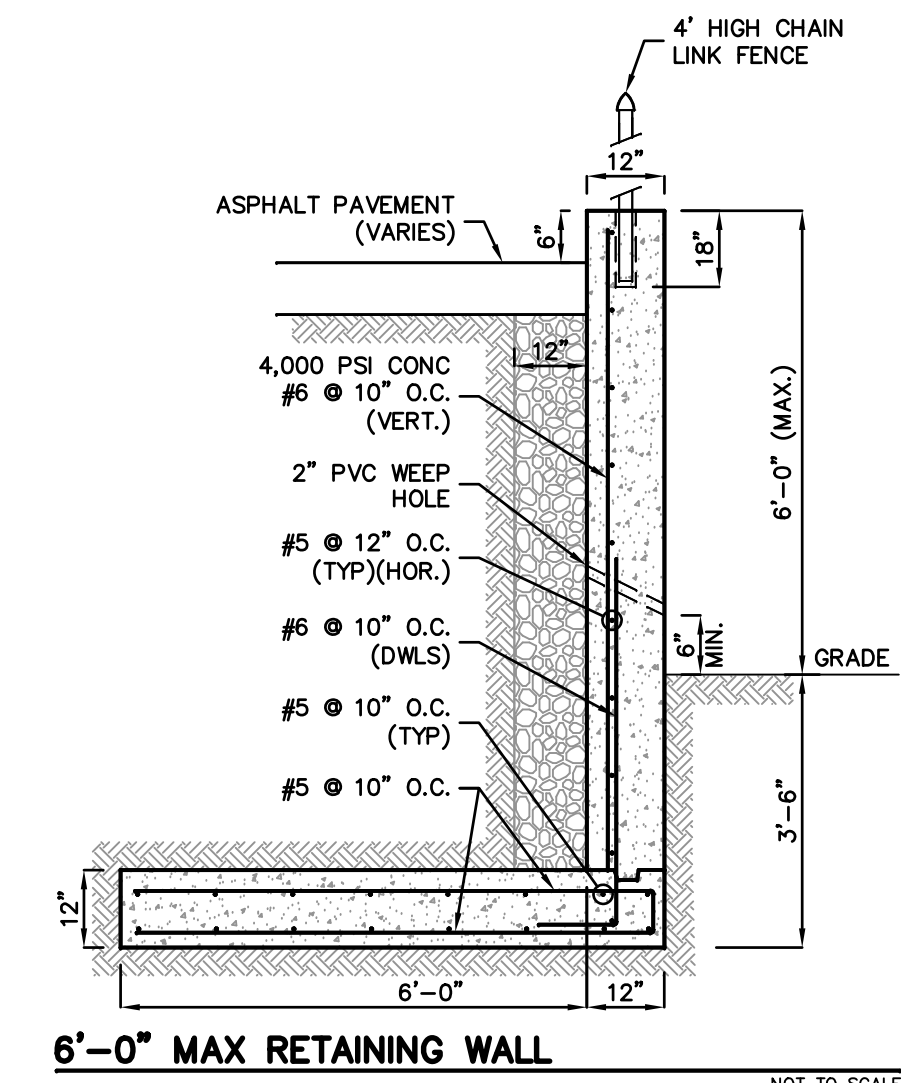
CONCRETE SIDEWALK DETAIL NOT TO SCALE



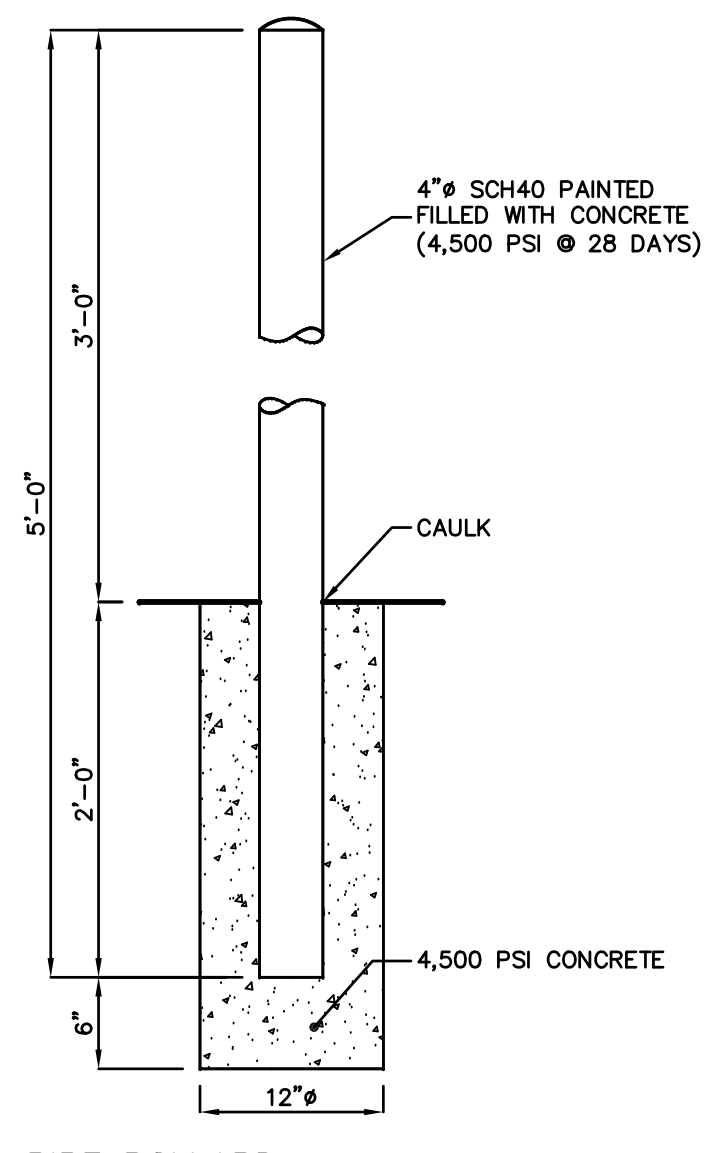
TRAFFIC SIGN DETAIL NOT TO SCALE



PAVEMENT SAWCUT DETAIL FOR NEW CURB NOT TO SCALE



6-0\"/>



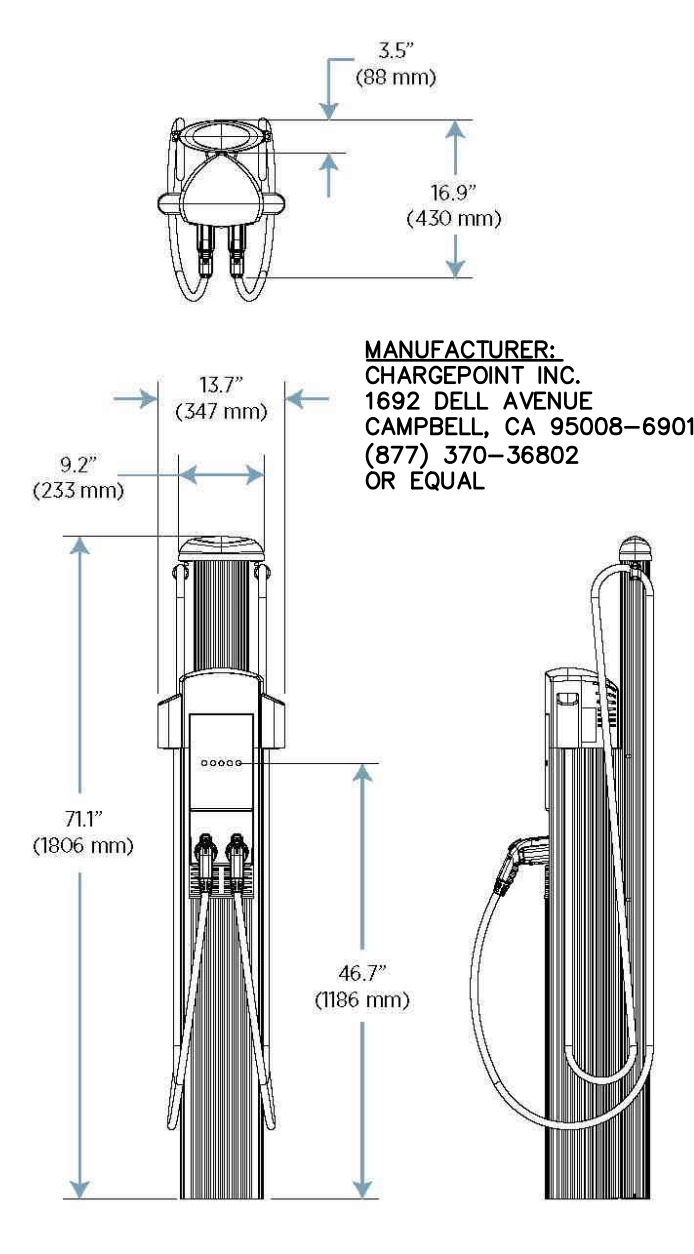
PIPE BOLLARD NOT TO SCALE

CT4000 Family
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PROFESSIONAL ENGINEER
NJ LIC. NO. 37073
NY LIC. NO. 071209

NO.	DATE	REVISION
3	11-11-24	REMOVE BERGEN COUNTY CURB DETAIL / UPDATE SITE DETAILS
2	2-11-23	REMOVE DUMPSTER WITH COVER DETAIL
1	10-20-22	ADD DUMPSTER WITH COVER DETAIL AND EV CHARGING STATION

