

CAPIZZI LAW OFFICES

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May 15, 2025

Revised Plan Submittal for the Public Hearing of May 27, 2025

Via Overnight Mail

Jane Wondergem – Secretary
Ridgewood Zoning Board of Adjustment
131 N Maple Avenue
Ridgewood, NJ 07450

Re: Leung – Ridgewood ZBA (the “Applicant”)
256 Ivy Place; Block 3910, Lot 2 (the “Property”)

Dear Ms. Wondergem:

As you are aware, this office represents the above referenced Applicant in connection with his application before the Ridgewood Zoning Board of Adjustment (the “Board”). The Applicant was before the Board on April 8, 2025 (the “Hearing”), during which the Board asked the Applicant to consider making certain modifications to the proposed improvements. Therefore, the Applicant’s Architect, Jordan Rosenberg, revised his plan to address comments raised at the Hearing.

To that end, enclosed please find the following for consideration during the May 27, 2025 hearing:

1. Seepage Pit Design prepared by Azzolina & Feury Engineering, Inc., dated April 29, 2025 (4 copies).

Please note the following items are being hand-delivered and provided under separate cover:

1. Architectural Plan prepared by Jordan Rosenberg & Associates consisting of thirteen (13) sheets dated October 30, 2024 and last revised as of May 14, 2025 (4 copies).

This letter shall also confirm this matter is scheduled to be heard before the Ridgewood Zoning Board of Adjustment on Tuesday, May 27, 2025, at 7:30pm.

Jane Wondergem – Secretary
May 15, 2025
Page 2 of 2

Thank you.

Very truly yours,

Gloria Duby

Gloria Duby, Paralegal

MGC/gd
Enclosures



AZZOLINA & FEURY ENGINEERING, INC.

Professional Engineers and Land Surveyors

30 Madison Avenue, Paramus, NJ 07652 • (201) 845-8500 • Fax (201) 845-3825
110 Stage Road, Monroe, NY 10950 • (845) 782-8681 • Fax (845) 782-4212

SEEPAGE PIT DESIGN

KENNETH & PATRICIA LEUNG

256 IVY PLACE
BLOCK 3910 - LOT 2
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY
FILE #12548

April 29, 2025

AZZOLINA & FEURY ENGINEERING, INC.
CONSULTING ENGINEERS
PARAMUS, NEW JERSEY

Perry E. Frenzel, P.E.
Professional Engineer
N. J. Lic. #28190

KENNETH & PATRICIA LEUNG
Block 3910 - Lot 2
2a Battle Ridge Trail
Village of Ridgewood
Bergen County, New Jersey

Prepared by: JF
Checked by: PEF
Date: April 29, 2025
Job #12548

SEEPAGE PIT DESIGN

Drainage Area: 1,052 ft² (Impervious; Driveway Area's)
805 ft² (Impervious; Garage Roof Area)

Design Storm: 3.0 in./hr. Intensity, 1 hr. Duration
3.0 in. of Total Rainfall

Volume of Runoff: {3.0 in. / (12 in./ft.)} x 1,052 ft² = **263 ft³**
{3.0 in. / (12 in./ft.)} x 805 ft² = **201 ft³**
Total = **464 ft³**

SEEPAGE PIT VOLUME

(2 Pits)

6' Inside Diameter, 3' Deep
3' Stone Around, 3' Under
(See Plan for Detail)

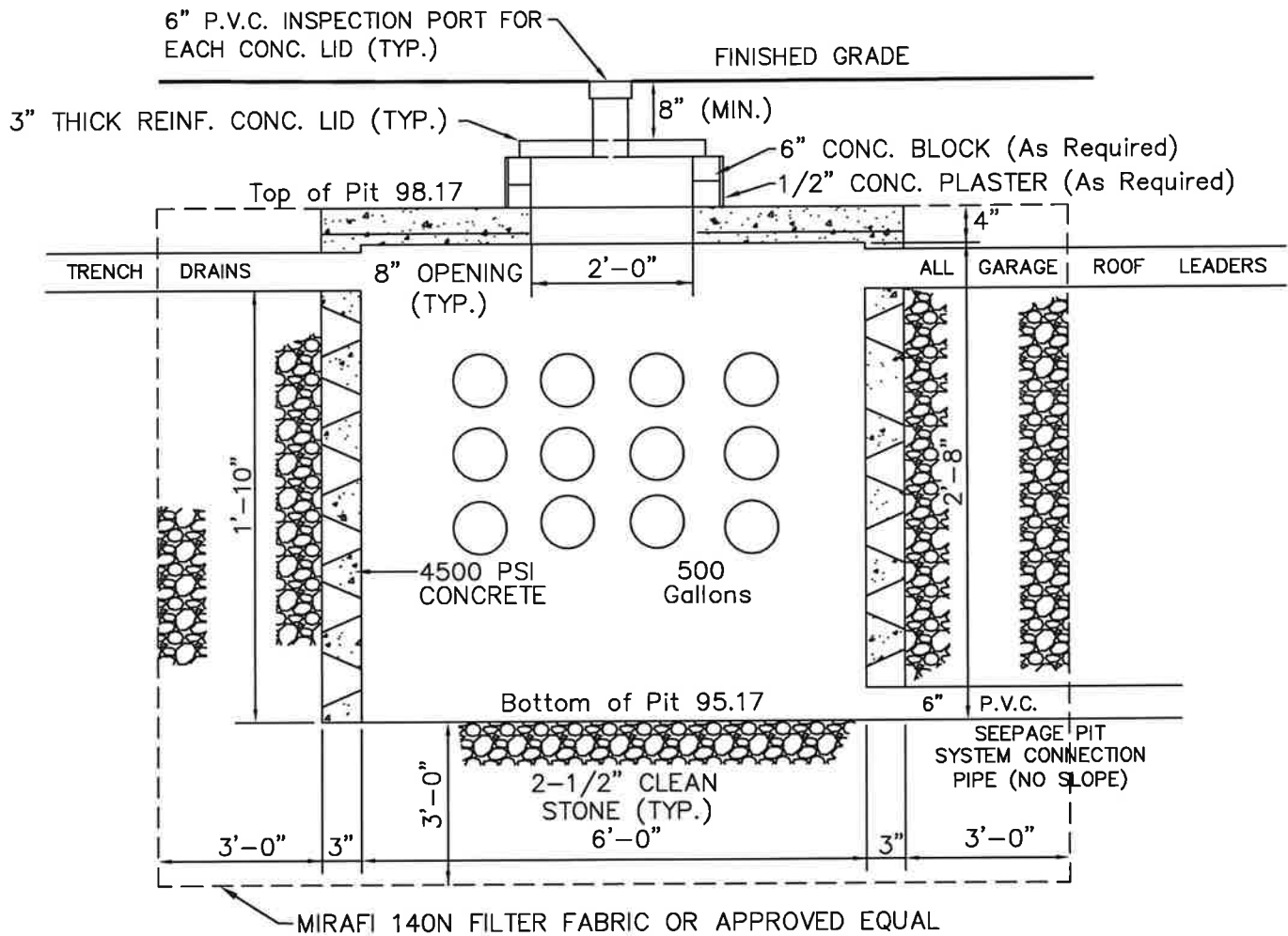
Pit Volume: $2(\pi R^2 H) = 2\{\pi(3^2)(2.67')\} = \mathbf{151\ ft^3}$

Stone Volume around Pit: $\{(V_{\text{Stone}}) - (V_{\text{seepage Pit}})\} \times 40\% \text{ Voids}$
 $\{(W \times L \times H) - 2(\pi R_{\text{outer}}^2 H)\} \times 40\% \text{ Voids}$
 $\{(12.5' \times 25' \times 3.0') - 2(\pi(3.25)^2(3.0'))\} \times 0.40 = \mathbf{295\ ft^3}$

Volume of Stone under Pit: $(W \times L \times H) \times 40\% \text{ Voids} = (12.5' \times 25' \times 3.0') \times 0.40 = \mathbf{375\ ft^3}$

Total Volume of Pit: $151 + 295 + 375 = \mathbf{821\ ft^3}$

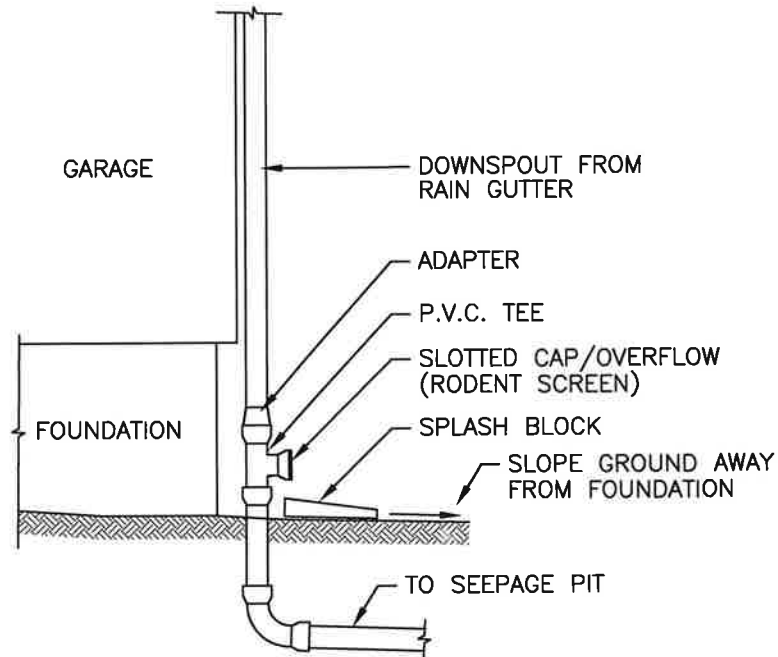
Storage Provided 821 ft³ > 464 ft³ Storage Required



3' HI x 6' DIA. SEEPAGE PIT DETAIL

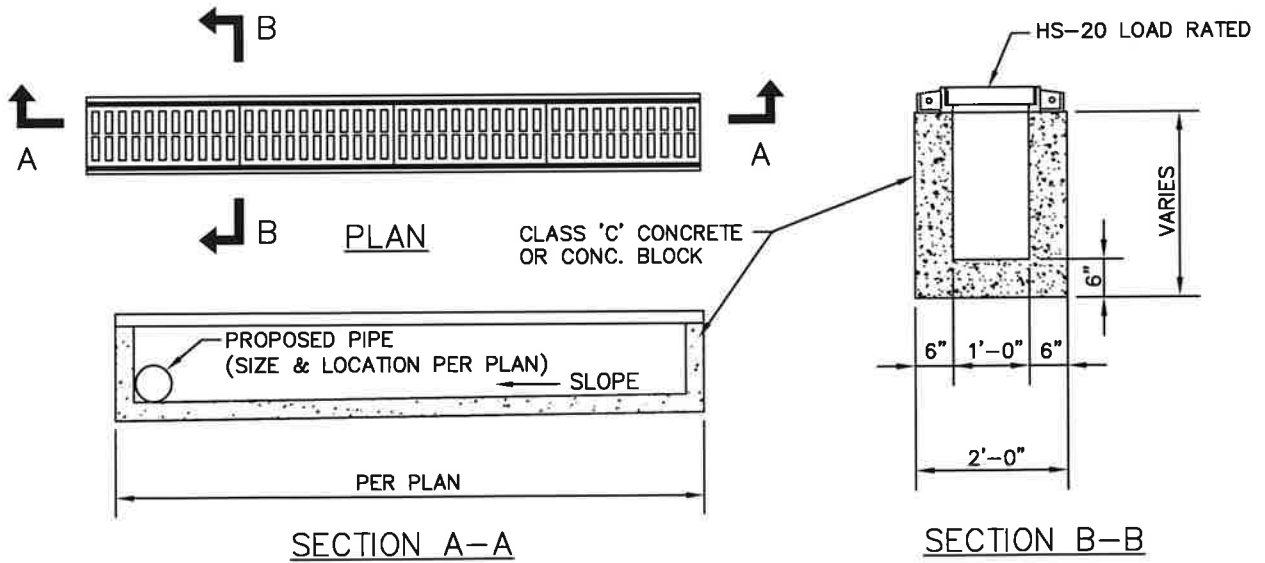
(AS BUILT BY PEERLESS)

N.T.S.



ROOF LEADER DETAIL

N.T.S.



TRENCH DRAIN

N.T.S.

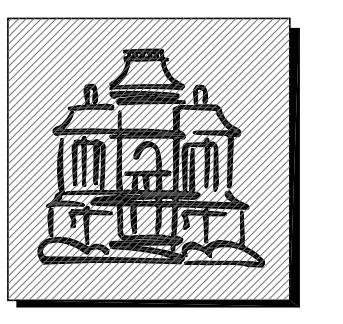
SEE SHEET G-02 FOR PROPOSED SITE PLAN WITH ALL PROPOSED ZONING CALCULATIONS

PAGE LEGEND	
G-01	EXISTING SITE PLAN WITH DEMO
G-02	PROPOSED SITE PLAN
D-00	DEMO BASEMENT PLAN
D-01	DEMO FIRST FLOOR PLAN
D-02	DEMO SECOND FLOOR PLAN
D-03	DEMO ATTIC PLAN
A-00	PROPOSED BASEMENT PLAN
A-01	PROPOSED FIRST FLOOR PLAN
A-02	PROPOSED SECOND FLOOR PLAN
A-03	PROPOSED ATTIC PLAN
A-04	PROPOSED ELEVATIONS
A-05	PROPOSED ELEVATIONS
A-06	CARRIAGE HOUSE PLANS & ELEVATIONS