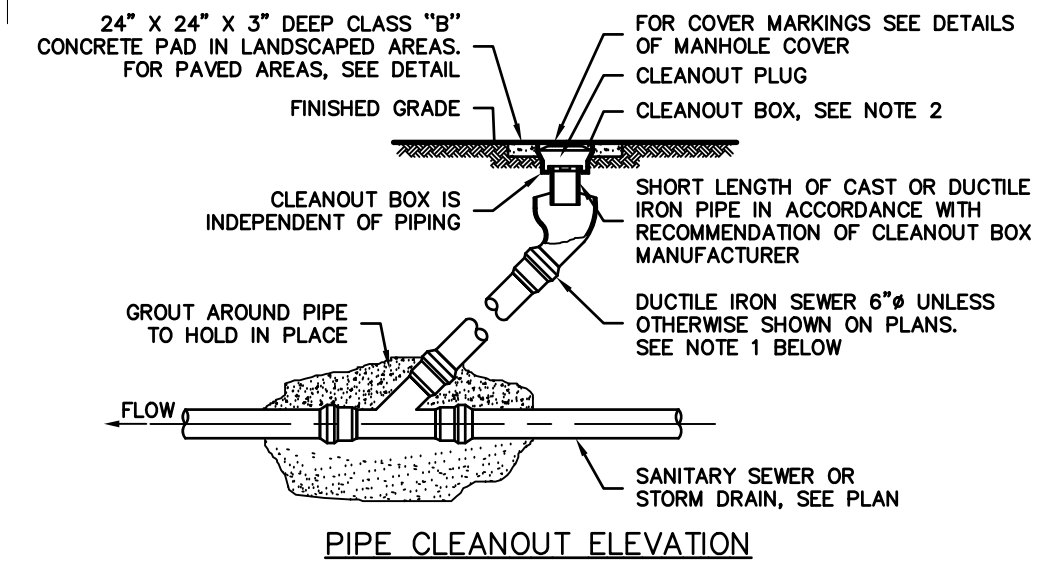
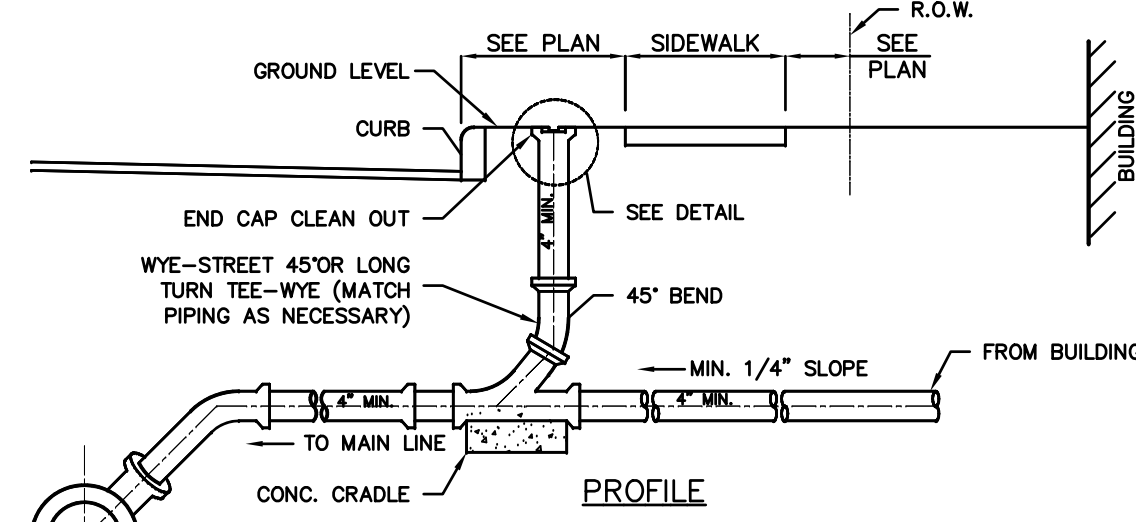
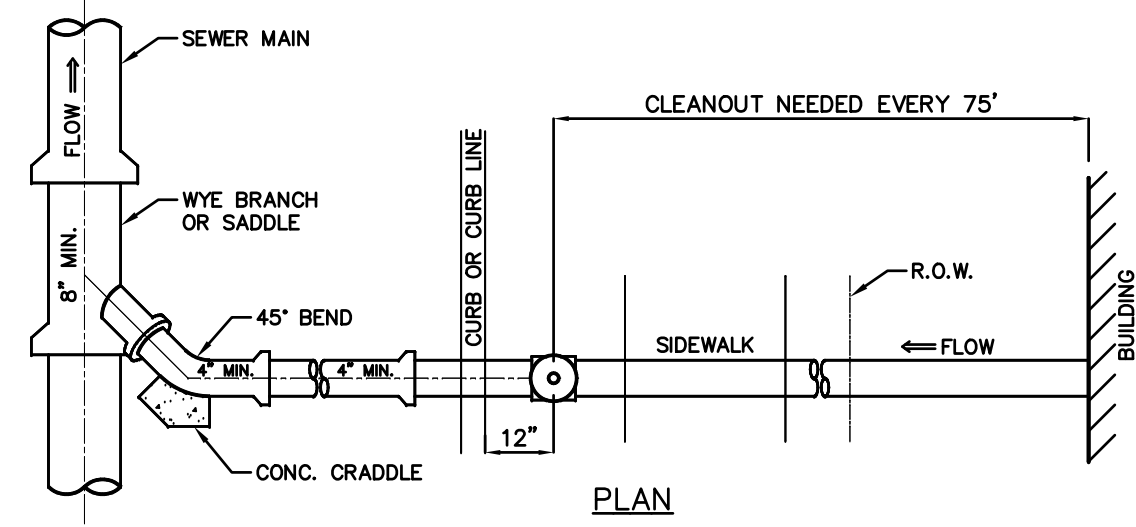
SITE DETAILS

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

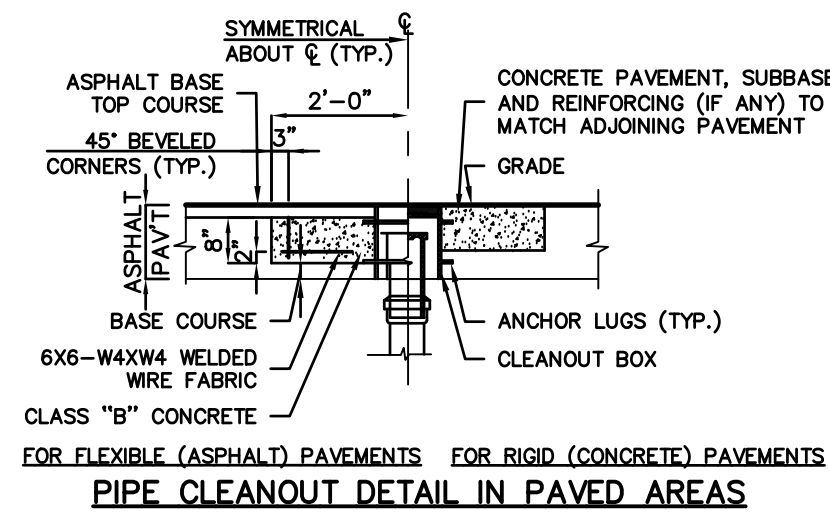
CLIENT
MOUNTAIN VIEW AUTO
96 NEWARK POMPTON TURNPIKE
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 3
DRAWING NO.	

C3.1

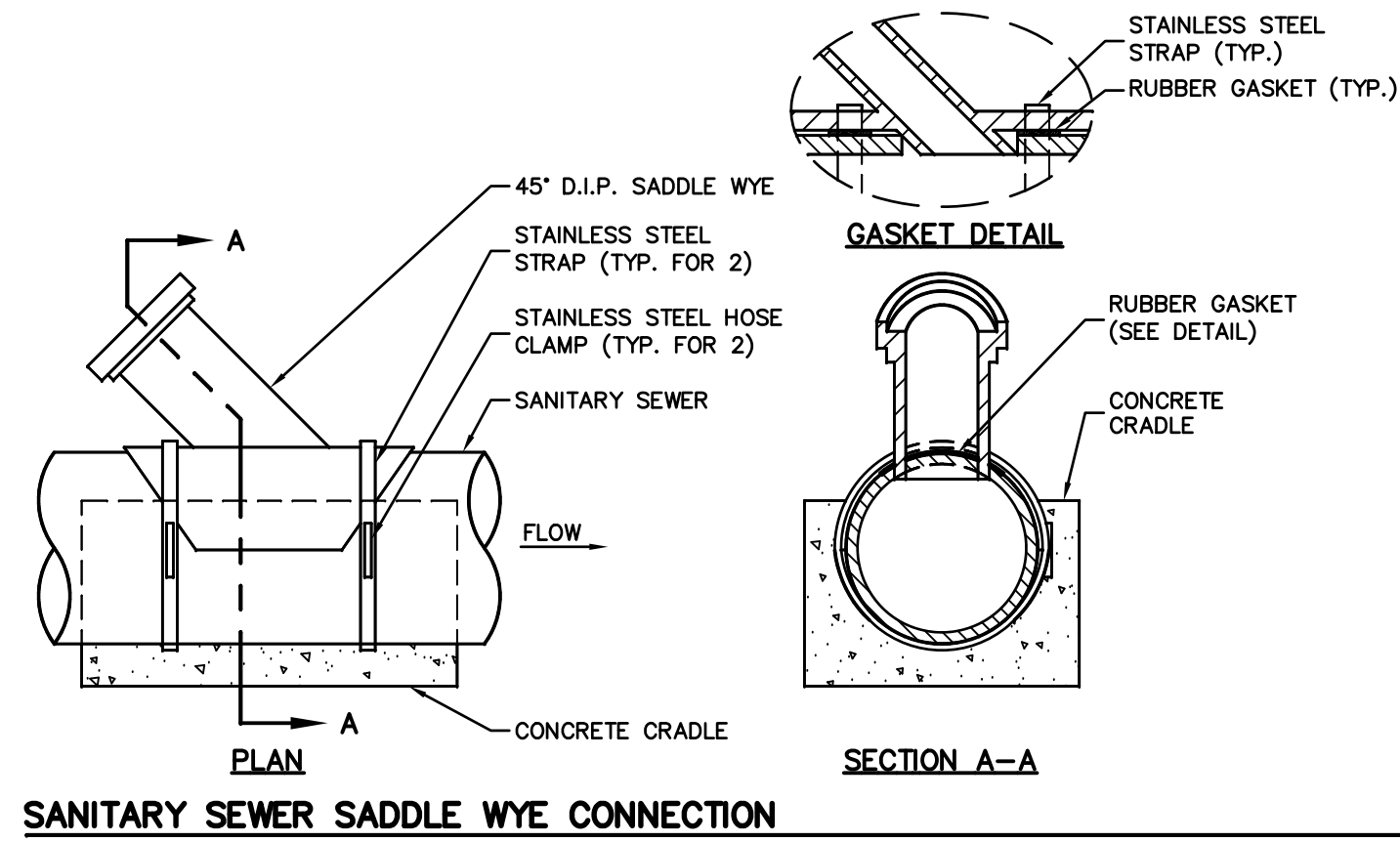


- NOTES:
- CLEANOUT PIPING ASTM A746 CLASS 50 WITH PUSH ON, GASKETED JOINTS. CONTRACTOR SHALL PROVIDE BENDS OR OTHER SPECIAL FITTINGS FOR UNDERGROUND PIPING AS REQUIRED TO FOLLOW ALIGNMENT SHOWN ON PLAN AND TO CONNECT TO SEWER OR DRAIN.
 - HEAVY DUTY CAST IRON FRAME AND COVER DESIGNED FOR HS25 HIGHWAY LOADING. SUBMIT DETAILS FOR APPROVAL.