Addition / Renovation to Existing Single Family Residence

Leung Residence

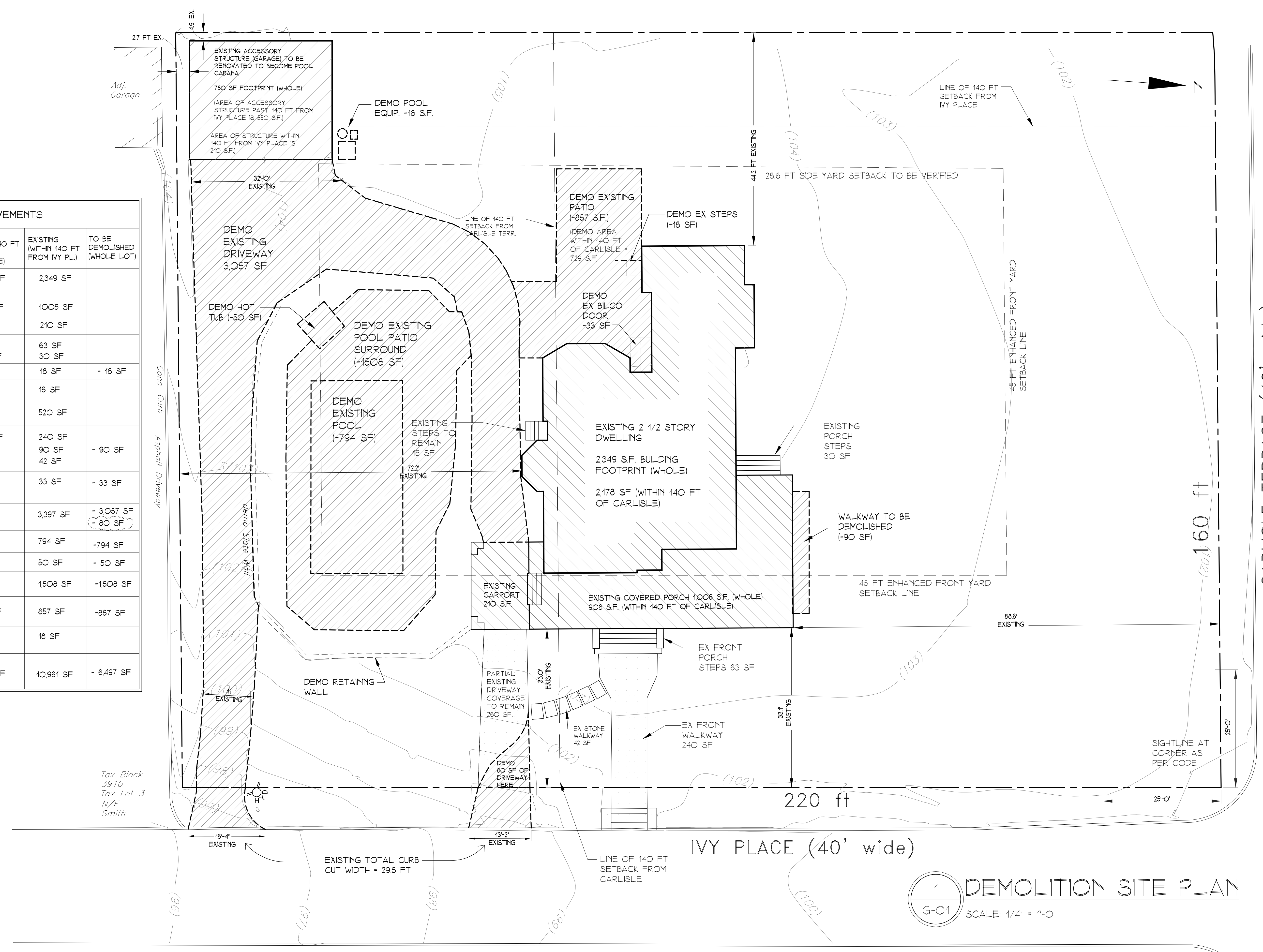
256 Ivy Place, Ridgewood, NJ



Jordan Rosenberg ARCHITECTS & ASSOCIATES

27 N. Broad Street
Second Floor
(201)669-8614
JRArchitect@gmail.com

EXISTING COVERAGE BY IMPROVEMENTS				
FLOOR / ITEM	EXISTING (WHOLE LOT)	EXISTING (WITHIN 140 FT FROM CARLISLE)	EXISTING (WITHIN 140 FT FROM IVY PL.)	TO BE DEMOLISHED (WHOLE LOT)
EXISTING DWELLING	2,349 SF	2,178 SF	2,349 SF	
EXISTING FRONT PORCH	1,006 SF	906 SF	1,006 SF	
EXISTING CAR PORT	210 SF	0 SF	210 SF	
EXISTING FRONT PORCH STEPS	63 SF	30 SF	63 SF	
EXISTING REAR STEPS	18 SF	18 SF	18 SF	- 18 SF
EXISTING SIDE STEPS	16 SF	0 SF	16 SF	
EXISTING ACCESSORY BLDG	760 SF	0 SF	520 SF	
EXISTING WALKWAYS	240 SF	240 SF	240 SF	- 90 SF
EXISTING BILCO DOOR / IN GROUND STAIR	33 SF	33 SF	33 SF	- 33 SF
EXISTING DRIVEWAY	3,397 SF	0 SF	3,397 SF	- 3,057 SF - 80 SF
EXISTING POOL	794 SF	0 SF	794 SF	- 794 SF
EXISTING HOT TUB	50 SF	0 SF	50 SF	- 50 SF
EXISTING POOL PATIO SURROUND	1,508 SF	0 SF	1,508 SF	- 1,508 SF
EXISTING PATIO AREA	857 SF	729 SF	857 SF	- 867 SF
EXISTING POOL EQUIPMENT	18 SF	0 SF	18 SF	
TOTALS:	11,481 SF	4,329 SF	10,961 SF	- 6,497 SF



SET ISSUES & DATES:

DATE	ISSUE
10-30-24	FOR HISTORIC BOARD SUBMISSION AND FOR ZONING REVIEW SUBMISSION
12-2-24	FOR HISTORIC PRESERVATION COMMISSION REVIEW SUBMISSION
12-9-24	HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-9-24
12-23-24	FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY PAOLA PEREZ
12-24-24	FOR Z.B.A. SUBMISSION (IE FOR COMPLETENESS REVIEW BY H.G.A.)
3-1-25	FOR Z.B.A. RESUBMISSION (WITH ADJUSTMENTS AS PER H.G.A. PLAN REVIEW)
5-14-25	FOR Z.B.A. RESUBMISSION (WITH ADJUSTMENTS AS PER BOARD COMMENTARY FROM FIRST Z.B.A. MEETING ON 4-9-25)

LEUNG RESIDENCE
ADDITION / RENOVATION TO SINGLE FAMILY RESIDENCE
256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG R.A.
NJ ARCHITECT: #16495

1
G-01
SCALE: 1/4" = 1'-0"

DRAWING TITLE	ORIGINAL DATE
DEMOLITION SITE PLAN	10-30-24
REV DATE	REV DATE
	5-14-25
SCALE	DRAWN BY
SEE DRAWING TITLE	JR
DRAWN BY	DATE
JR	

PROJECT DESCRIPTION: ADDITION / RENOVATION		LOT: 2 BLOCK: 3910		PROPOSED ZONE: R-1	
LOT SIZE	EXISTING	MIN. REQ'D	VARIANCE REQ'D		
AREA	35,197 SF	16,800 SF (CORNER LOTS)			
AREA W/IN 140 FT OF CARLISLE TERRACE	22,399 SF				
AREA W/IN 140 FT OF IVY PLACE	30,800 SF				
LOT WIDTH	160 FT	120 FT (AT MIN FRONT YARD SETBACK CORNER LOT)			
LOT DEPTH	220 FT	120 FT			

SETBACKS	EXISTING	MIN. REQ'D	PROPOSED	VARIANCE REQ'D	
FRONT YARD (CARLISLE)	88.6 FT	40 FT + HALF THE DISTANCE OF 50'-40' = 45 FT MIN	NO CHANGE 88.6 FT	NO	
FRONT YARD (IVY PLACE)	33.0 FT	40 FT + HALF THE DISTANCE OF 50'-40' = 45 FT MIN	34.0 FT	YES	
RIGHT SIDE YARD	44.2 FT	THE GREATER OF 15 FT OR 2/3 BLDG HEIGHT = 29.0 FT	NO CHANGE 44.2 FT	NO	
REAR YARD	61.45 FT	30 FT	31'-7 1/2"	NO	
MAXIMUM BUILDING HEIGHT	43.6 FT ABOVE EXISTING AVERAGE GRADE	30 FT / 2 1/2 STORIES OR 35 FT IF THE FOLLOWING COMPLY: (A) THE LOT HAS A WIDTH OF AT LEAST 75 FT (B) THE HEIGHT OF THE BUILDING DOES NOT EXCEED 150% OF THE SHALLOWEST SIDE YARD DEPTH (C) THE PITCH OF ANY ROOF GREATER THAN 30 FEET HIGH IS AT LEAST 8:12	24 FT AT ADDITION	NO	EXISTING NON-COMFORMANCE
MAXIMUM REAR YARD COVERAGE WHEN A SPORTS COURT IS PROPOSED	MAXIMUM ALLOWED: 40% OF 7,841 SF = 3,136 SF EXISTING REAR YARD COVERAGE: 4,777 SF ÷ 7,841 SF = 60%	40% MAX COVERAGE OF REAR YARD AREA (REAR YARD AREA IS CALCULATED FROM FURTHESTMOST WALL OF REAR OF HOUSE TO REAR PROPERTY LINE)	MAXIMUM ALLOWED: 40% OF 4,025 SF = 1,610 SF PROPOSED REAR YARD COVERAGE: 1,505 SF ÷ 4,025 SF = 37.4%	NO	EXISTING NON-COMFORMANCE
SPORT COURT SETBACK	NOT APPLICABLE	MINIMUM 10 FT PROPERTY LINE AND 25 FT NEIGHBOR'S HOUSE	10 FT PROPERTY LINE 25.9 FT NEIGHBOR'S HOUSE	NO	

* PROPOSED REAR YARD COVERAGE: 760 S.F. (ACCESSORY STRUCTURE) PLUS 695 S.F. (PORTION OF SPORTS COURT IN REAR YARD AREA) PLUS 50 S.F. PATHWAY = 1,505 S.F. ÷ 4,025 S.F. 37.4%

COVERAGE & G.B.A. CALCS				
	EXISTING	MIN. REQ'D	PROPOSED	VARIANCE REQ'D
COVERAGE BY ABOVE GRADE STRUCTURES W/IN 140 FT FROM CARLISLE	3,195 SF (14.2%)	20% OF 22,399 SF = 4,480 SF MAX	3,574 SF (16.0%)	NO
COVERAGE BY ABOVE GRADE STRUCTURES W/IN 140 FT FROM IVY	3,914 SF (12.7%)	20% OF 30,800 SF = 6,160 SF MAX	5,110 SF (16.6%)	NO
COVERAGE BY ABOVE GRADE STRUCTURES WHOLE LOT	4,452 SF (12.6%)	20% OF 35,197 SF = 7,039 SF MAX	5,630 SF (16.0%)	NO
MAXIMUM COVERAGE BY IMPROVEMENTS W/IN 140 FT FROM CARLISLE TERR.	4,329 SF (19.3%)	40% OF 22,399 SF = 8,959 SF MAX NOT TO EXCEED [8,750 SF]	5,440 SF (24.3%)	NO
MAXIMUM COVERAGE BY IMPROVEMENTS W/IN 140 FT FROM IVY PL.	10,961 SF (35.5%)	35% OF 30,800 SF = 10,780 SF MAX	10,333 SF (33.5%) *	NO
MAXIMUM COVERAGE BY IMPROVEMENTS (WHOLE LOT)	11,481 SF (32.6%)	35% OF 35,197 SF = 12,316 SF	11,625 SF (33%)	NO
MAXIMUM GROSS BUILDING AREA WITHIN 140 FT FROM CARLISLE	4,750 SF (21.3%)	24% OF 22,399 SF = 5,376 SF MAX NOT TO EXCEED [5,000 SF]	5,147 SF (22.9%)	YES
MAXIMUM GROSS BUILDING AREA WITHIN 140 FT FROM IVY	5,125 SF (16.6%)	20% OF 30,800 SF = 6,160 SF MAX	6,321 SF (20.5%)	YES
MAXIMUM GROSS BUILDING AREA OF PRINCIPAL BUILDING (WHOLE LOT)	5,125 SF (14.6%)	20% OF 35,197 SF = 7,039 SF MAX	6,321 SF (17.9%)	NO
DRIVEWAY WIDTH	32 FT	20% LOT WIDTH NOT TO EXCEED 25 FT	32 FT	YES
ACCESSORY STRUCTURE ZONING				
	EXISTING	MIN. REQ'D	PROPOSED	VARIANCE REQ'D
SIDE YARD SETBACK	19 FT	5 FT	NO CHANGE	EXISTING NON-COMFORMANCE
REAR YARD SETBACK	27 FT	5 FT	NO CHANGE	EXISTING NON-COMFORMANCE
BUILDING HEIGHT	22.5 FT	15 FT MAX OR 16 FT IF THE FOLLOWING COMPLY: A) MIN 400 SF COVERAGE B) STRUCTURE COMPLES WITH REQ. SETBACKS C) THE PITCH OF ANY ROOF GREATER THAN 15 FEET HIGH IS AT LEAST 8:12 D) MUST BE 12 FT FROM PRIMARY RESIDENCE	NO CHANGE	EXISTING NON-COMFORMANCE
MAXIMUM GROSS BUILDING AREA FOR DETACHED ACCESSORY STRUCTURE (WHOLE LOT)	838 SF	4% OF 35,197 SF = 1,408 SF	23% NO CHANGE	NO

* COVERAGE BY IMPROVEMENTS WITHIN 140 FT FROM IVY PL. IS CALCULATED AS TOTAL PROPOSED COVERAGE BY IMPROVEMENTS (WHOLE LOT) 11,625 SF MINUS AREA BEYOND 140 FT LINE WHICH IS 520 SF. OF EX. ACCESSORY BLDG PAST 140 FT. MINUS 120 S.F. OF ACCESSORY PATIO PAST 140 FT. MINUS 652 SF OF NEW POOL/PATIO PAST 140 FT = 10,333 SF (33.5%)

COVERAGE BY ABOVE GRADE STRUCTURES (WITHIN 140 FT) OF CARLISLE TERRACE				
FLOOR / ITEM	EXISTING	ADD/REMOVE	TOTAL	
BUILDING COVERAGE	2,178 SF	ADD 397 SF	2,575 SF	
EX. COVERED FRONT PORCH	906 SF	O SF	906 SF	
EX. FRONT PORCH STEPS (IVY SIDE)	63 SF	O SF	63 SF	
EX. FRONT PORCH STEPS (CARLISLE)	30 SF	O SF	30 SF	
EX. SIDE STEPS	18 SF	DEMO 18 SF	O SF	
TOTALS:	20% OF 22,399 SF = 4,480 SF MAX	3,195 SF	ADD 379 SF	3,574 SF

COVERAGE BY ABOVE GRADE STRUCTURES (WHOLE LOT)				
FLOOR / ITEM	EXISTING	ADD/REMOVE	TOTAL	
BUILDING COVERAGE (WHOLE LOT)	2,349 SF	ADD 500 SF ADD 696 SF	3,545 SF	
EX. COVERED FRONT PORCH	1,006 SF	O SF	1,006 SF	
EX. FRONT PORCH STEPS (IVY SIDE)	63 SF	O SF	63 SF	
EX. FRONT PORCH STEPS (CARLISLE)	30 SF	O SF	30 SF	
EX. CAR PORT	210 SF	O SF	210 SF	
EX. STEPS OFF MUDRM	16 SF	O SF	16 SF	
EX. REAR STEPS	18 SF	DEMO 18 SF	O SF	
EX. ACCESSORY STRUCTURE	760 SF	O SF	760 SF	
TOTALS:	20% OF 35,197 SF = 7,039 SF MAX	4,452 SF	ADD 1178 SF	5,630 SF