- NOTES:
- SEE PLAN FOR PIPE SIZES, SLOPE AND LOCATIONS.
 - MAINTAIN 1 1/2 INCH SLOPE. USE 2% SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN.
 - CLEANOUTS TO BE AS SHOWN ON PLAN, BUT NOT GREATER THAN 75' O.C. FOR 4" LATERAL.

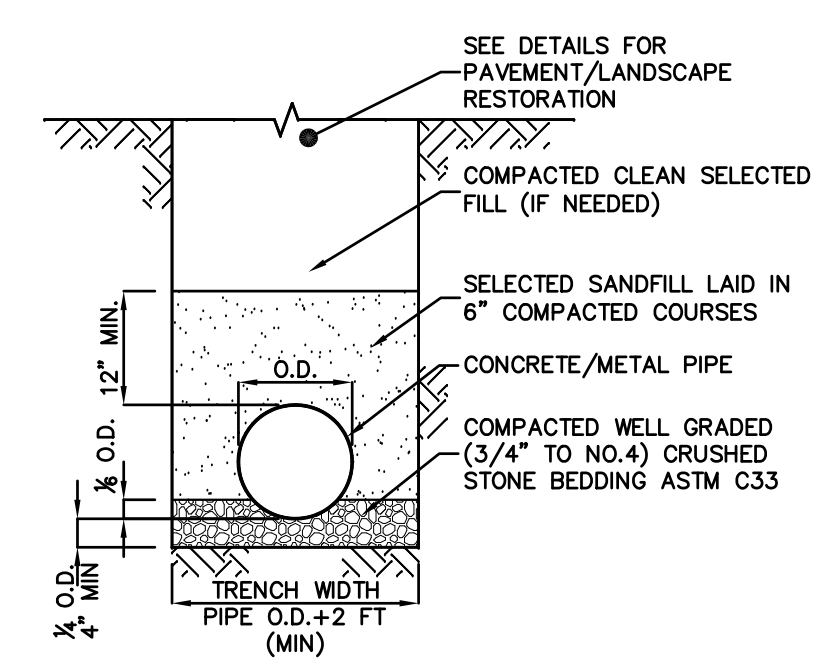
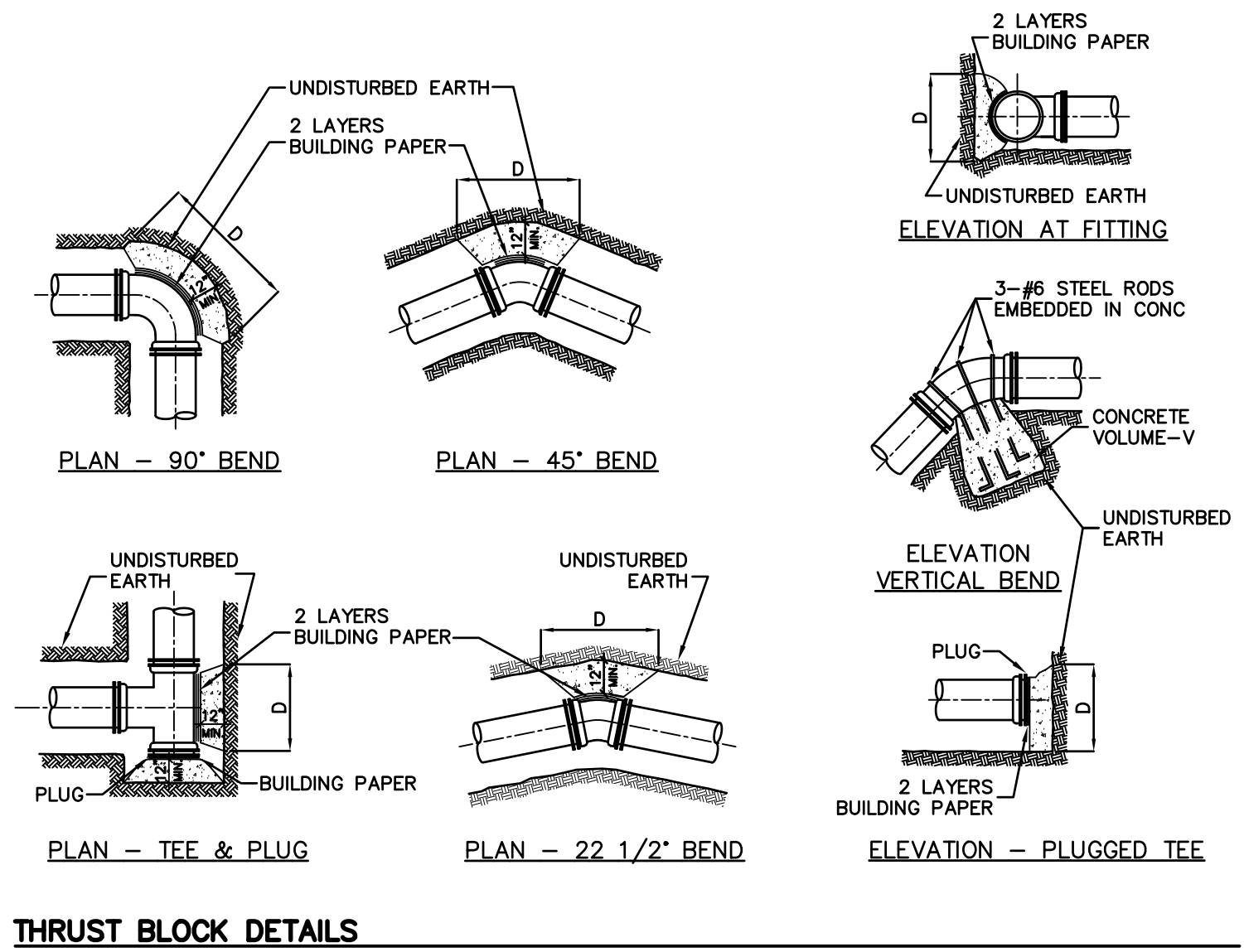
BUILDING SEWER CONNECTION AND CLEANOUT DETAIL



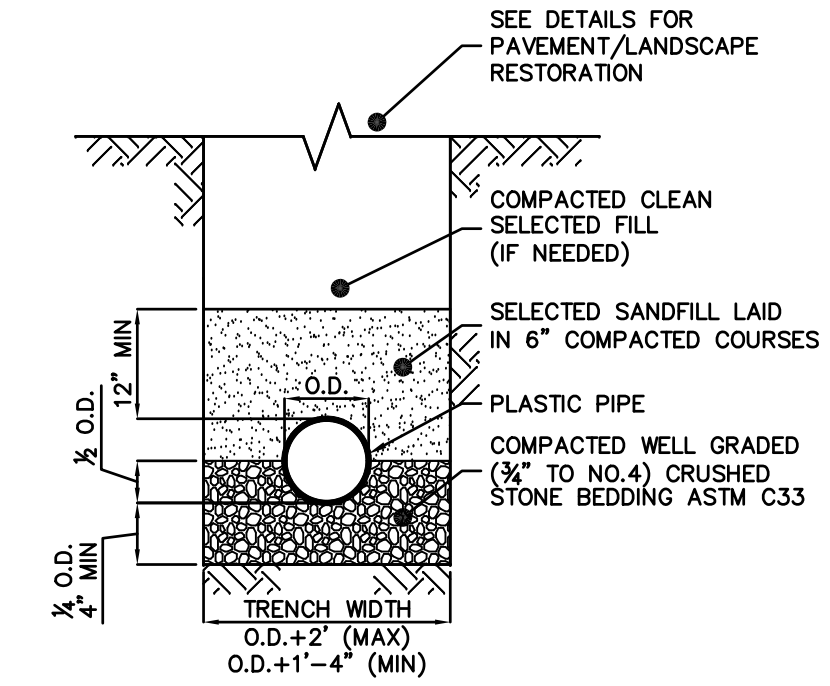
PIPE DIAMETER (ø)	CONTACT BEARING AREA OF BLOCK WITH EARTH, SQUARE FEET					
	5'-22.5"	23'-45"	46'-90"	TEE CONNECTION	45° WYE	PLUG
4"	0.5	1.4	2.6	1.8	2.2	2.0
6"	1.5	3.0	6.0	4.0	4.5	4.5
8"	2.5	5.0	9.5	6.5	9.5	8.0
10"	4.1	8.0	13.0	9.5	12.5	12.5
12"	5.5	11.5	19.0	13.5	16.0	18.0
16"	9.0	18.0	33.0	23.0	27.0	32.0
20"	14.0	28.0	51.0	36.0	42.0	50.5

- NOTES:
- BEARING AREA ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 1,000 POUND PER SQUARE FOOT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.
 - ALL CONCRETE THRUST BLOCKS SHALL BE CLASS "B".
 - THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.
 - NO JOINT SHALL BE COVERED WITH CONCRETE.
 - APPROVED MECHANICAL JOINT RESTRAINTS ARE REQUIRED AT ALL VERTICAL BENDS AND MAY BE USED IN LIEU OF THRUST BLOCK AT HORIZONTAL BENDS AT THE OPTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
 - A BITUMASTIC COATING SHALL BE APPLIED TO ALL BOLTS, NUTS, WASHERS, RODS, THRUST RESTRAINT BOLTS AND ALL UNCOATED HARDWARE.
 - 6 MIL POLY SHEATING SHALL BE PLACED BETWEEN FITTINGS AND CONCRETE THRUST BLOCKS.

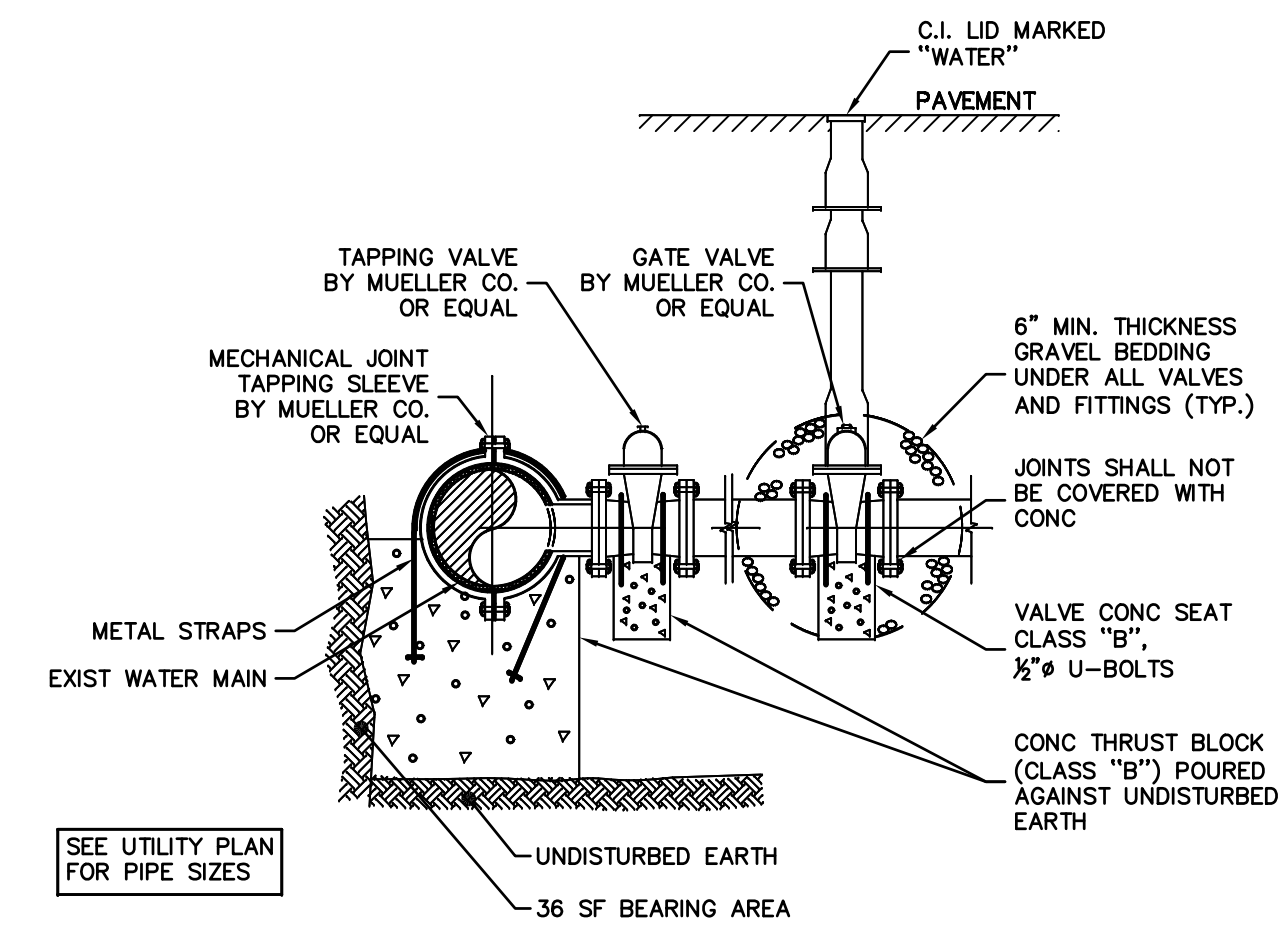
THRUST BLOCK SCHEDULE



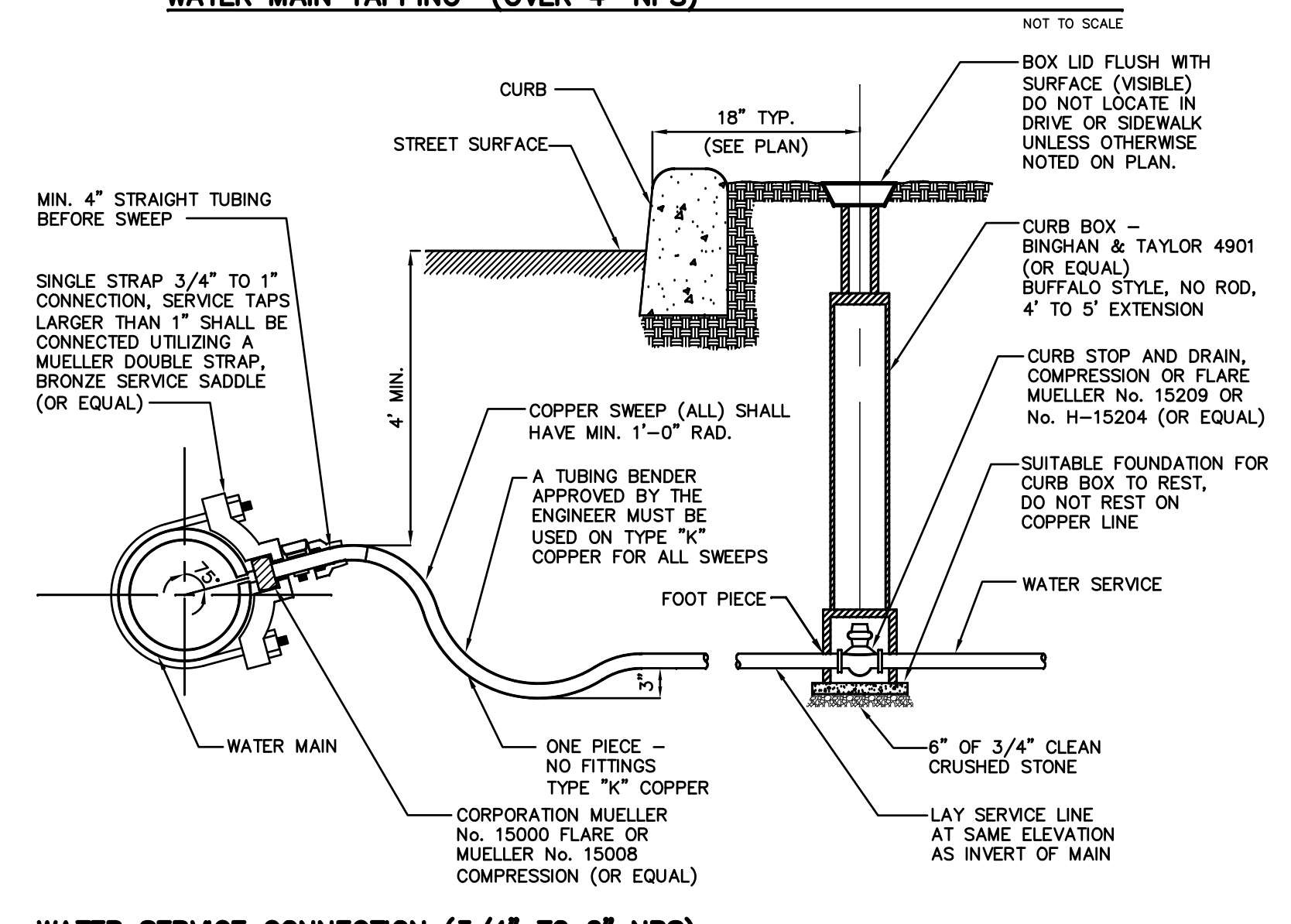
CONCRETE/METAL PIPE IN TRENCH DETAIL



PLASTIC PIPE IN TRENCH



WATER MAIN TAPPING (OVER 4" NPS)



WATER SERVICE CONNECTION (3/4" TO 2" NPS)