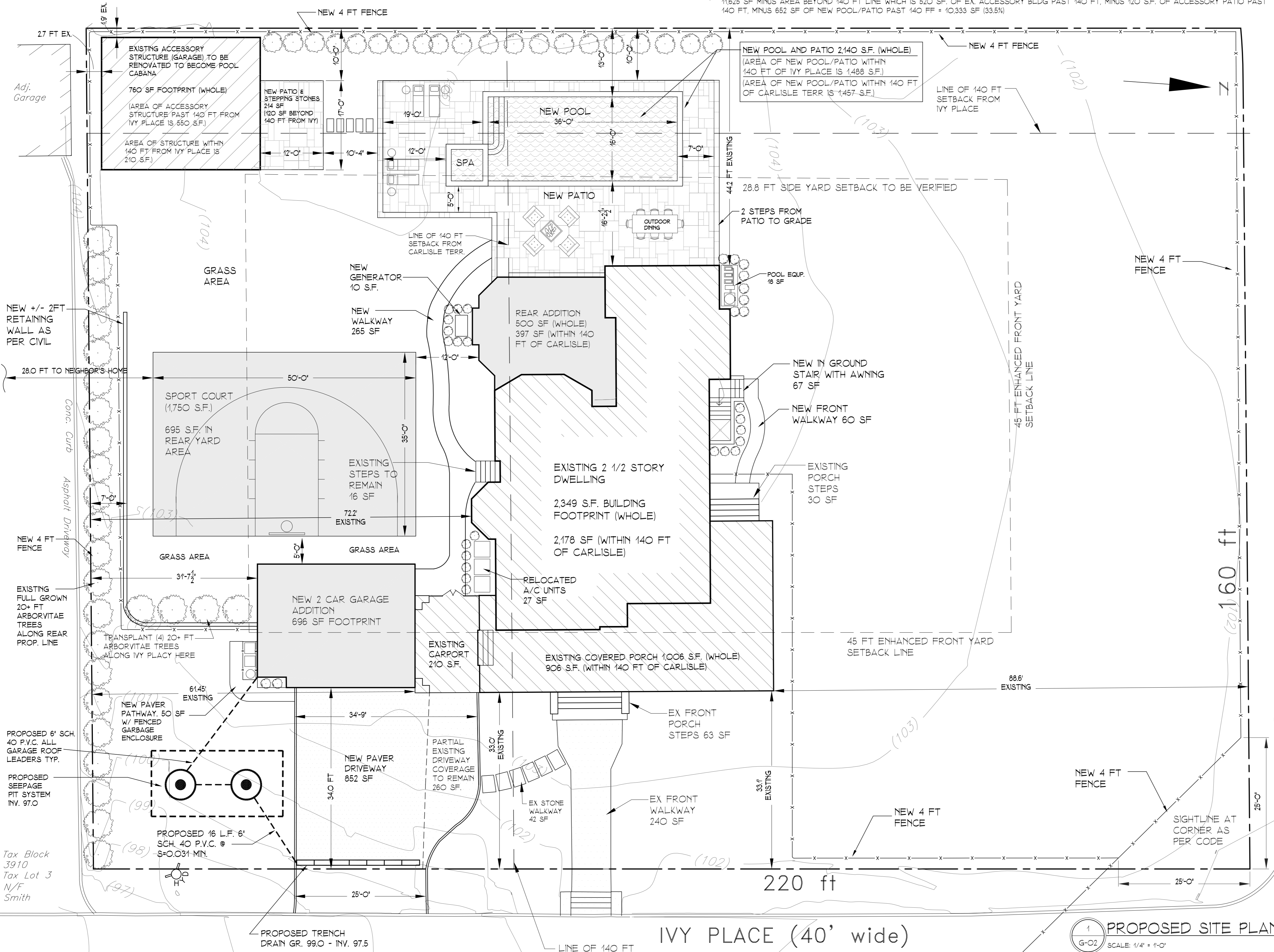
COVERAGE BY IMPROVEMENTS (WITHIN 140 FT) OF CARLISLE TERRACE				
FLOOR / ITEM	EXISTING	ADD/REMOVE	TOTAL	
BUILDING COVERAGE W/IN 140 FT FROM CHART ABOVE	3,195 SF	ADD 379 SF	3,574 SF	
FRONT WALKWAYS	240 SF	O SF	240 SF	
	42 SF	O SF	42 SF	
	90 SF	DEMO 90 SF	60 SF	
		ADD 60 SF		
EXISTING REAR PATIO (WITHIN 140 FT OF CARLISLE)	729 SF	DEMO 729 SF	O SF	
EX. BLDG DOOR	33 SF	DEMO 33 SF	O SF	
NEW IN-GROUND STAIR		ADD 67 SF	67 SF	
POOL AND PATIO SURROUND	O SF	ADD 1,457 SF	1,457 SF	
W/IN 140 FT				
TOTALS:	40% OF 22,399 SF = 8,959 SF MAX NOT TO EXCEED [8,750 SF]	4,329 SF	ADD 1,111 SF	5,440 SF

COVERAGE BY IMPROVEMENTS (WHOLE LOT)				
FLOOR / ITEM	EXISTING	ADD/REMOVE	TOTAL	
COVERAGE BY ABOVE GRADE STRUCTURES - WHOLE LOT	4,452 SF	ADD 1178 SF	5,630 SF	
EX. BLDG DOOR	33 SF	DEMO 33 SF	O SF	
NEW IN-GROUND STAIR	O SF	ADD 67 SF	67 SF	
DRIVEWAY	3,397 SF	DEMO 3,057 SF DEMO 80 SF ADD 852 SF	1,112 SF	
EX. POOL & PATIO SURROUND	2,352 SF	DEMO 2,352 SF	O SF	
NEW POOL & PATIO SURROUND	O SF	ADD 2,140 SF	2,140 SF	
SIDE/REAR PATIO AREA	857 SF	DEMO 857 SF	O SF	
NEW PATIO/STEPPING STONES & EX. ACCESSORY BLDG	O SF	ADD 214 SF	214 SF	
NEW REAR WALKWAYS	O SF	ADD 265 SF ADD 50 SF	315 SF	
FRONT WALKWAYS	240 SF	O SF	240 SF	
	42 SF	O SF	42 SF	
	90 SF	DEMO 90 SF	O SF	
		ADD 60 SF	60 SF	
NEW SPORT COURT	O SF	ADD 1,750 SF	1,750 SF	
POOL EQUIPMENT (EX. / NEW)	18 SF	O SF	18 SF	
NEW GENERATOR	O SF	ADD 10 SF	10 SF	
A/C UNITS	O SF	ADD 27 SF	27 SF	
TOTALS:	35% OF 35,197 SF = 12,316 SF	11,481 SF	ADD 144 SF	11,625 SF

GROSS BUILDING AREA (W/IN 140 FT) OF CARLISLE TERRACE				
FLOOR	EXISTING	ADD/REMOVE	TOTAL	
1ST FLOOR	2,178 SF	ADD 397 SF	2,575 SF	
2ND FLOOR	1,606 SF	O SF	1,606 SF	
ATTIC AREA AT 7 FT OR ABOVE	966 SF	O SF	966 SF	
TOTALS:	24% OF 22,399 SF = 5,376 SF MAX NOT TO EXCEED [5,000 SF]	4,750 SF	ADD 397 SF	5,147 SF

GROSS BUILDING AREA (W/IN 140 FT) OF IVY PLACE				
FLOOR	EXISTING	ADD/REMOVE	TOTAL	
ATTACHED GARAGE	O SF	ADD 696 SF	696 SF	
1ST FLOOR	2,349 SF	ADD 500 SF	2,849 SF	
2ND FLOOR	1,776 SF	O SF	1,776 SF	
ATTIC AREA AT 7 FT OR ABOVE	1,000 SF	O SF	1,000 SF	
TOTALS:	20% OF 30,800 SF = 6,160 SF MAX	5,125 SF	ADD 1,196 SF	6,321 SF

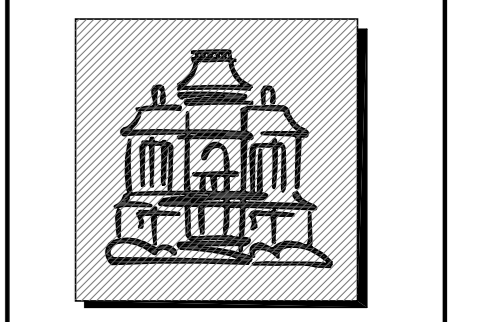
GROSS BUILDING AREA (WHOLE LOT)				
FLOOR	EXISTING	ADD/REMOVE	TOTAL	
ATTACHED GARAGE	O SF	ADD 696 SF	696 SF	
1ST FLOOR	2,349 SF	ADD 500 SF	2,849 SF	
2ND FLOOR	1,776 SF	O SF	1,776 SF	
ATTIC (AREA AT 7 FT OR ABOVE)	1,000 SF	O SF	1,000 SF	
TOTALS:	20% OF 35,197 SF = 7,039 SF	5,125 SF	ADD 1,196 SF	6,321 SF



CARLISLE TERRACE (40' wide)

IVY PLACE (40' wide)

PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"



Jordan Rosenberg
ARCHITECTS
& ASSOCIATES

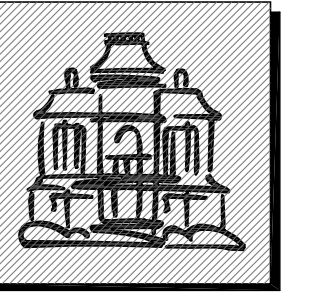
27 N. Broad Street
Second Floor
(201)669-8614
JRArchitect@gmail.com

SET ISSUES & DATES:
DATE: 10-30-24 FOR HISTORIC BOARD SUBMISSION AND FOR ZONING REVIEW SUBMISSION
DATE: 12-2-24 FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION
DATE: 12-9-24 HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-9-24
DATE: 12-23-24 FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY PAOLA PEREZ
DATE: 12-24-24 FOR Z.B.A. SUBMISSION (IF FOR COMPLETENESS REVIEW BY HGA)
DATE: 5-14-25 FOR Z.B.A. RESUBMISSION WITH ADJUSTMENTS AS PER BOARD COMMENTARY FROM FIRST Z.B.A. MEETING ON 4-9-25

LEUNG RESIDENCE
ADDITION / RENOVATION TO
SINGLE FAMILY RESIDENCE
256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG P.A.
NJ ARCHITECT: #161995

DRAWING TITLE: G-02
ORIGINAL DATE: 10-30-24
REV DATE: 5-14-25
SCALE: SEE DRAWING TITLE
DRAWN BY: JR



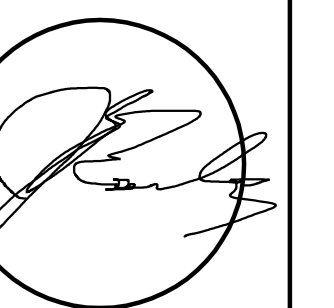
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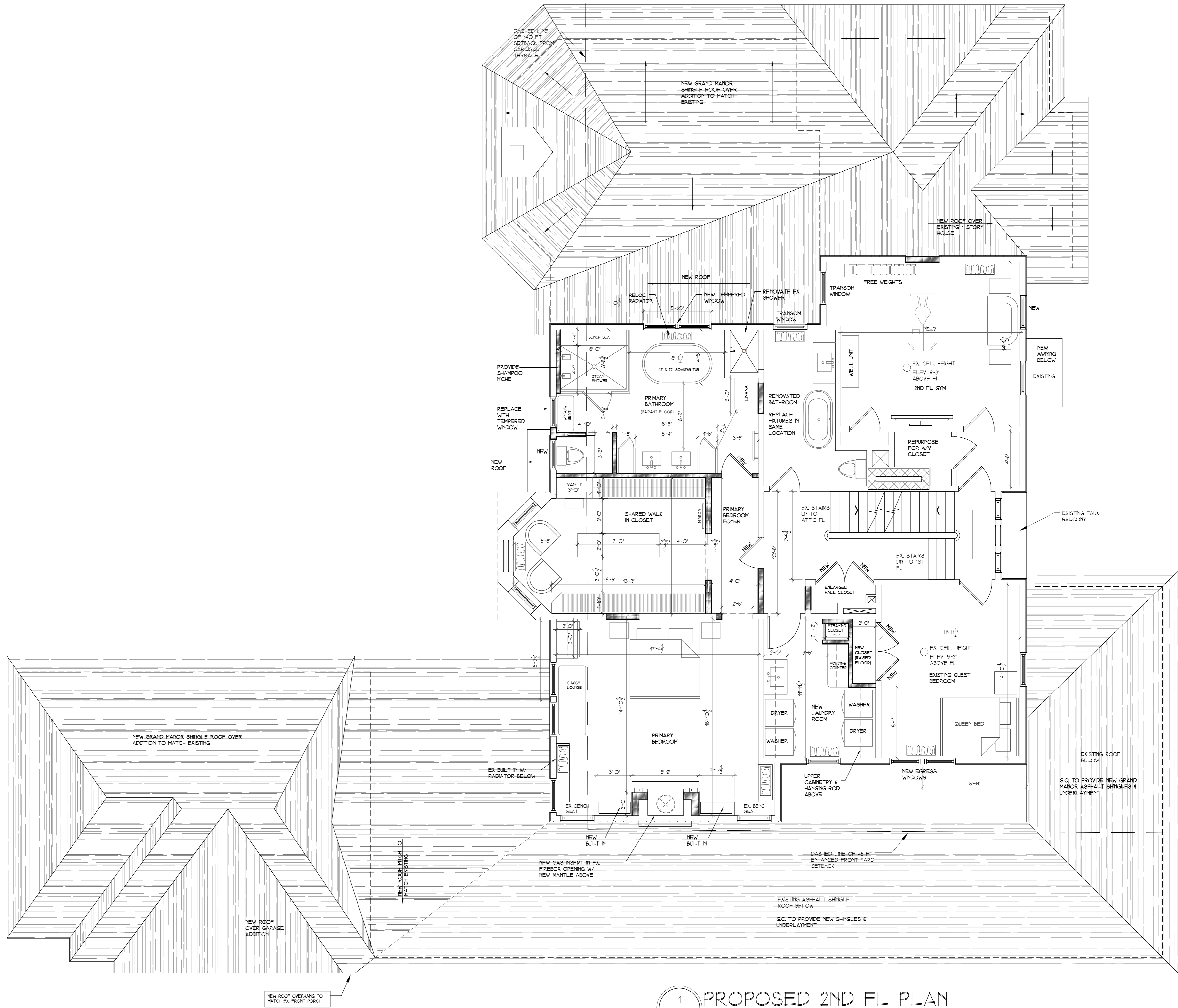
LEUNG RESIDENCE
ADDITION / RENOVATION TO
SINGLE FAMILY RESIDENCE
256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT: #161995

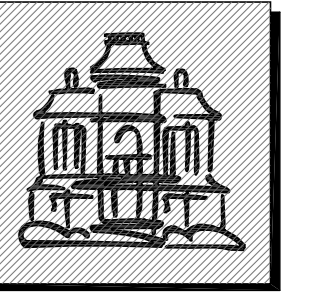


DRAWING TITLE:	ORIGINAL DATE:
SEE DRAWING TITLE	10-30-24
DRAWN BY:	REV DATE:
JR	5-14-25
	A-02

WALL LEGEND	
	PROPOSED STUD WALL
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN
	PROPOSED CONC. WALL



1 PROPOSED 2ND FL PLAN
A-02 SCALE: 1/4" = 1'-0"



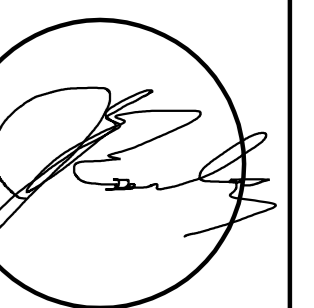
Jordan Rosenberg
ARCHITECTS
& ASSOCIATES

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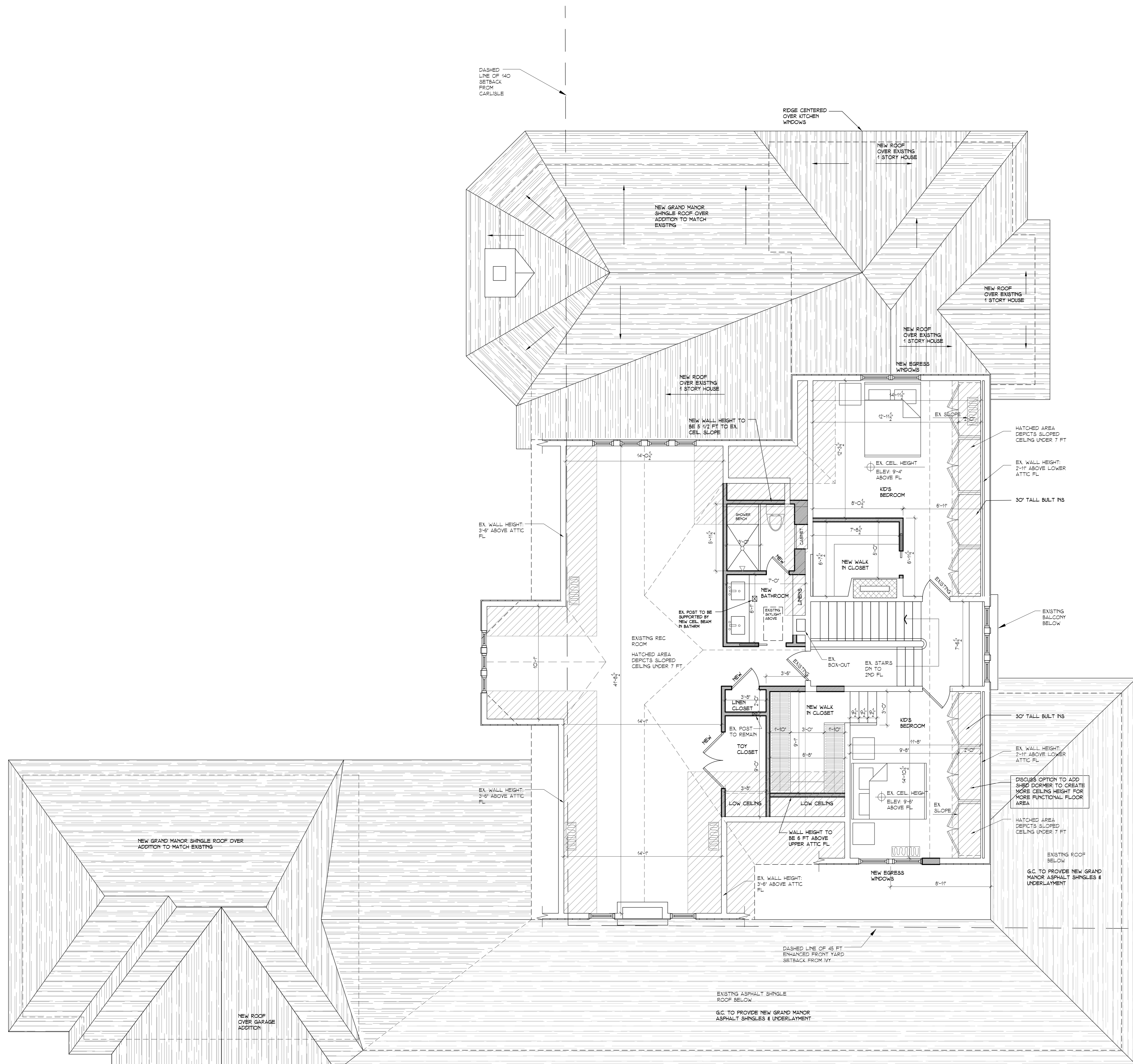
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DATE: 12-24-24 FOR ZBA SUBMISSION (E FOR COMPLETENESS REVIEW BY HGA)
DATE: 3-21-25 FOR ZBA RESUBMISSION WITH ADJUSTMENTS AS PER HGA PLAN REVIEW
DATE: 5-14-25 FOR ZBA RESUBMISSION WITH ADJUSTMENTS AS PER BOARD COMMENTARY FROM FIRST ZBA MEETING ON 4-9-25

LEUNG RESIDENCE
ADDITION / RENOVATION TO
SINGLE FAMILY RESIDENCE
256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, R.A.
NJ ARCHITECT: #161995



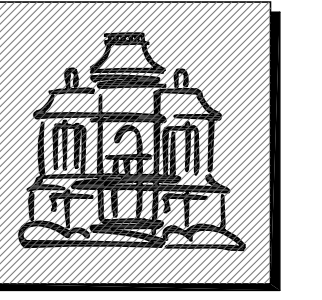
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SEE DRAWING TITLE	10-30-24
DRAWN BY:	REV DATE:
JR	5-14-25
SCALE:	A-03
SEE DRAWING TITLE	



WALL LEGEND

	PROPOSED STUD WALL
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN
	PROPOSED CONC. WALL

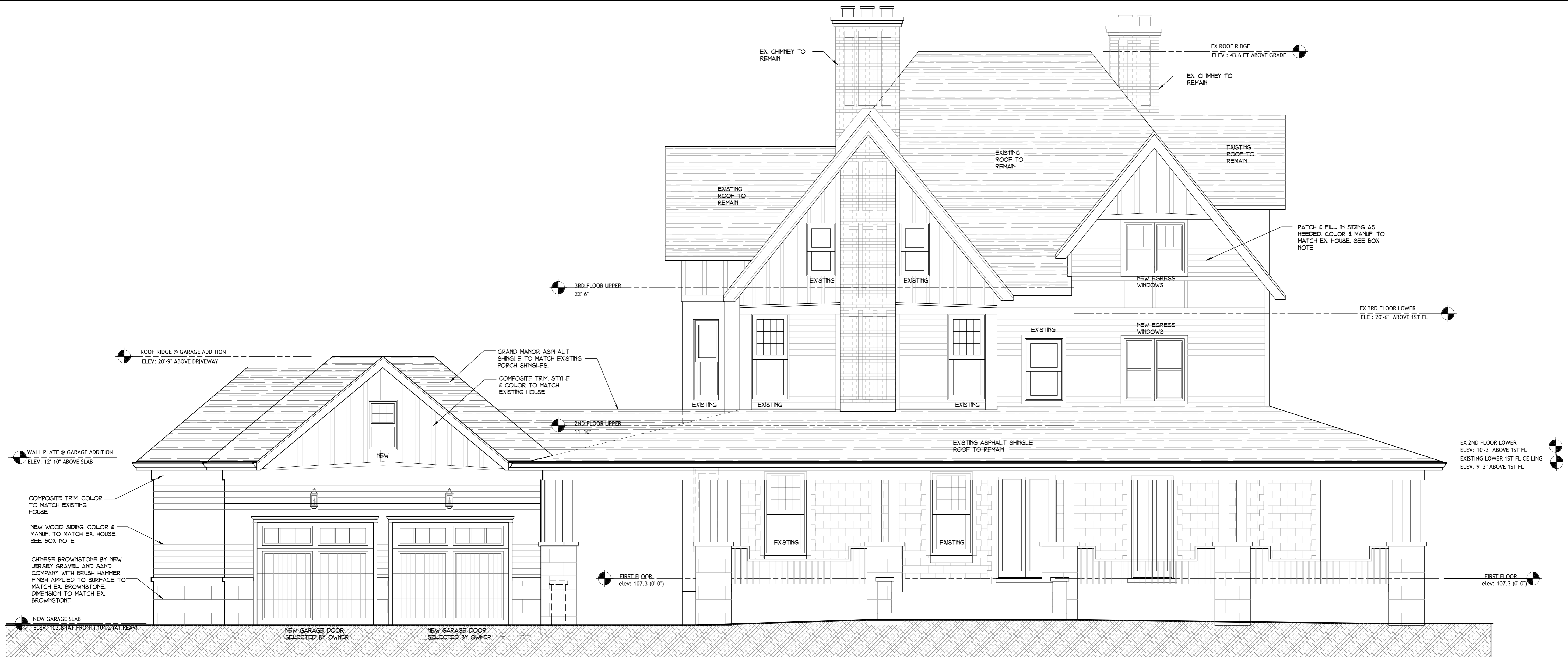
1 PROPOSED ATTIC FL PLAN
A-03 SCALE: 1/4" = 1'-0"



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SET ISSUES & DATES:
DATE: 10-30-24
FOR HISTORIC BOARD SUBMISSION
DATE: 12-2-24
FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION
DATE: 12-9-24
FOR HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-9-24
DATE: 12-23-24
FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY PAOLA PEREZ
DATE: 12-24-24
FOR Z.B.A. SUBMISSION (IF FOR COMPLETENESS REVIEW BY HGA)
DATE: 1-11-25
FOR Z.B.A. RESUBMISSION WITH ADJUSTMENTS AS PER HGA. PLAN REVIEW
DATE: 5-14-25
FOR Z.B.A. RESUBMISSION WITH ADJUSTMENTS AS PER BOARD COMMENTARY FROM FIRST Z.B.A. MEETING ON 4-9-25



1 FRONT ELEVATION (IVY PLACE)
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL NOTES

PAIN T COLORS:
ALL EXTERIOR TRIM AND SIDING COLORS TO MATCH EXISTING HOUSE. SEE COLORS BELOW.
EXTERIOR PAINT COLORS: BENJAMIN MOORE 'AURA' PAINTS. BODY OF HOUSE: MONTGOMERY WHITE HC-33
TRIM: PHILIPSBURG BLUE HC-159
ALEXANDRIA BEIGE HC-77
LANCASTER WHITWASH HC-174

ROOF SHINGLES:
GRAND MANOR ASPHALT SHINGLE AT THE REAR ADDITION AND AT THE GARAGE TO MATCH EXISTING PORCH SHINGLES.

CHINESE BROWNSTONE:
CHINESE BROWNSTONE BY NEW JERSEY GRAVEL AND SAND COMPANY WITH APPLIED HAMMER FINISH TO THE SURFACE TO MATCH EXISTING COLOR. DIMENSIONS & THICKNESS OF STONE TO MATCH EXISTING HOUSE AS CLOSELY AS POSSIBLE.

YELLOW BRICK:
YELLOW BRICK TO BE SOURCED BY GLEN GERY PITTSBURGH PLANT OR BELDEN SUGAR CREEK PLANT. COLOR & DIMENSIONS TO MATCH EX. YELLOW BRICK AS CLOSELY AS POSSIBLE.

WINDOWS:
NEW WINDOWS TO BE BY MARVIN. COLOR & STYLE TO MATCH EX. HOUSE

LEUNG RESIDENCE
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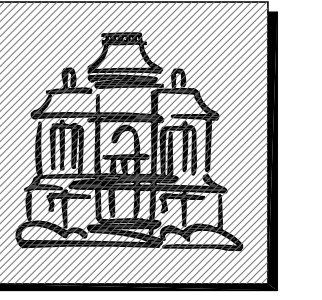
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DRAWING TITLE:	ORIGINAL DATE:
SEE DRAWING TITLE	10-30-24
DRAWN BY:	REV DATE:
JR	5-14-25
SCALE:	
SEE DRAWING TITLE	
DRAWN BY:	A-04
JR	



2 FRONT ELEVATION (CARLISLE PLACE)
SCALE: 1/4" = 1'-0"



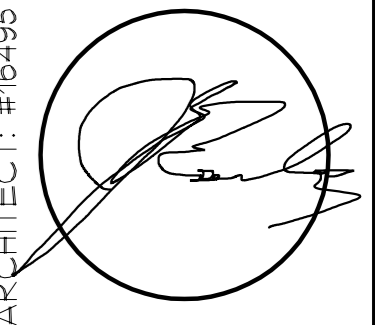
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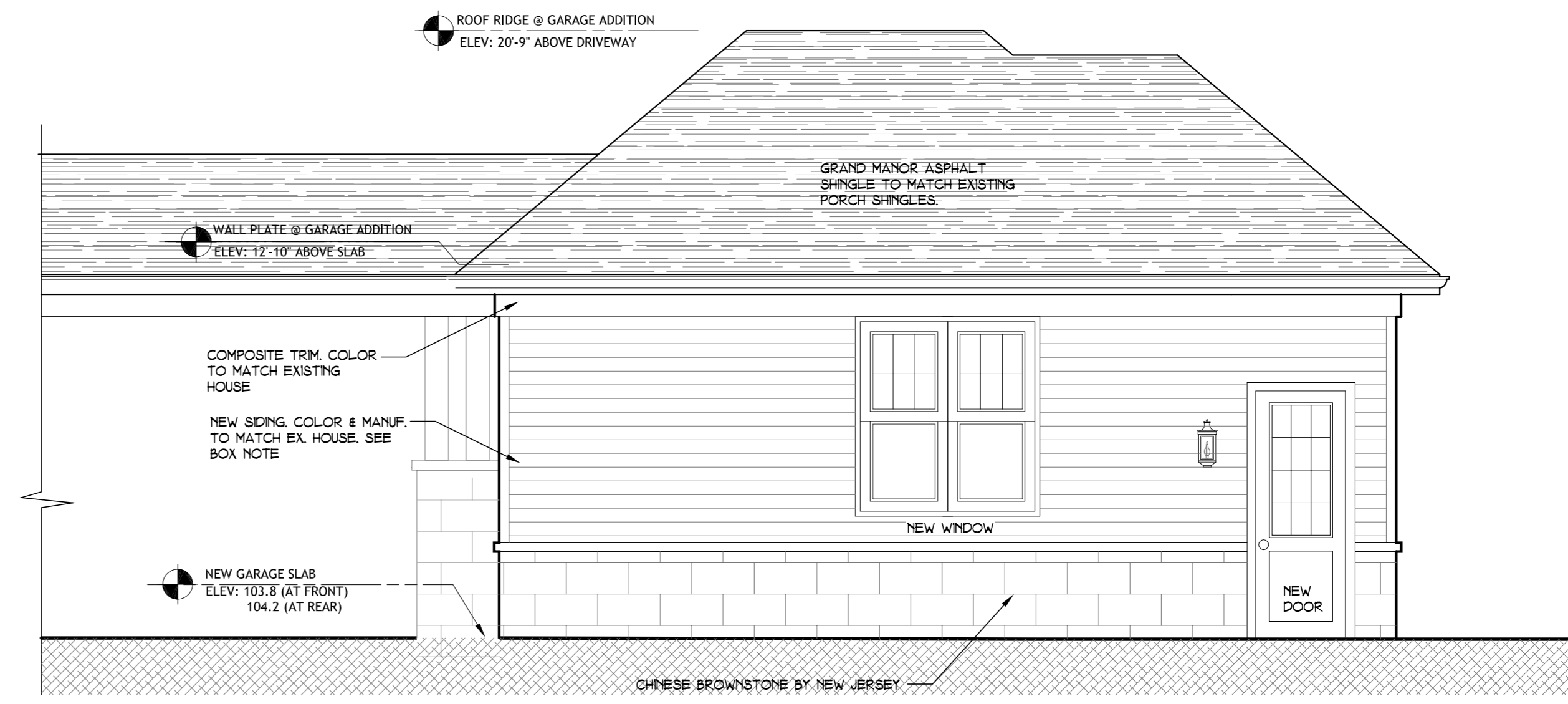
SET ISSUES & DATES:
DATE: 10-30-24
ISSUE: FOR HISTORIC BOARD SUBMISSION AND FOR ZONING REVIEW SUBMISSION
DATE: 12-2-24
ISSUE: FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION
DATE: 12-9-24
ISSUE: HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-9-24
DATE: 12-23-24
ISSUE: FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY TACLA PEREZ
DATE: 12-24-24
ISSUE: FOR Z.B.A. SUBMISSION (E FOR COMPLETENESS REVIEW BY IGA)
DATE: 5-11-25
ISSUE: FOR Z.B.A. RESUBMISSION WITH ADJUSTMENTS AS PER HGA PLAN REVIEW
DATE: 5-14-25
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ADDITION / RENOVATION TO
SINGLE FAMILY RESIDENCE
256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT #161995