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NY LIC. NO. 071209

Shan-Pei Fanchiang

UTILITY DETAILS

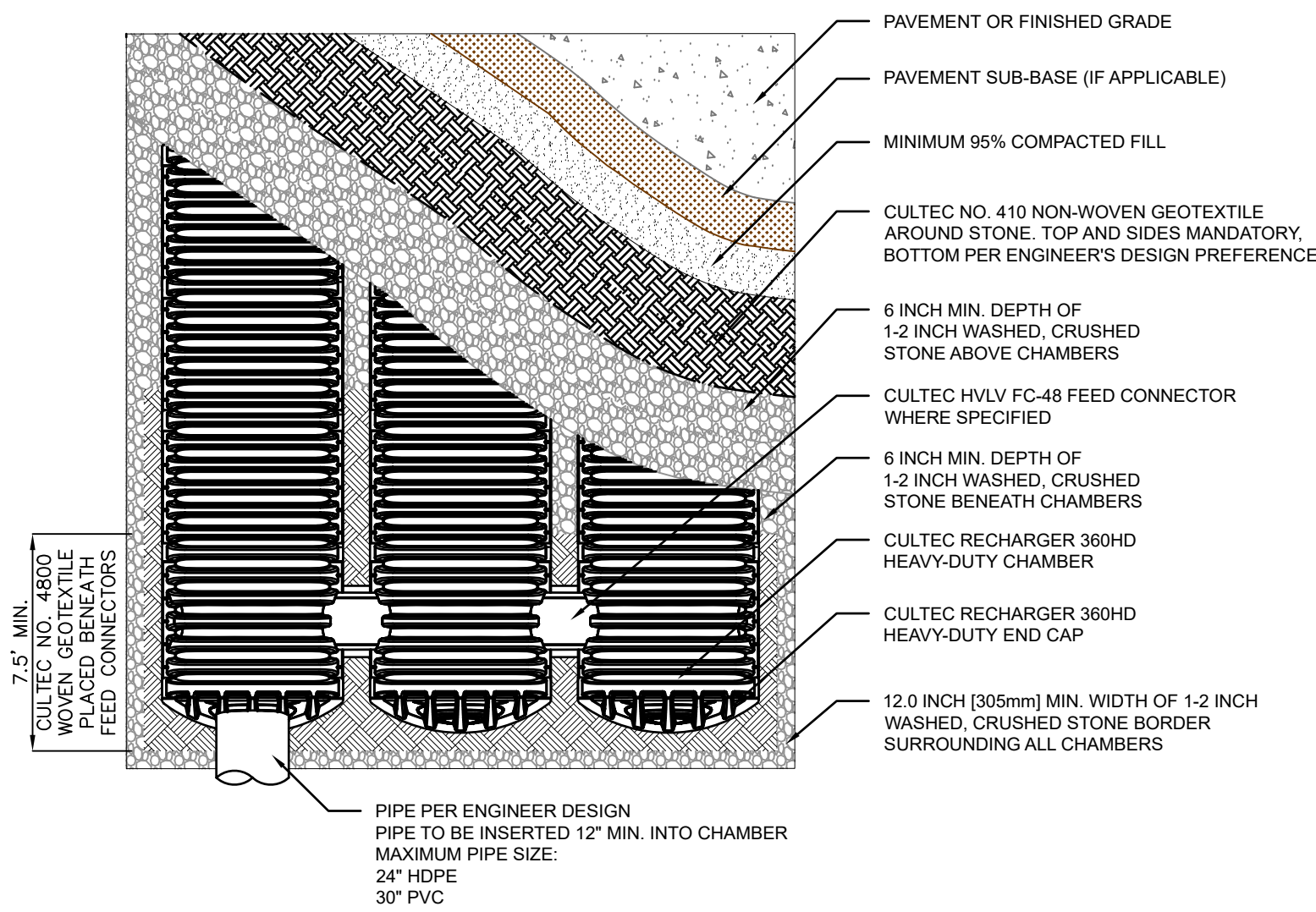
MOUNTAIN VIEW AUTO BODY

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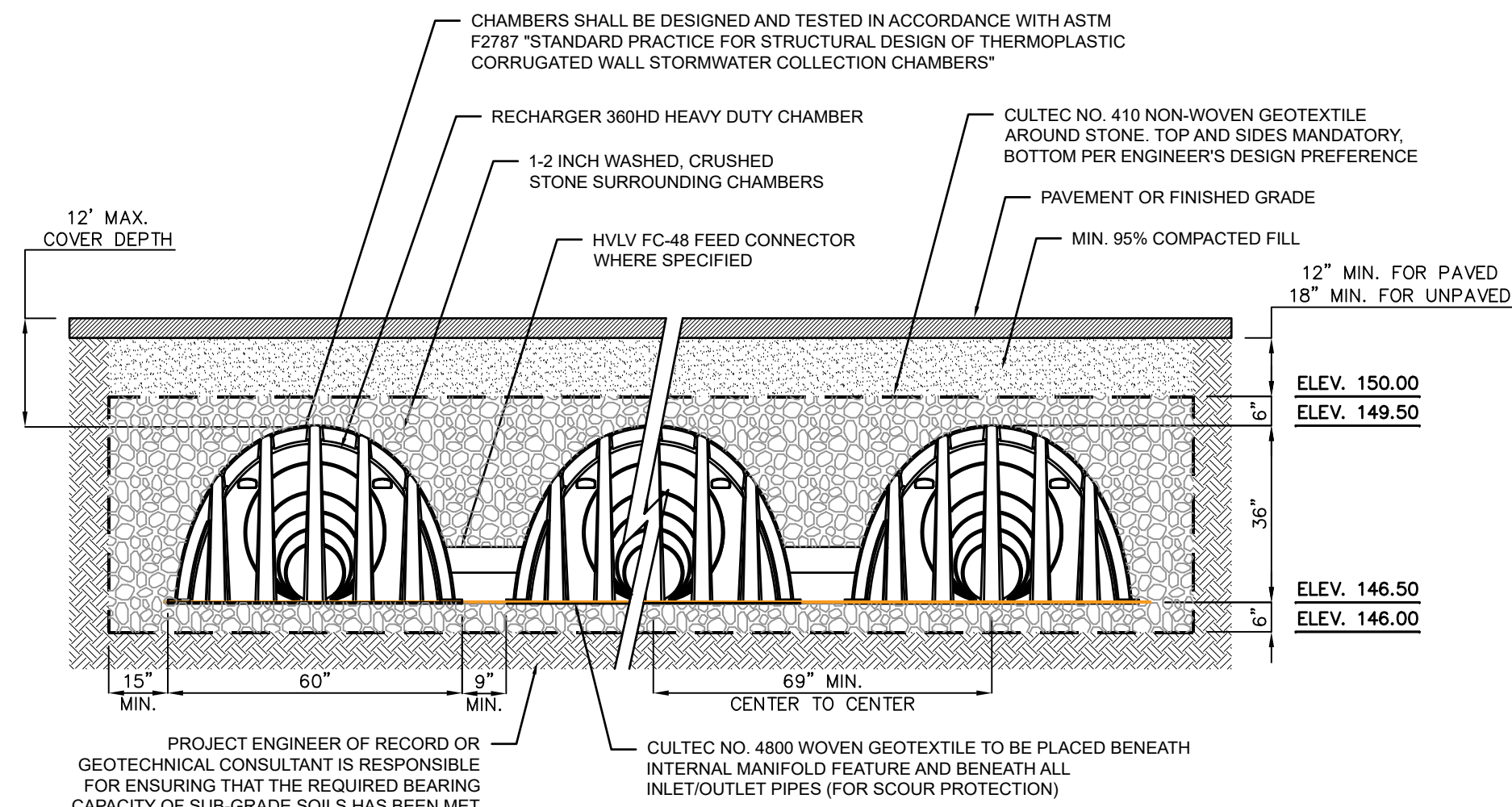
CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH0002800	
DRAWN BY: M.B.L.	CHECKED BY: S.P.F.
SCALE: AS SHOWN	PROJECT NO.: 22-146
DATE: 6-13-22	REVISION NO.: 0

C3.2



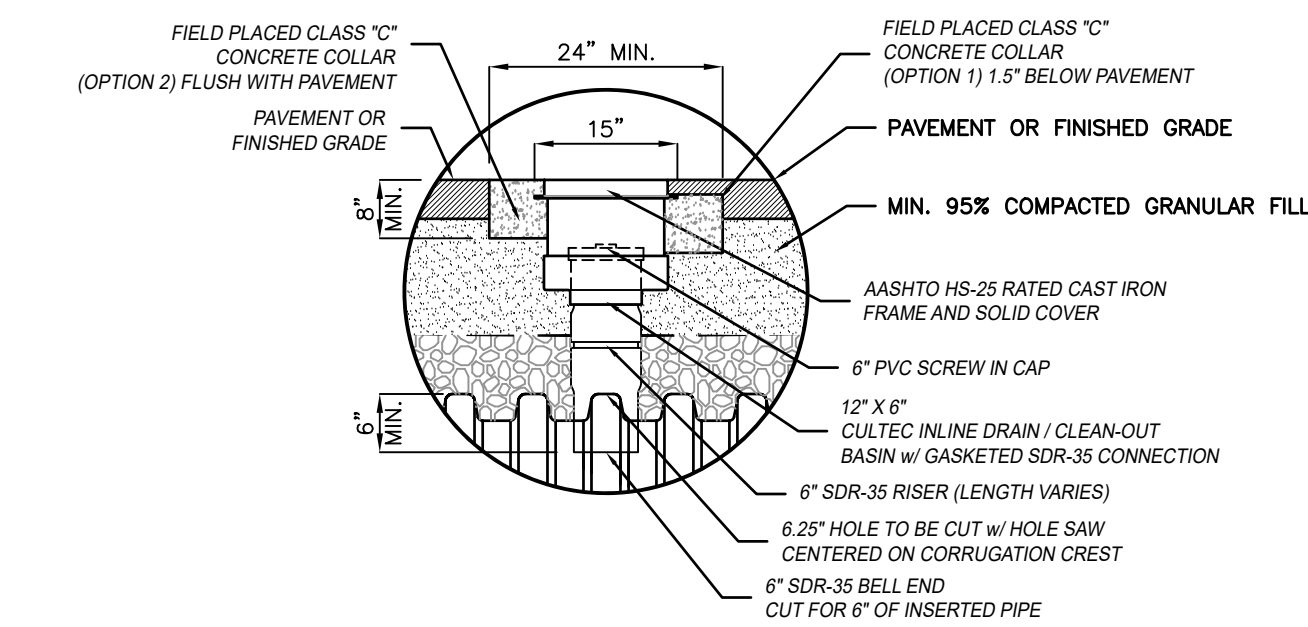
CULTEC RECHARGER 360HD PLAN VIEW

NOT TO SCALE



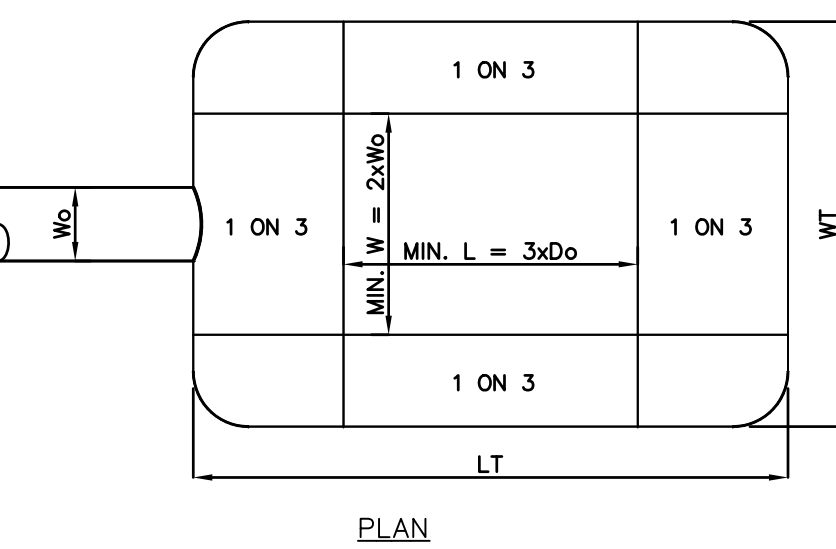
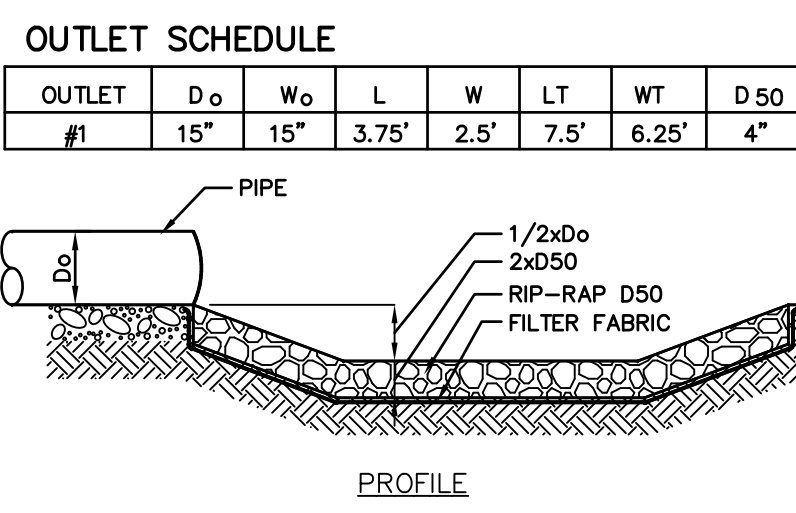
CULTEC RECHARGER 360HD TYPICAL CROSS SECTION