DRAWING TITLE:	ORIGINAL DATE
SEE DRAWING TITLE	10-30-24
DRAWN BY:	REV DATE
JR	5-14-25
SCALE:	
SEE DRAWING TITLE	
DRAWN BY:	A-05
JR	

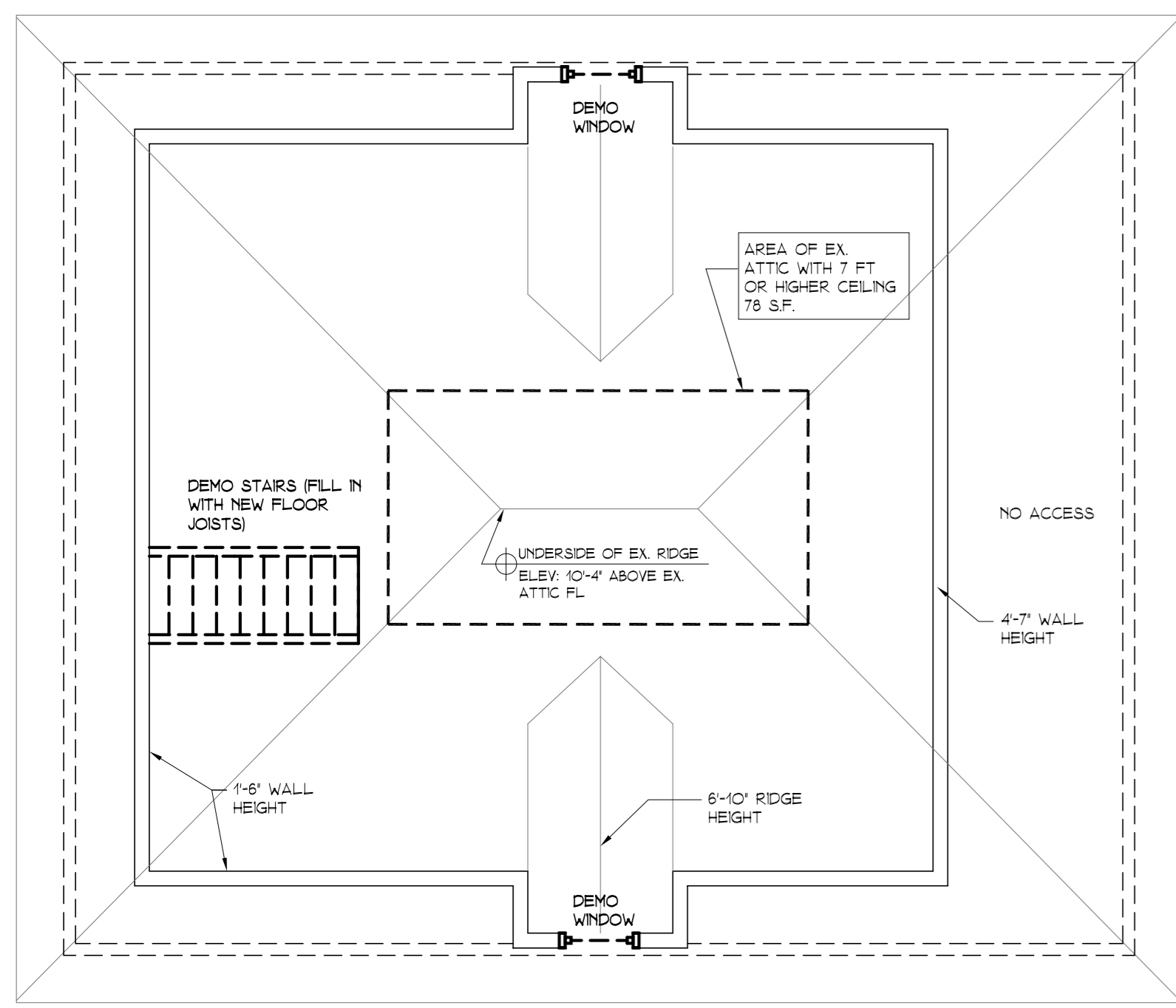


1 PROPOSED REAR ELEVATION (OPPOSITE IVY)
A-05 SCALE: 1/4" = 1'-0"

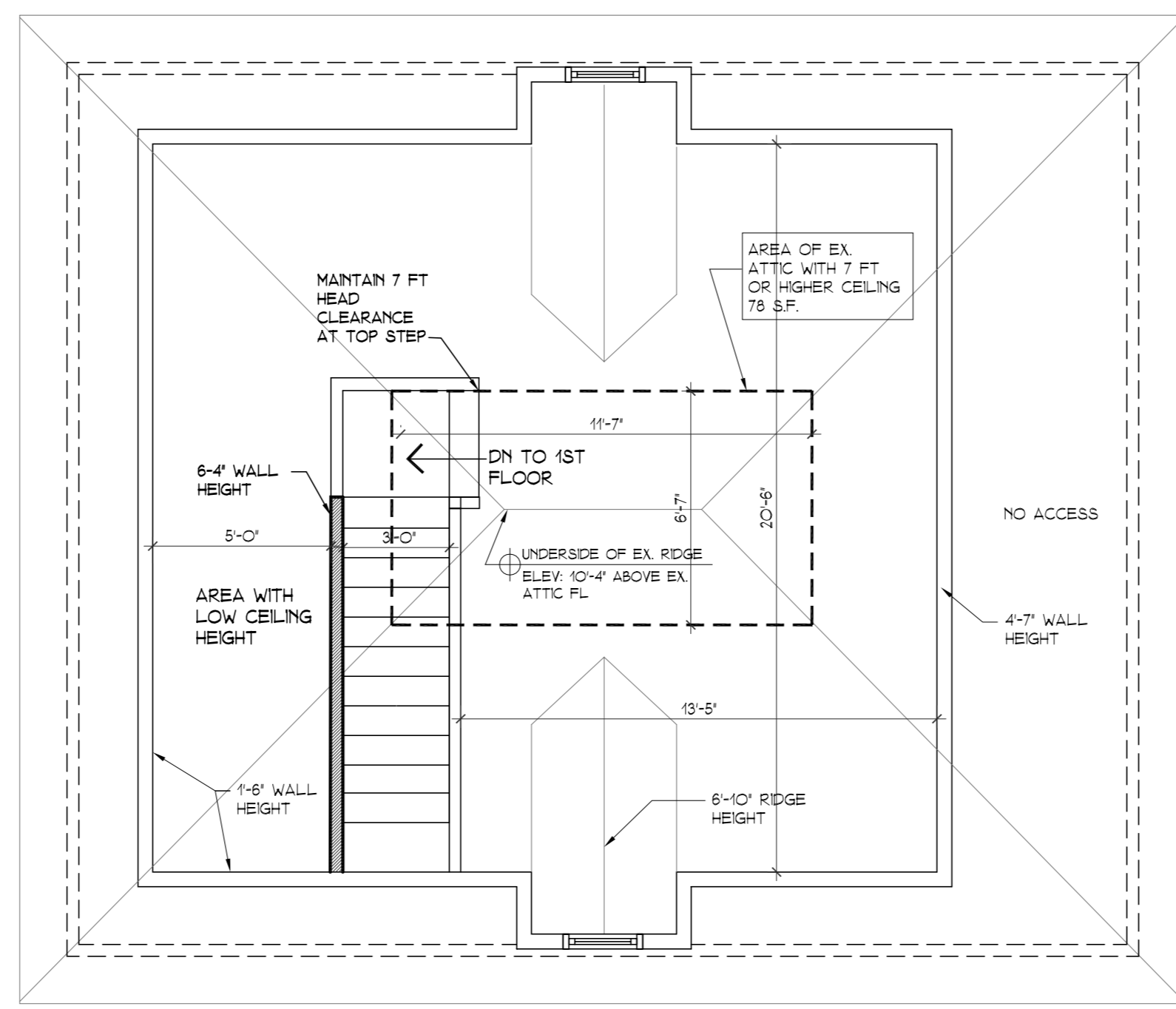
2 REAR GARAGE ELEVATION
A-05 SCALE: 1/4" = 1'-0"



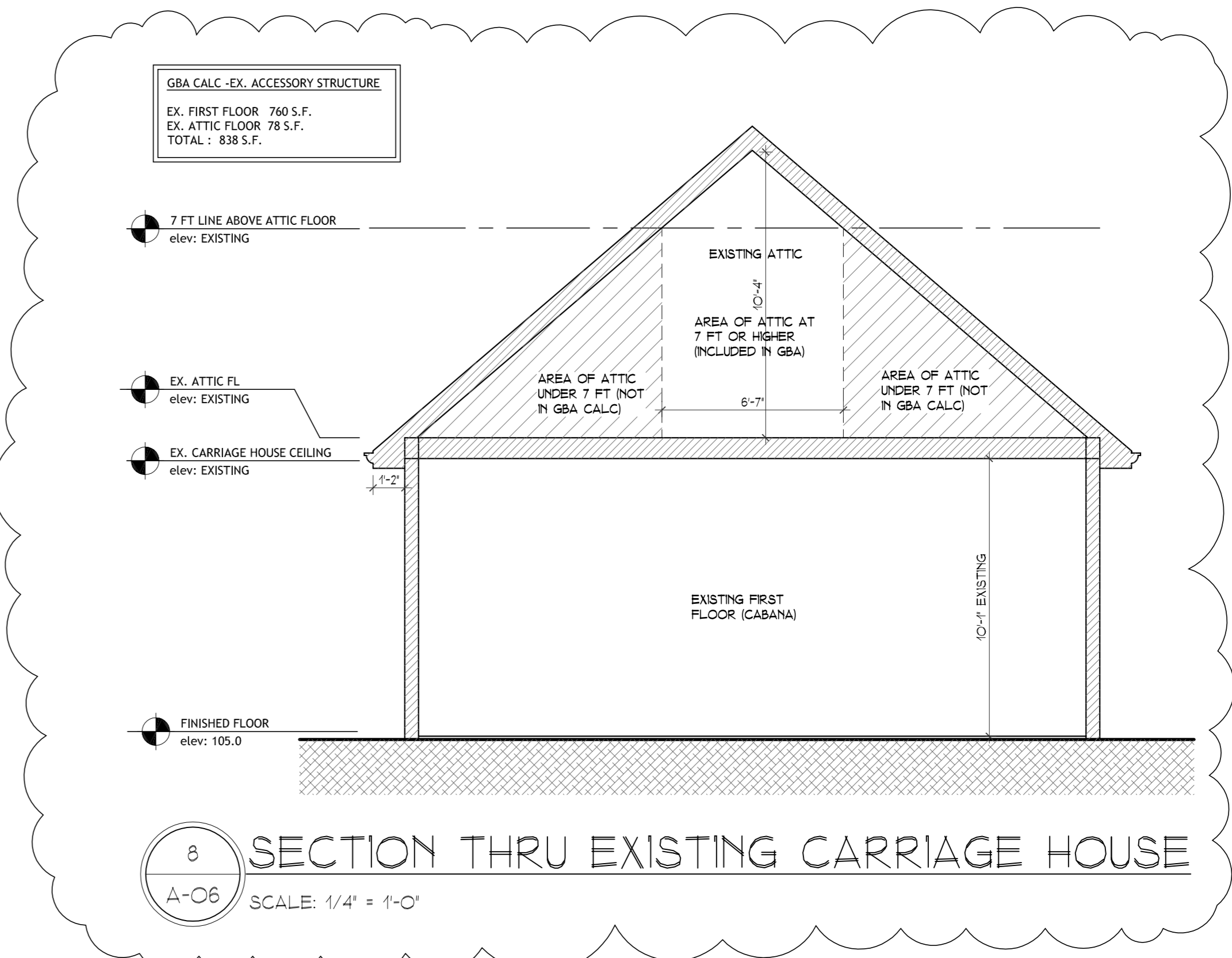
2 PROPOSED ELEVATION (OPPOSITE CARLISLE)
A-05 SCALE: 1/4" = 1'-0"



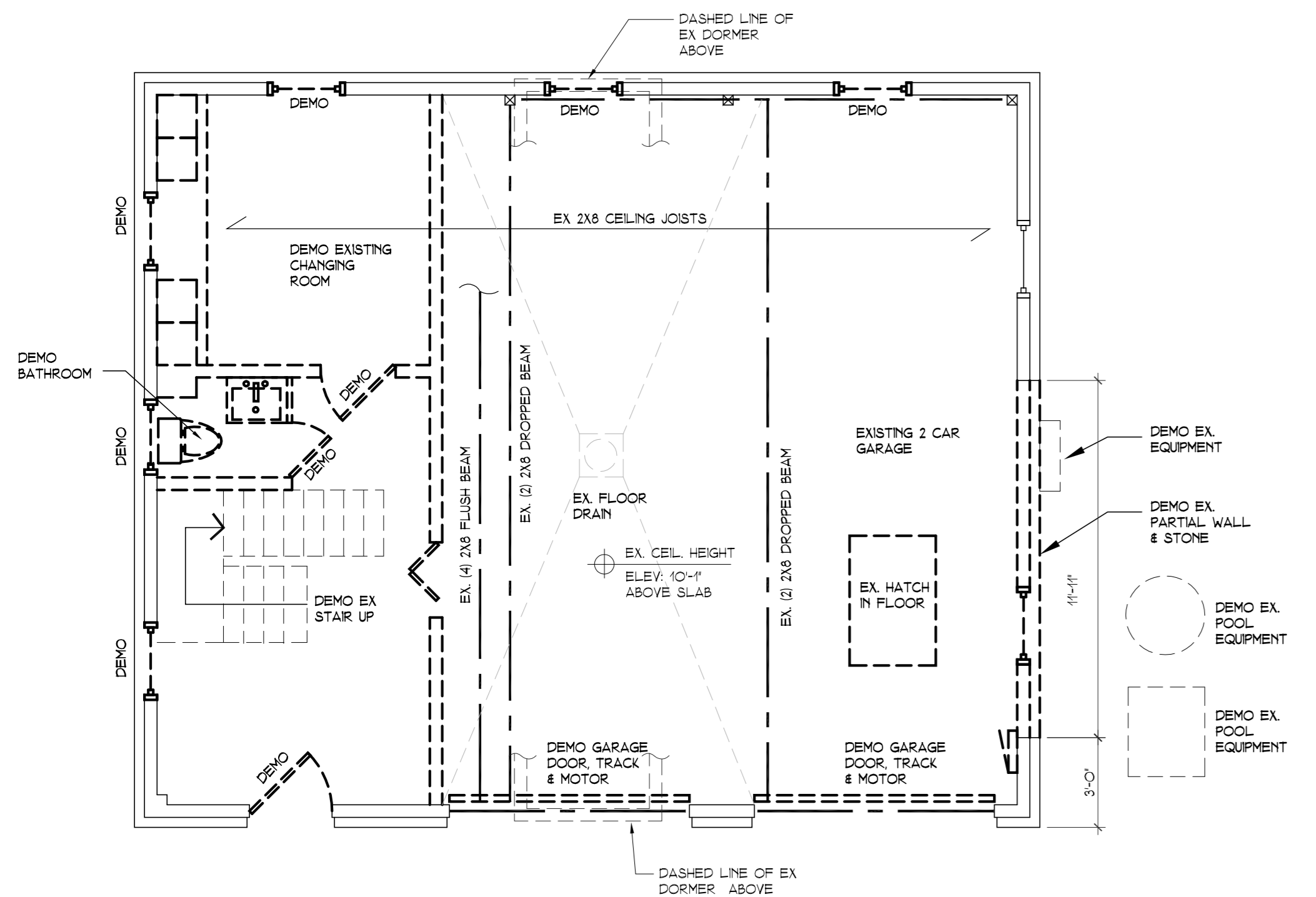
1 CARRIAGE HOUSE DEMOLITION ATTIC PLAN
A-06 SCALE: 1/4" = 1'-0"



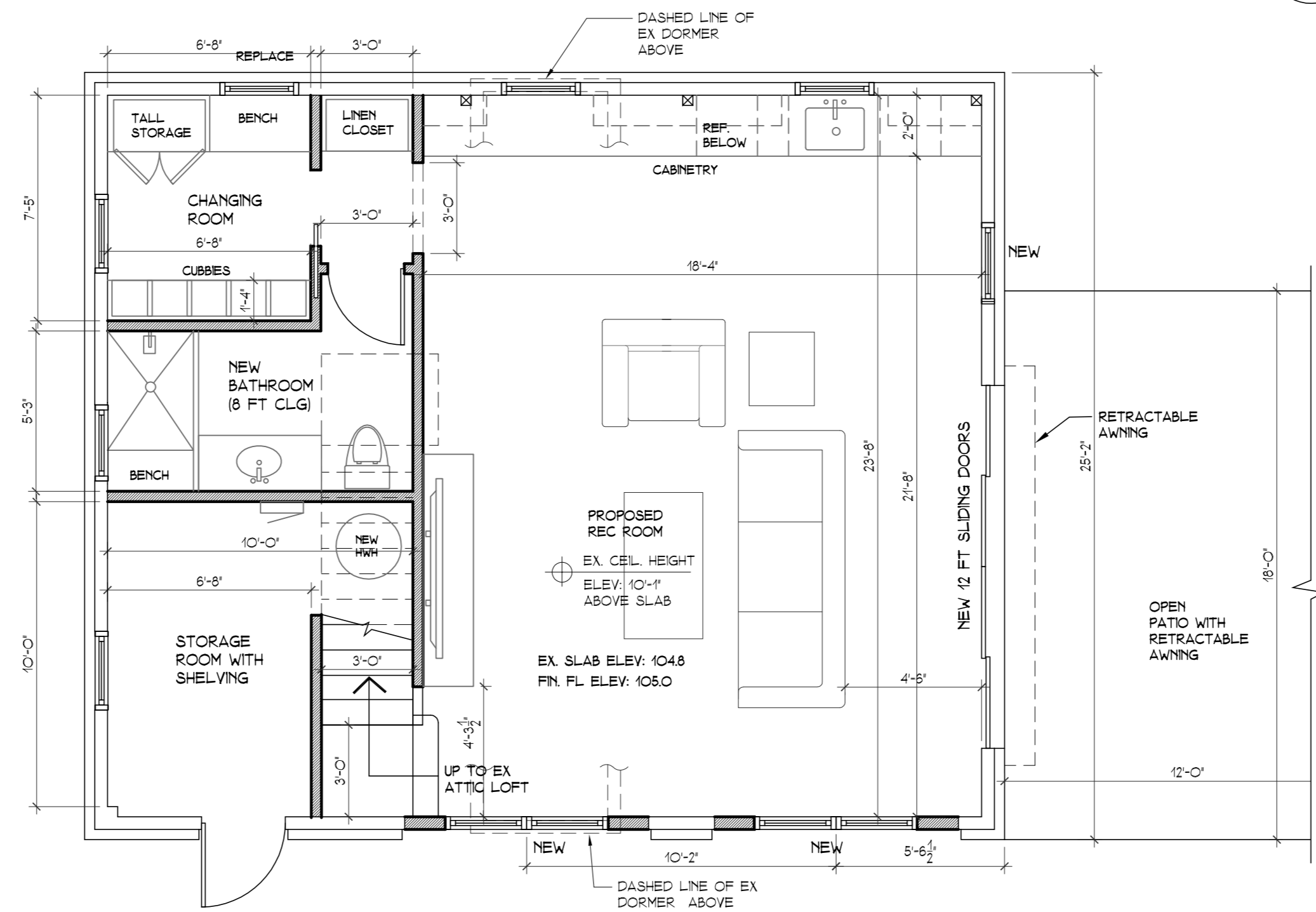
3 CARRIAGE HOUSE ATTIC PLAN
A-06 SCALE: 1/4" = 1'-0"



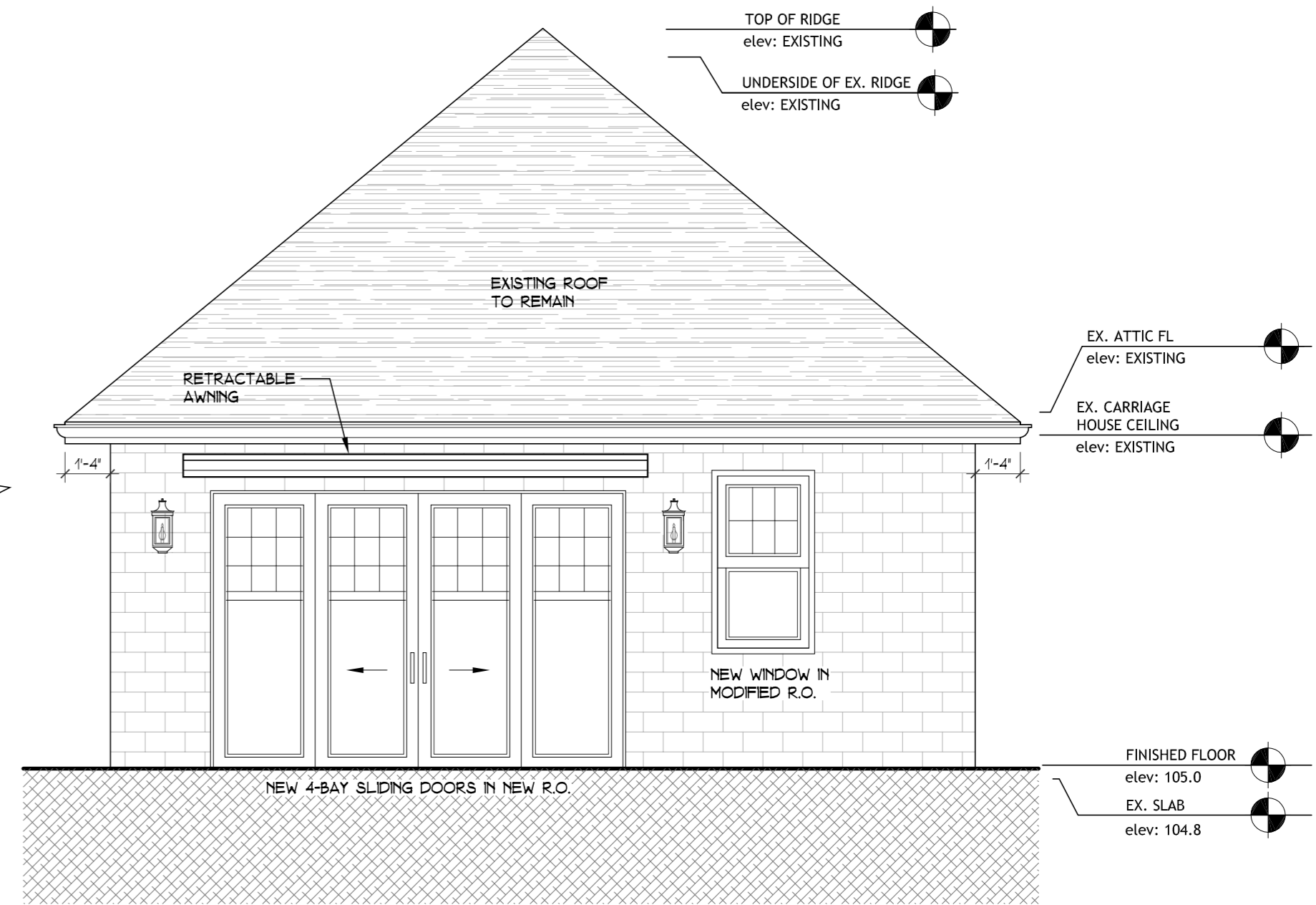
8 SECTION THRU EXISTING CARRIAGE HOUSE
A-06 SCALE: 1/4" = 1'-0"



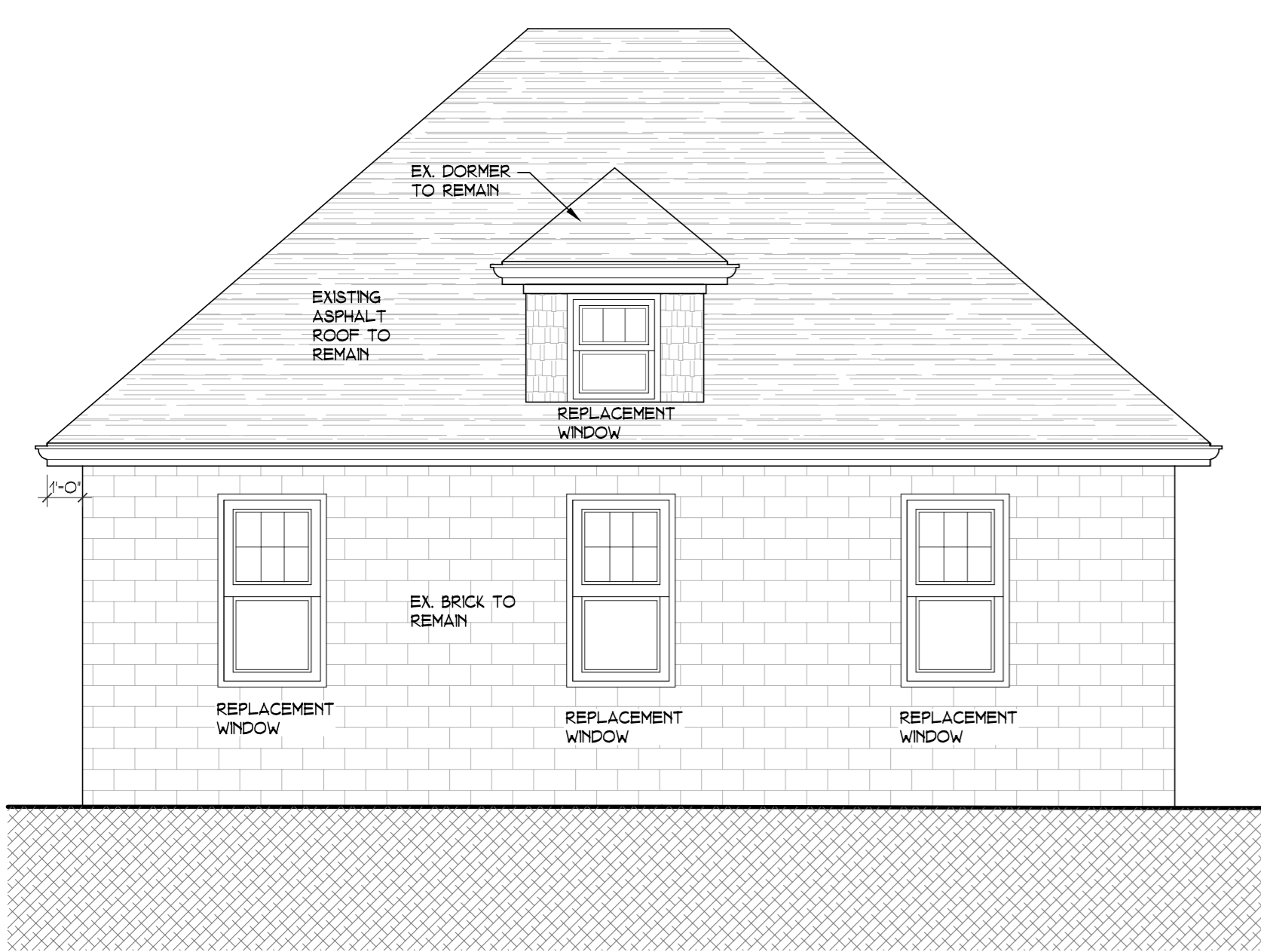
2 CARRIAGE HOUSE DEMOLITION PLAN
A-06 SCALE: 1/4" = 1'-0"