NOT TO SCALE



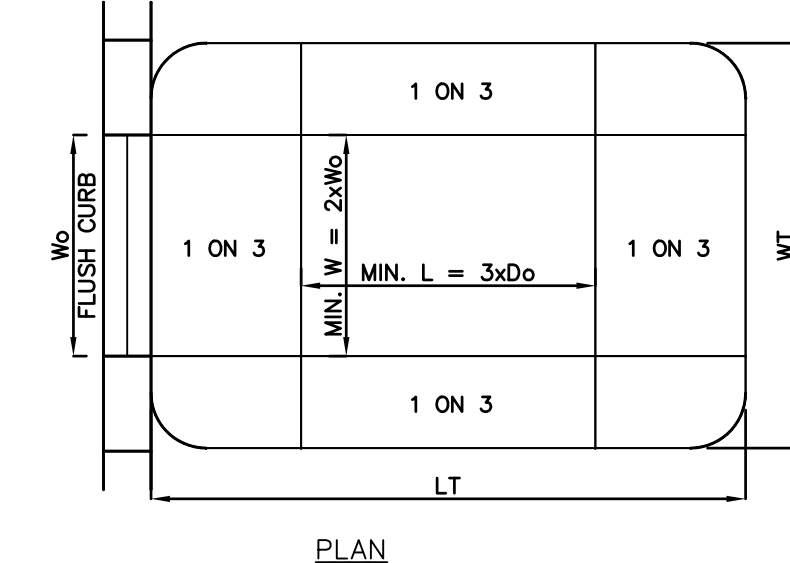
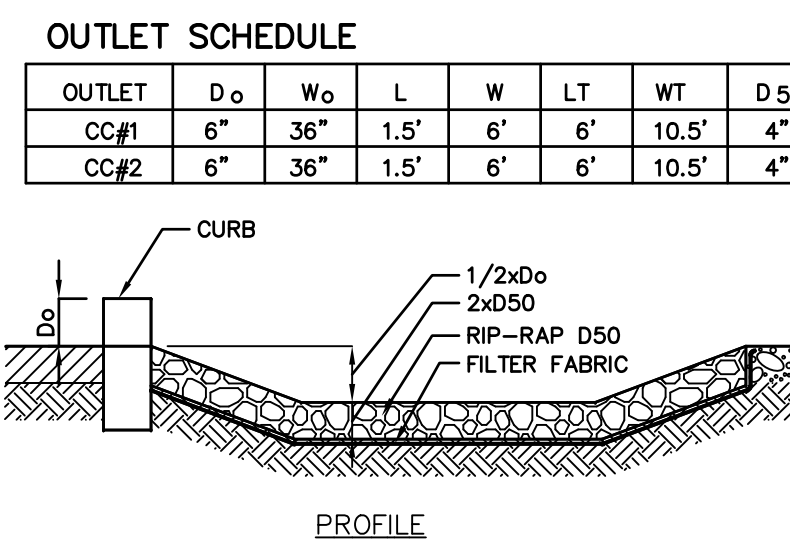
INSPECTION PORT DETAIL

NOT TO SCALE



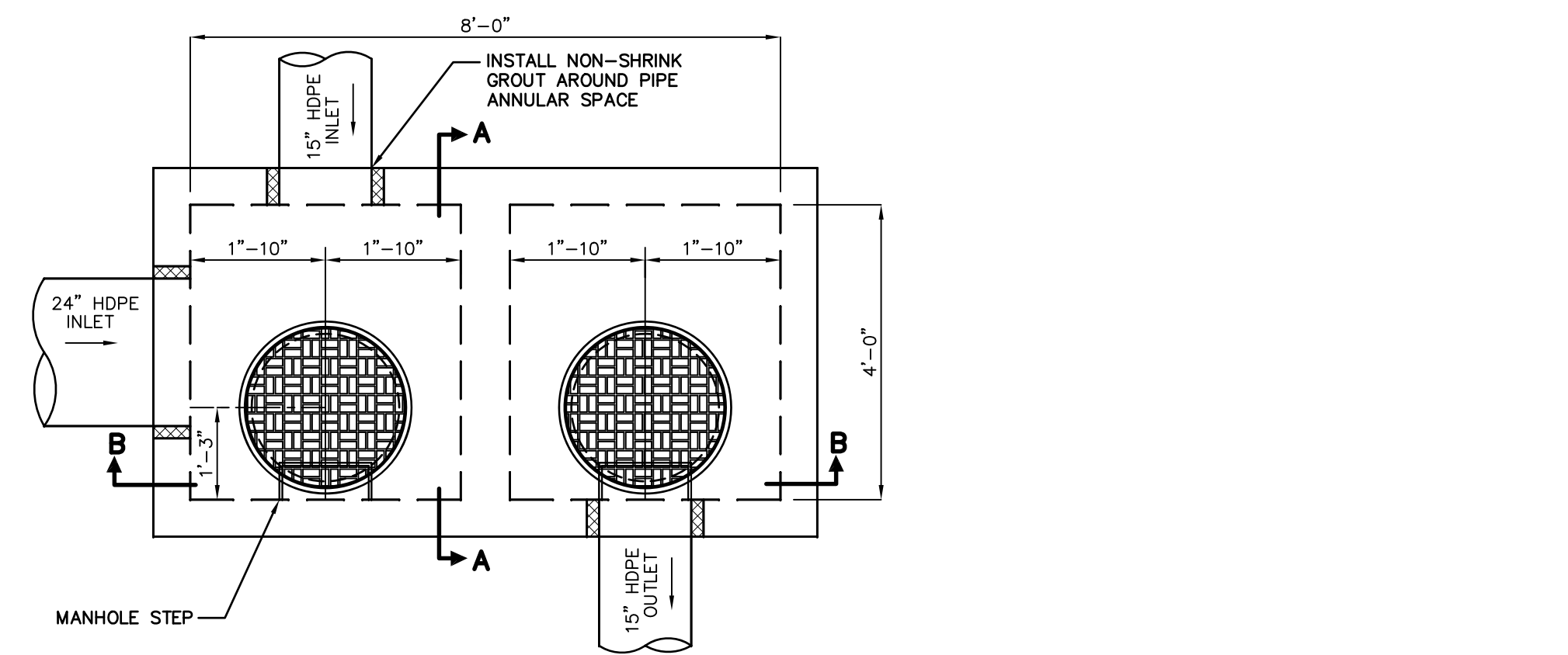
PREFORMED SCOUR HOLE DETAIL

NOT TO SCALE

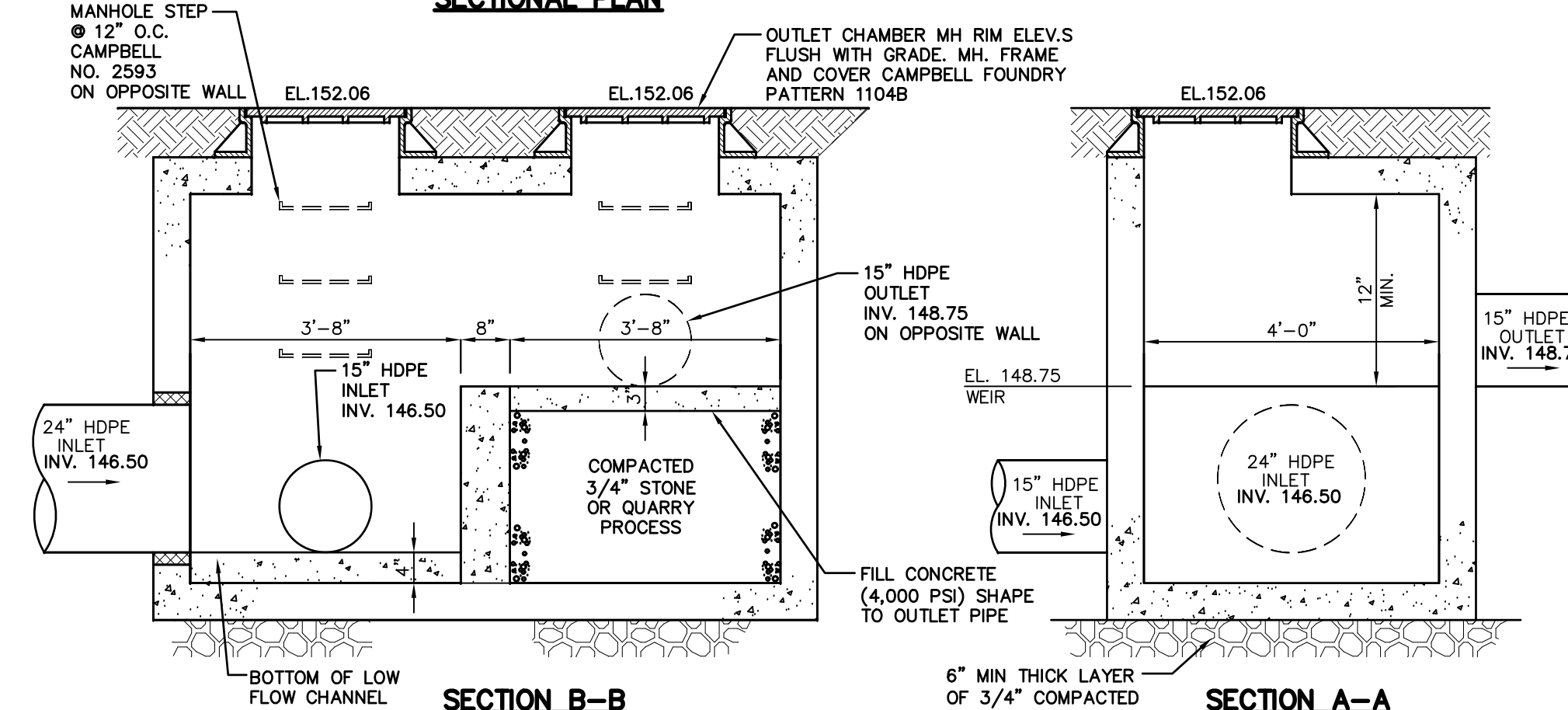


PREFORMED SCOUR HOLE DETAIL (AT CURB CUT)

NOT TO SCALE

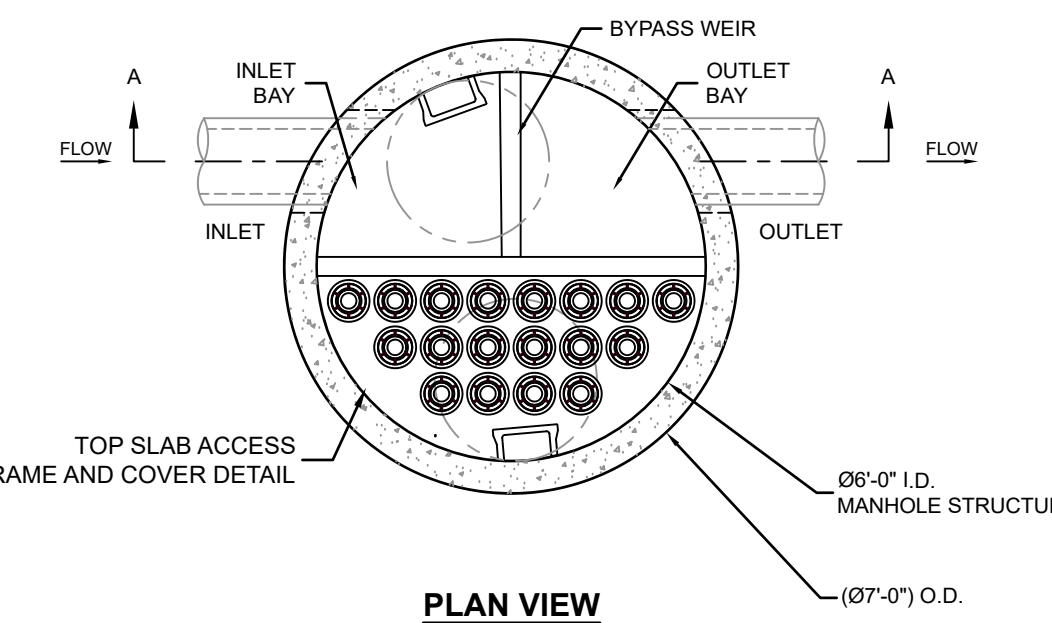


SECTIONAL PLAN



OUTLET CONTROL STRUCTURE

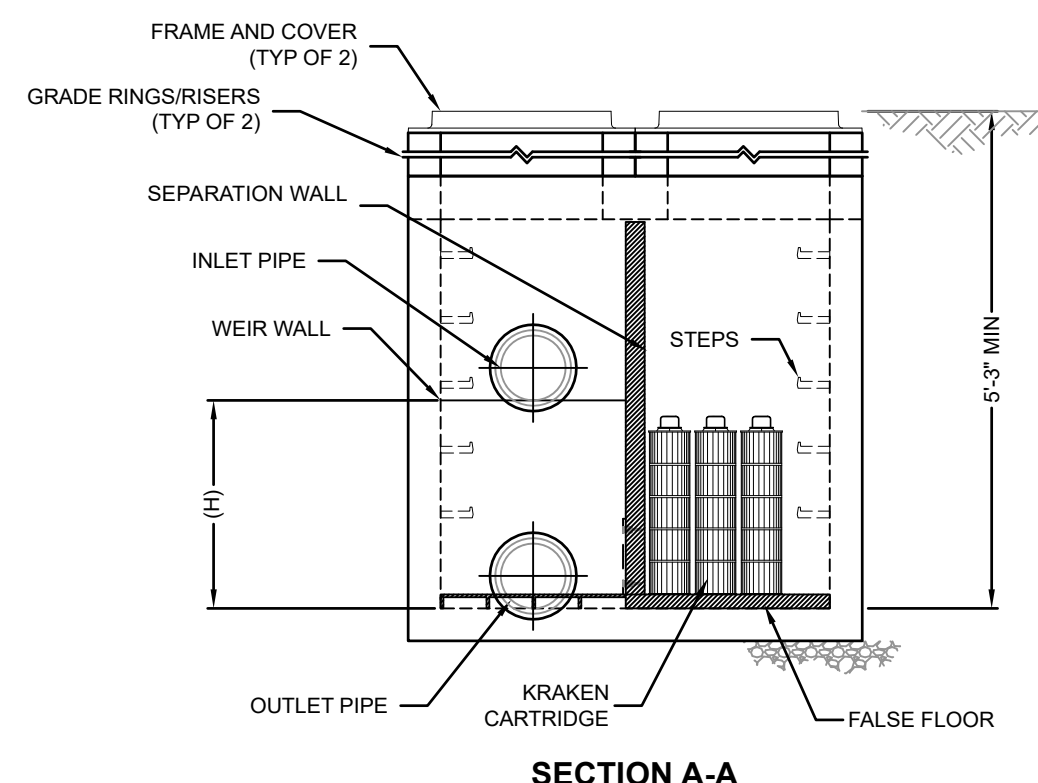
NOT TO SCALE



PLAN VIEW



FRAME AND COVER



SECTION A-A

KFMH72 KRAKEN FILTER DETAIL

NOT TO SCALE

- GENERAL NOTES
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
 - KRAKEN FILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 10' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- INSTALLATION NOTES
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE KRAKEN FILTER STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

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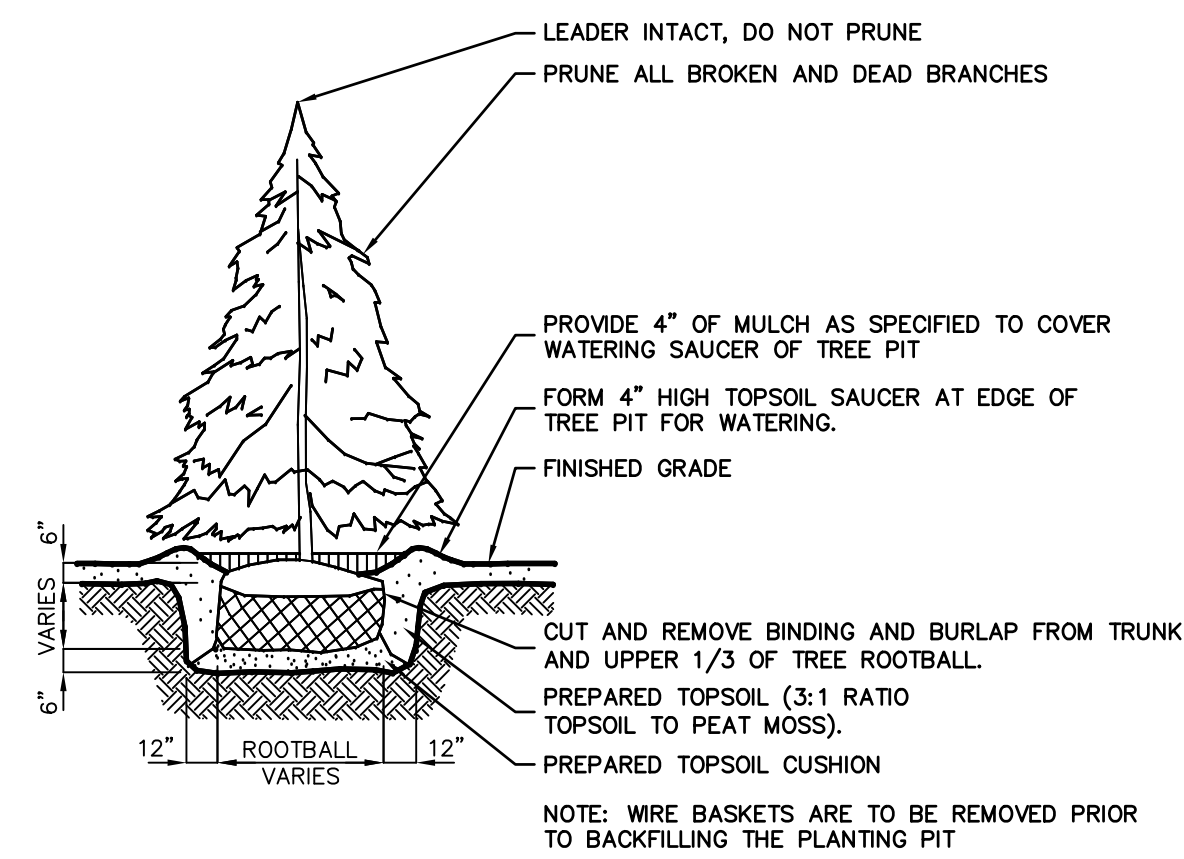
DRAWING TITLE
DRAINAGE DETAILS

PROJECT
MOUNTAIN VIEW AUTO BODY
BLOCK 3905, LOTS 12, 13 & 14
246-264 SOUTH BROAD STREET
VILLAGE OF RIDGWOOD
BERGEN COUNTY, NEW JERSEY

CLIENT
MOUNTAIN VIEW AUTO
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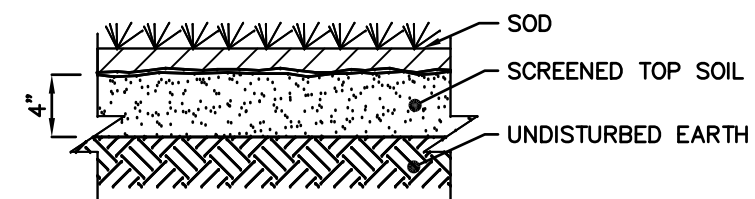
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SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 0

DRAWING NO.
C3.3



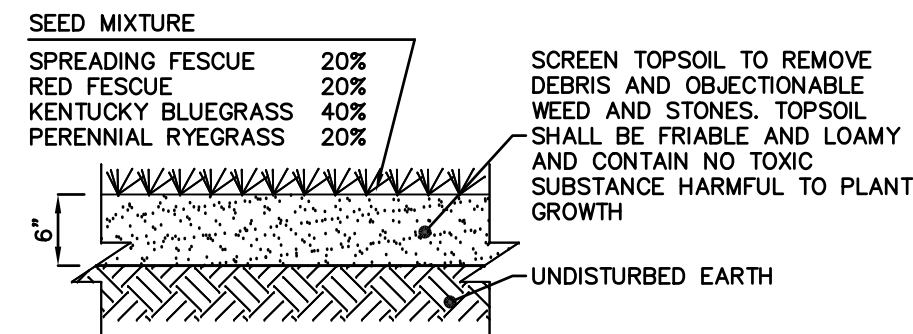
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



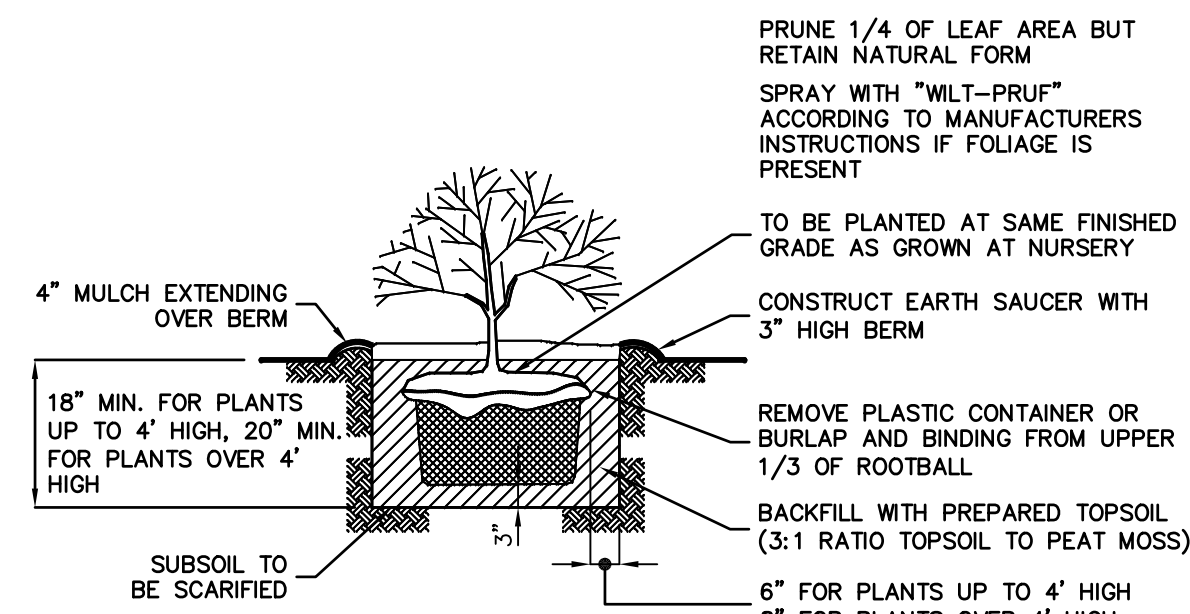
SOD DETAIL

NOT TO SCALE



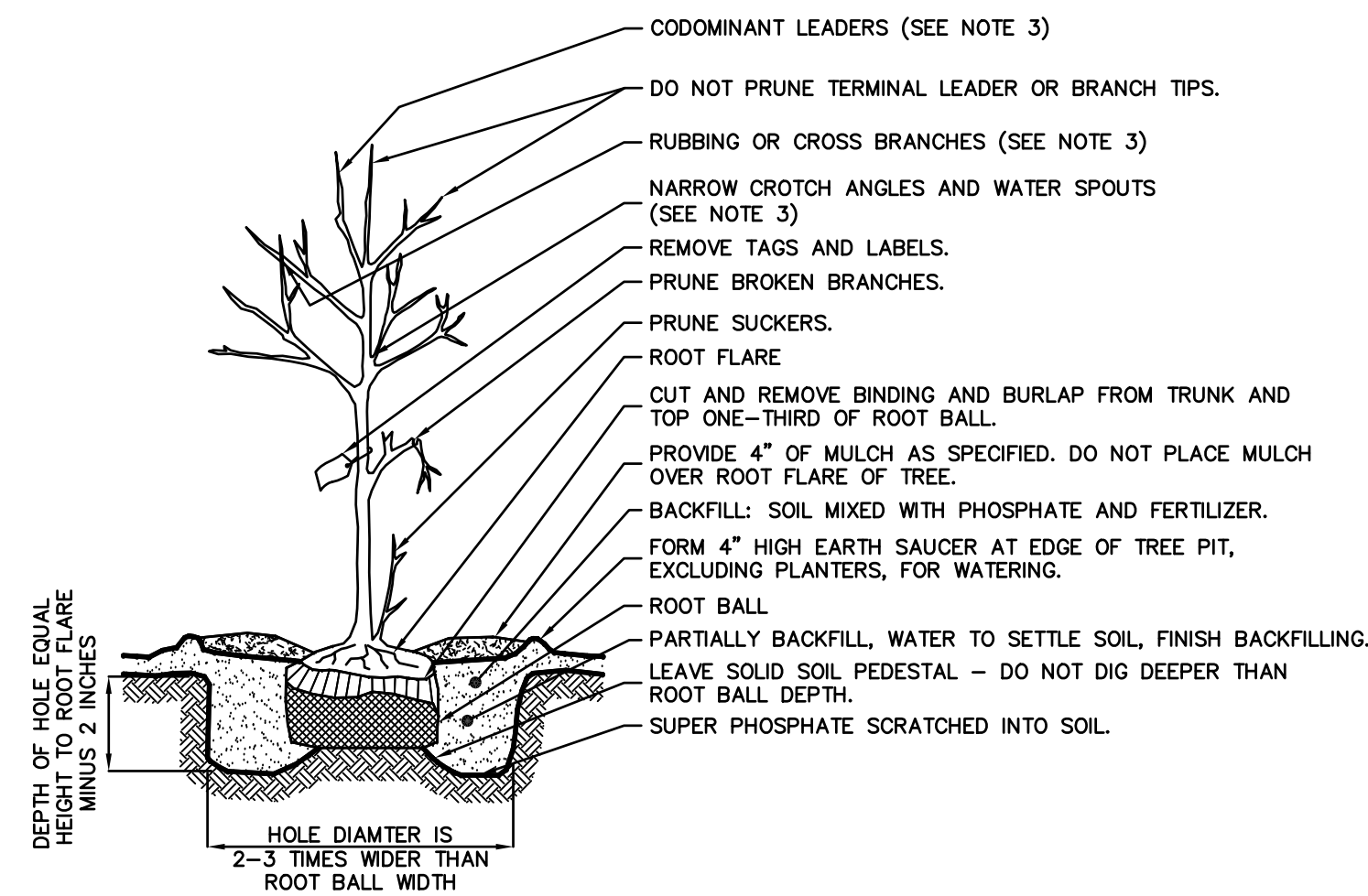
TOP SOIL & GRASS DETAIL

NOT TO SCALE



SHRUB PLANTING DETAIL

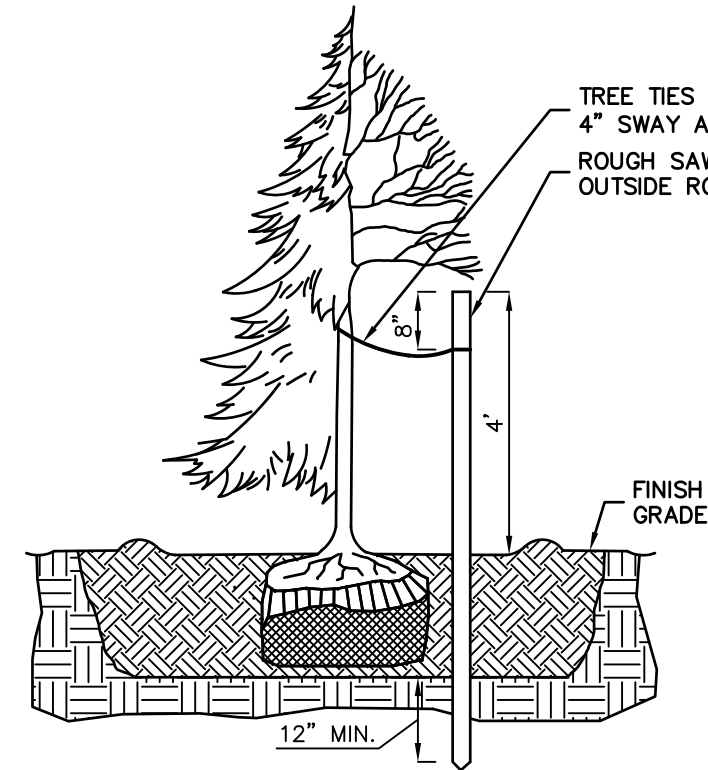
NOT TO SCALE



- NOTES:
1. WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING THE PLANTING PIT.
 2. IF TRUNK WRAPPING IS REQUIRED USE A WATERPROOF, BIODEGRADABLE TREE WRAP WITH 50% OVERLAP SECURED WITH HEMP CORD TO FIRST BRANCHING.
 3. AT TIME OF PLANTING, ONLY PRUNE DEAD OR BROKEN BRANCHES, ANY SUCKERS AND ANY BRANCHES THAT MAY BE A HAZARD TO PEDESTRIANS. AT 2-3 YEARS AFTER PLANTING, PRUNE THE FOLLOWING: CODOMINANT LEADERS, RUBBING OR CROSS BRANCHES, WATER SPOUTS AND BRANCHES WITH NARROW CROTCH ANGLES.

TYPICAL TREE PLANTING DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE

LAWNS: SODDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3± INCHES PRIOR TO APPLICATION.
3. LAWNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
4. WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
5. FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWNS SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRIZNG MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
6. ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

LAWNS: SEEDING AND SOIL PREPARATION NOTES

1. CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
2. ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
3. HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
4. PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
40% KENTUCKY BLUEGRASS
30% PERENNIAL RYE GRASS
30% TURF TYPE TALL FESCUE
5. APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LBS/1,000 SF).
6. SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
7. LAWNS SHALL BE SEEDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWNS SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
8. MULCH SEEDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). GRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
9. WATER AND MAINTAIN GRASS UNTILL STAND IS ESTABLISHED AND READ FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
10. FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
11. FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
12. ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEEDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
13. ALL DISTURBED LAWN AREAS SHALL BE SEEDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

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Shan-Pei Fanchiang

LANDSCAPE DETAILS

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C3.4