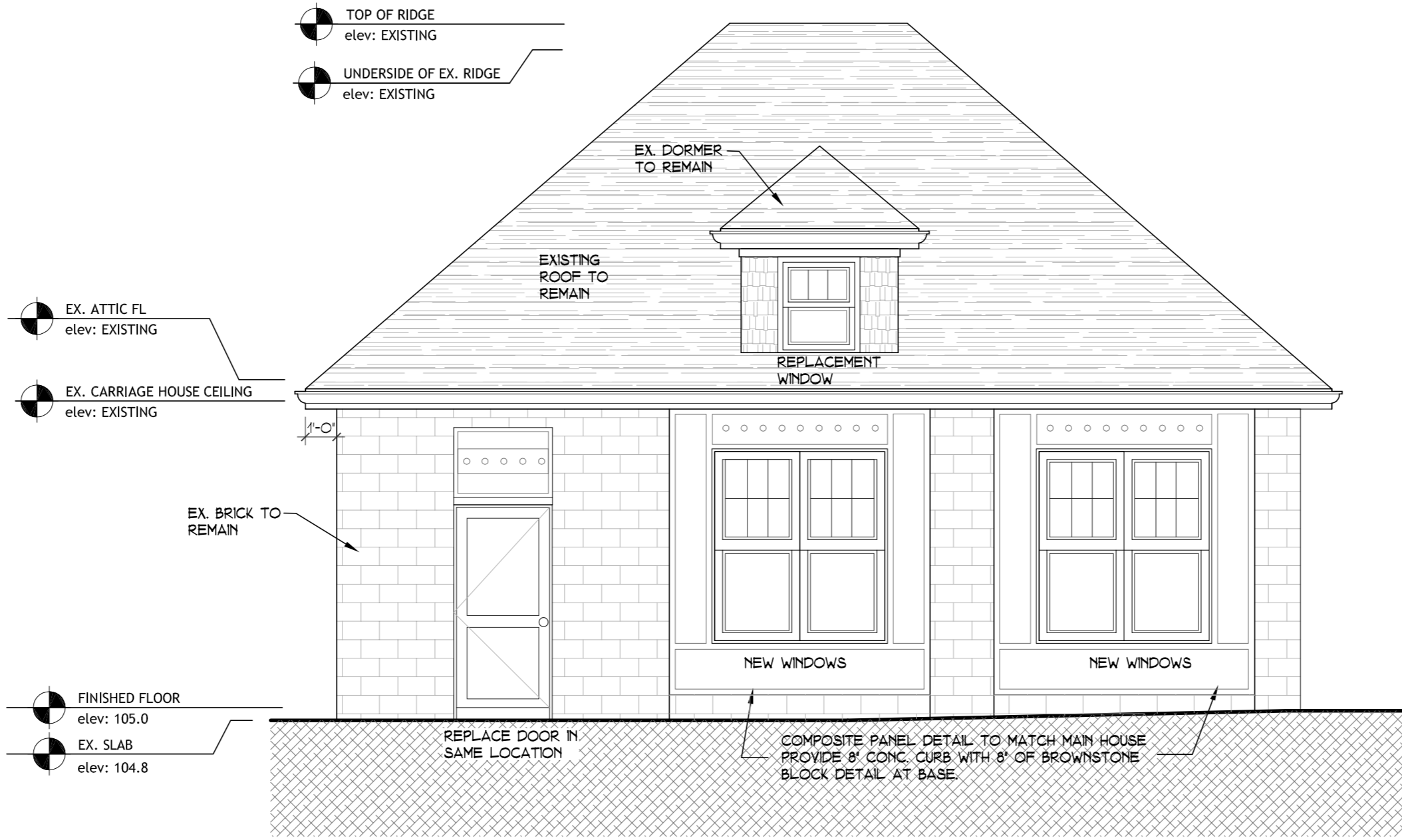
4 CARRIAGE HOUSE PLAN
A-06 SCALE: 1/4" = 1'-0"



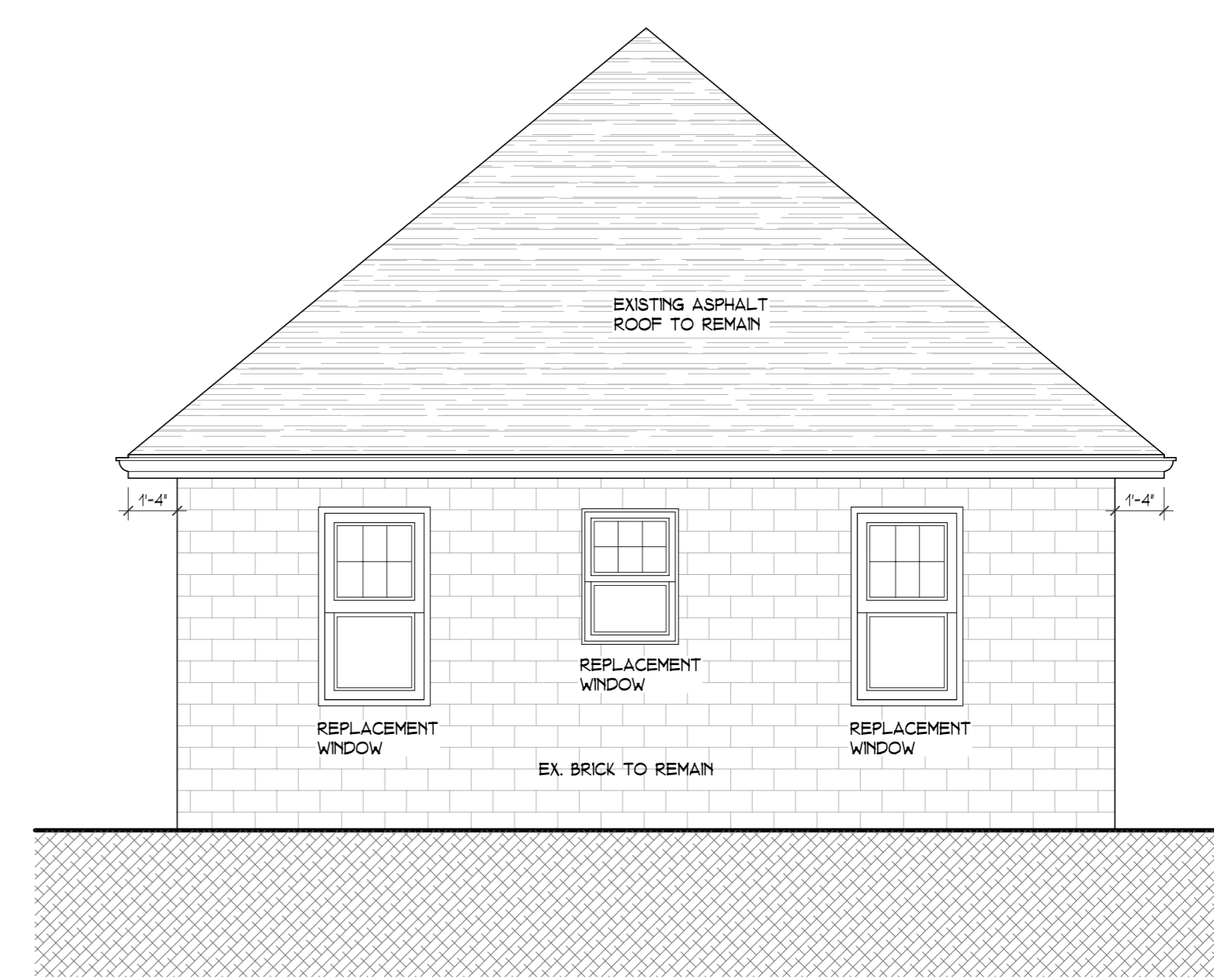
8 CARRIAGE HOUSE FACING POOL
A-06 SCALE: 1/4" = 1'-0"



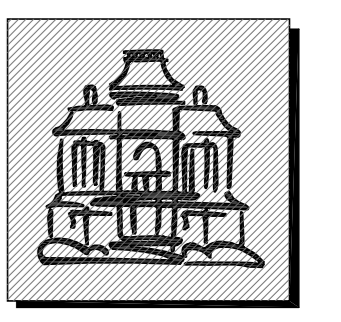
5 CARRIAGE HOUSE REAR ELEVATION
A-06 SCALE: 1/4" = 1'-0"



6 CARRIAGE HOUSE FACING IVY
A-06 SCALE: 1/4" = 1'-0"



7 CARRIAGE HOUSE SIDE ELEVATION
A-06 SCALE: 1/4" = 1'-0"



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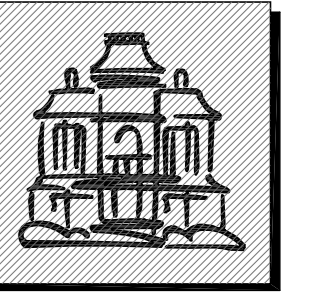
SET ISSUES & DATES:

DATE	ISSUE	FOR HISTORIC BOARD SUBMISSION	FOR HISTORIC BOARD SUBMISSION AND FOR ZONING REVIEW SUBMISSION	FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION	HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-24-24	FORMAL LETTER OF DENIAL RECEIVED ON 12-29-24 BY FACLA PEREZ	FOR ZBA SUBMISSION (E FOR COMPLETENESS REVIEW BY HGA)	FOR ZBA RESUBMISSION WITH ADJUSTMENTS AS PER HGA PLAN REVIEW	FOR ZBA RESUBMISSION WITH ADJUSTMENTS AS PER BOARD COMMENTARY FROM FIRST ZBA MEETING ON 4-9-25
10-30-24	1								
12-24-24	2								
12-28-24	3								
12-23-24	4								
12-24-24	5								
1-11-25	6								
5-14-25	7								

LEUNG RESIDENCE
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256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT: #161995

DRAWING TITLE	ORIGINAL DATE
	10-30-24
	5-14-25
SCALE: SEE DRAWING TITLE	
DRAWN BY: JR	A-06



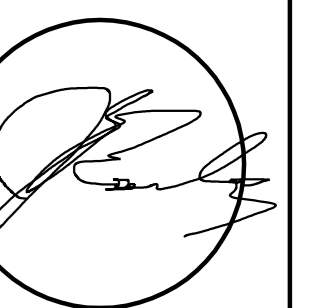
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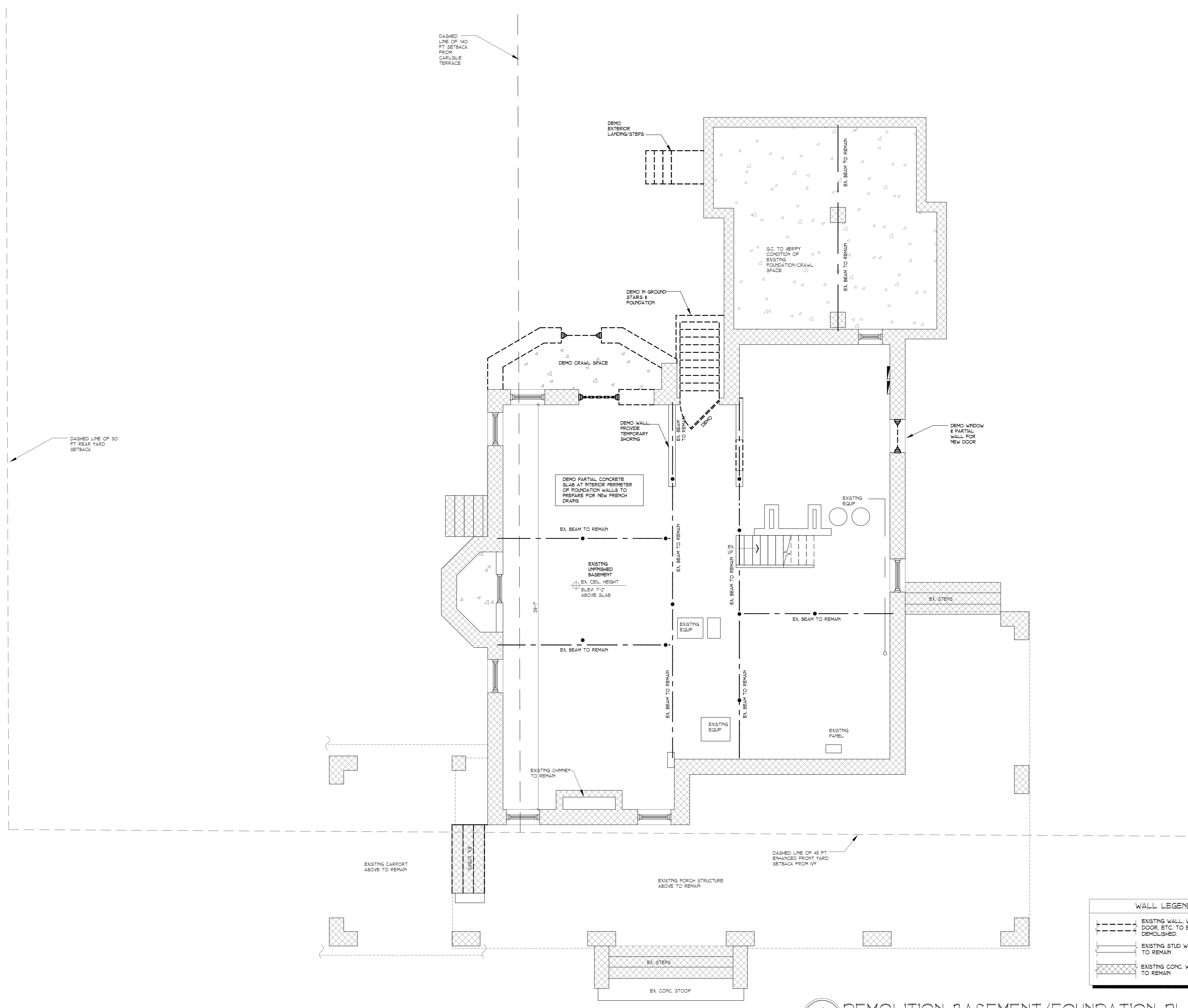
SET ISSUES & DATES:	
DATE:	10-30-24
ISSUE:	FOR HISTORIC BOARD SUBMISSION
DATE:	12-2-24
ISSUE:	FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION AND FOR ZONING REVIEW SUBMISSION
DATE:	12-5-24
ISSUE:	HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-5-24
DATE:	12-23-24
ISSUE:	FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY PAOLA PEREZ
DATE:	12-24-24
ISSUE:	FOR Z.B.A. SUBMISSION (E FOR COMPLETENESS REVIEW BY HGA)
DATE:	3-21-25
ISSUE:	FOR Z.B.A. RESUBMISSION WITH ADJUSTMENTS AS PER HGA PLAN REVIEW
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256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT: #161995



DRAWING TITLE:	ORIGINAL DATE:
	10-30-24
SCALE:	REV DATE:
SEE DRAWING TITLE	5-14-25
DRAWN BY:	D-00
JR	

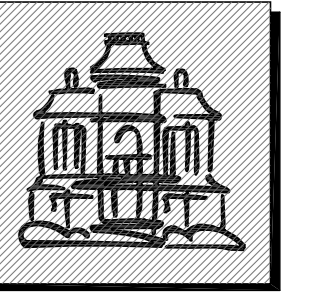


WALL LEGEND	
	EXISTING WALL, WINDOW, DOOR, ETC. TO BE DEMOLISHED.
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN

1
D-00

DEMOLITION BASEMENT/FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

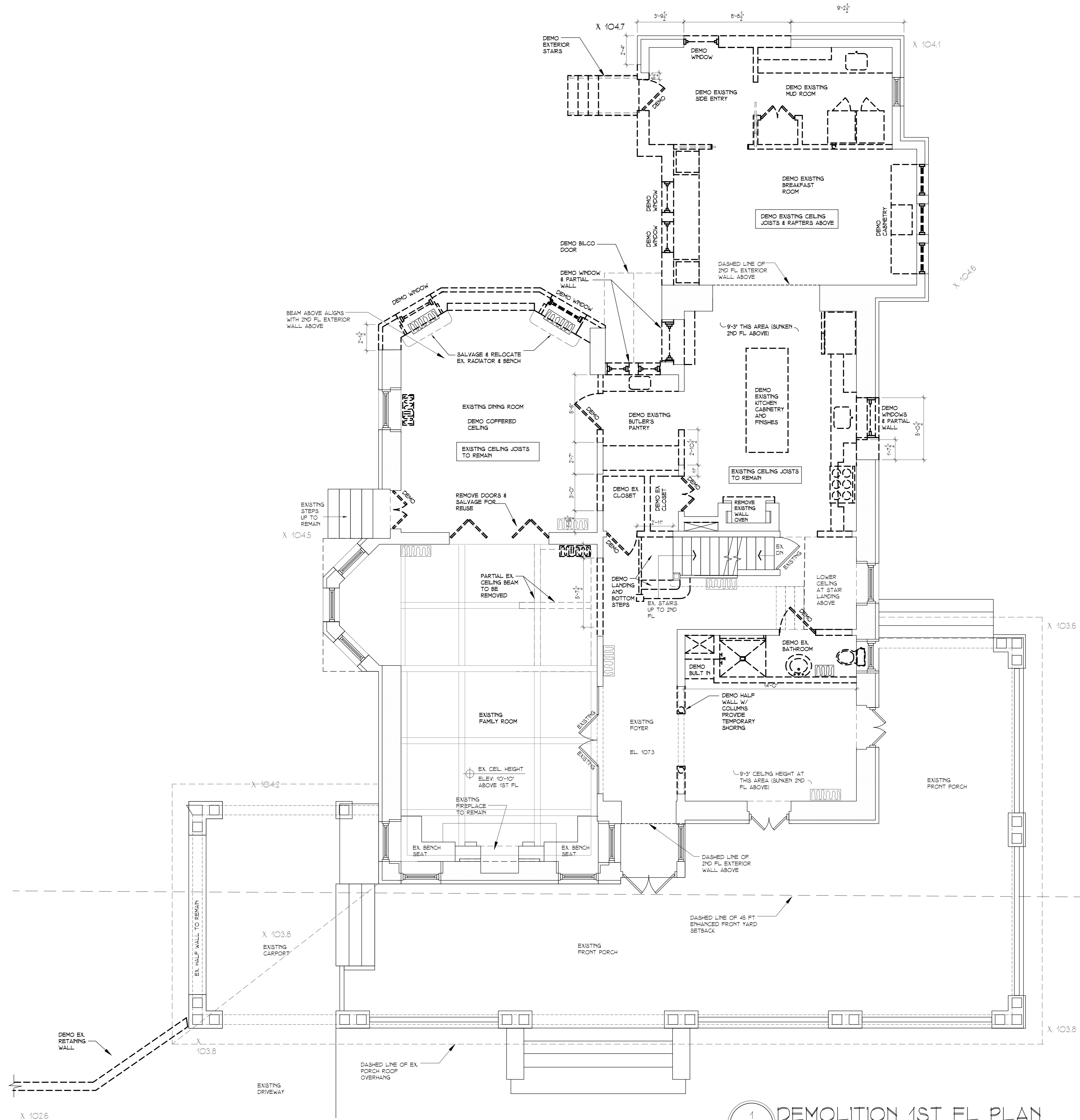


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SET ISSUES & DATES:

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12-2-24	FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION AND FOR ZONING REVIEW SUBMISSION
12-9-24	FOR HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-2-24
12-23-24	FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY PAOLA PEREZ
12-24-24	FOR Z.B.A. SUBMISSION (FOR COMPLETENESS REVIEW BY HGA)
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LEUNG RESIDENCE
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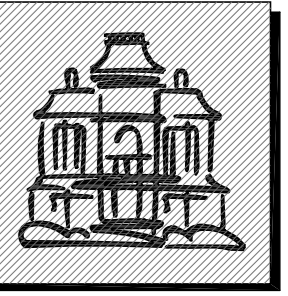
JORDAN ROSENBERG, R.A.
NJ ARCHITECT: #161995

DRAWING TITLE	ORIGINAL DATE
DEMOLITION 1ST FL PLAN	10-30-24
REV DATE	REV DATE
	5-14-25
SCALE	
SEE DRAWING TITLE	
DRAWN BY	
JR	
	D-01

1 DEMOLITION 1ST FL PLAN
D-01 SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL, WINDOW, DOOR, ETC. TO BE DEMOLISHED.
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN



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SET ISSUES & DATES:

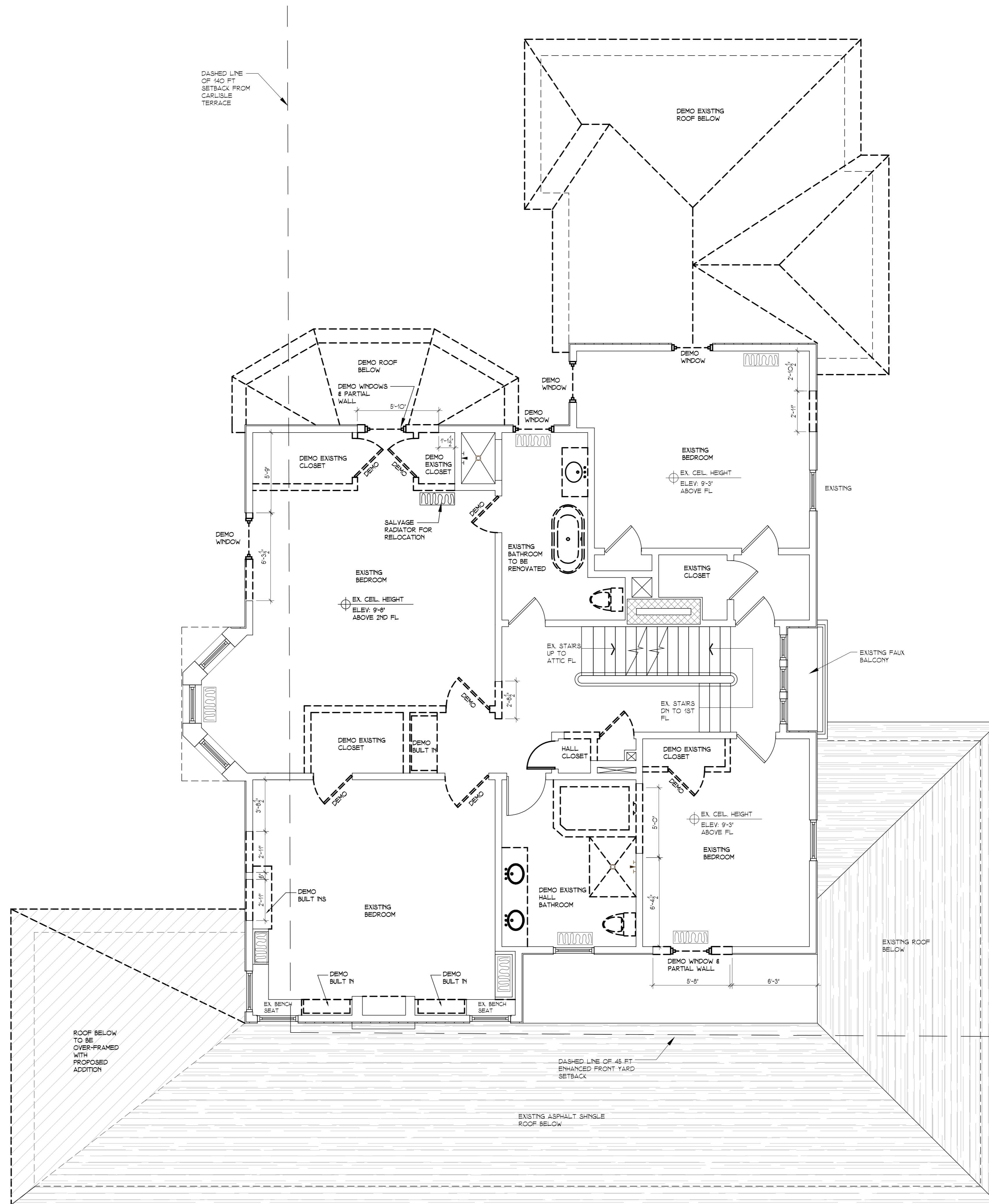
DATE	ISSUE
10-30-24	FOR HISTORIC BOARD SUBMISSION
12-2-24	FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION AND FOR ZONING REVIEW SUBMISSION
12-8-24	HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-2-24
12-23-24	FORMAL LETTER OF DENIAL RECEIVED ON 12-23-24 BY FACILA PEREZ
12-24-24	FOR Z.B.A. SUBMISSION (E FOR COMPLETENESS REVIEW BY HGA)
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256 IVY PLACE, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT: #161995



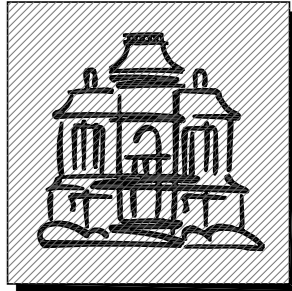
DRAWING TITLE:	ORIGINAL DATE
	10-30-24
SCALE:	REV DATE
SEE DRAWING TITLE	5-14-25
DRAWN BY:	D-02
JR	



1 DEMOLITION 2ND FL PLAN
D-02 SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL, WINDOW, DOOR, ETC. TO BE DEMOLISHED.
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN



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& ASSOCIATES

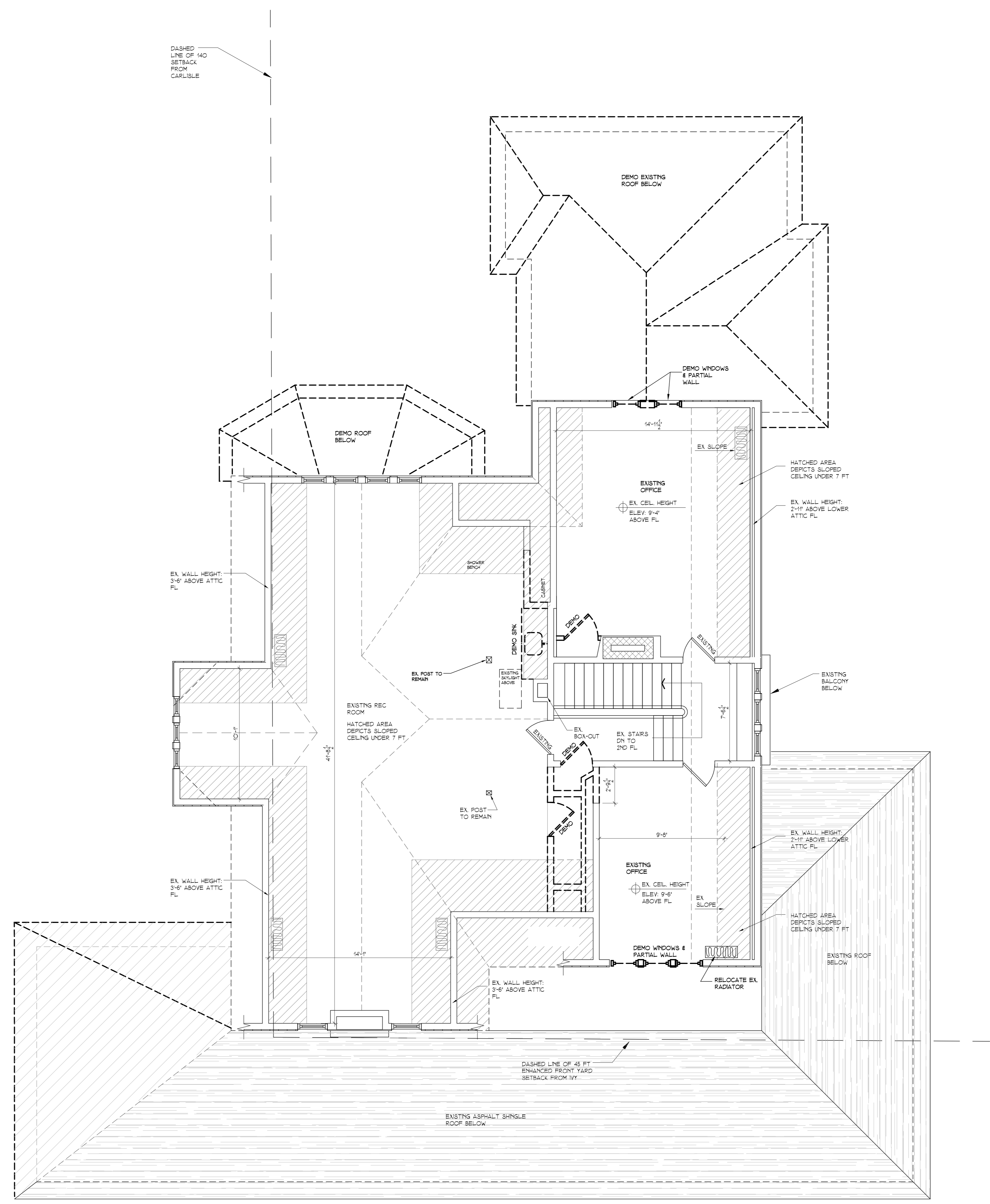
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ISSUE: FOR HISTORIC PRESERVATION COMMISSION RESUBMISSION AND FOR ZONING REVIEW SUBMISSION
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ISSUE: HISTORIC PRESERVATION COMMISSION APPROVAL ON 12-8-24
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DRAWING TITLE:	ORIGINAL DATE:
	10-30-24
SCALE:	REV DATE:
SEE DRAWING TITLE	5-14-25
DRAWN BY:	
JR	D-03



1 DEMOLITION ATTIC FL PLAN
D-03 SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALL, WINDOW, DOOR, ETC. TO BE DEMOLISHED.
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN