

ALTERATION / ADDITION FOR: MATHEW RESIDENCE 314 SOUTH VAN DIEN RIDGEWOOD, NEW JESRSEY

PROJECT DATA

USE GROUP5B
 CONSTRUCTION TYPER-5
 BUILDING AREA
 (CALCULATIONS DONE FROM OUTSIDE FACE OF WALL)
 1ST FLOOR EXISTING.....1,492.1 S.F.
 1ST FLOOR NEW ADDITION.....473.5 S.F.
 2ND FLOOR NEW ADDITION.....1,950.4 S.F.
 TOTAL LIVABLE AREA.....3,916.0 S.F.
 NEW VOLUME (CU. FT.)29,432.53 CU. FT.
 AREA OF LARGEST FLOOR (FIRST FLOOR).....1,965.5 SQ. FT.

SCOPE OF WORK

1. THESE SPECIFICATIONS ARE GENERAL IN FORM. THE OWNER IN APPLYING THEM ASSUMES COMPLETE RESPONSIBILITY FOR THEIR SUBSTITUTIONS, CHANGES AND OMISSIONS.
2. THE CONTRACTOR SHALL APPLY ALL MATERIALS, FIXTURES AND LABOR NECESSARY TO COMPLETE ALL THE WORK NOTED ON THESE PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM DEFECTS, ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER ACCEPTABLE WITH MODERN PRACTICE.
3. THE ARCHITECT LIMITS HIS RESPONSIBILITY IN REGARDS TO THESE DRAWINGS, TO DIMENSIONS SIZE OF THE STRUCTURAL MEMBERS AND MATERIALS BEFORE PROCEEDING. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THE BUILDING IS CONSTRUCTED WITH DIMENSIONS, SIZES, OR MATERIALS, THAT DEVIATE FROM THESE DRAWINGS.
4. THE ARCHITECT HAS MADE NO DETERMINATION AS TO THE PRESENCES OF ANY ASBESTOS CONTAINING OR OTHERWISE HARMFUL MATERIAL. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH ANY KNOWLEDGE OF SUCH MATERIALS PRIOR TO COMMENCING THE WORK. THE CONTRACTOR, PRIOR TO SUBMITTING A BID SHALL VISIT THE SITE TO DETERMINE IF ANY VISIBLE ASBESTOR OR OTHER HARMFUL MATERIAL IS PRESENT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY SUCH MATERIAL WHETHER KNOWN PRIOR TO START OF WORK OR UNCOVERED AT ANY TIME DURING THE PROJECT.

GENERAL NOTES & CODE REFERENCES

1. ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
2. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR ANY OTHER DOCUMENTS, EACH CONTRACTOR CONCERNED, SHALL WITHIN (7) DAYS AFTER RECEIVING SUCH DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, NOTIFY THE ARCHITECT, IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULT OF ANY SUCH ERROR OR OMISSION AND THE COST OF RECTIFYING THE SAME.
3. ALL STRUCTURAL BEAM OPENINGS TO BE CONFIRMED WITH HOME OWNER PRIOR TO INSTALLATION IF HOMEOWNER REQUESTS BEAM/COLUMN CHANGES, CONTRACTOR TO NOTIFY ARCHITECT.
4. KITCHEN CABINETS LAYOUTS ARE SHOWN FOR GENERIC INFORMATION ONLY. KITCHEN CABINERY INSTALLER IS SOLELY RESPONSIBLE TO FIELD VERIFY FINAL DIMENSIONS PRIOR TO FABRICATION. KITCHEN CABINERY FABRICATOR IS RESPONSIBLE FOR PRODUCING CABINERY MILLWORK PLANS, ELEVATIONS, AND DETAILS AND COORDINATE WITH HOMEOWNER LAYOUT AND STRUCTURAL CHANGES AS A RESULT OF THE FINAL KITCHEN CABINERY LAYOUT SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER.
5. ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL PHASES OF THE CONSTRUCTION SHALL COMPLY TO LOCAL, STATE, AND FEDERAL SAFETY LAWS.
6. ALL ELECTRICAL WORK SHALL COMPLY TO THE NATIONAL ELECTRICAL CODE. (NFPA 70 / 2020)
7. ALL PLUMBING WORK SHALL COMPLY TO THE NATIONAL STANDARD PLUMBING CODE 2021 EDITION.
8. ALL HEATING, VENTILATION AND AIR CONDITIONING WORK, INSTALLATION AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NJ EDITION OF THE INTERNATIONAL MECHANICAL CODE (2021).
9. ALL BUILDING SHALL CONFORM TO INTERNATIONAL RESIDENTIAL CODE - 2021 N.J. EDITION AND REHABILITATION SUBCODE (NUJCC, SUBCHAPTER 6)
10. ENERGY CONSERVATION: INTERNATIONAL ENERGY CONSERVATION CODE (2021)

DRAWING LIST

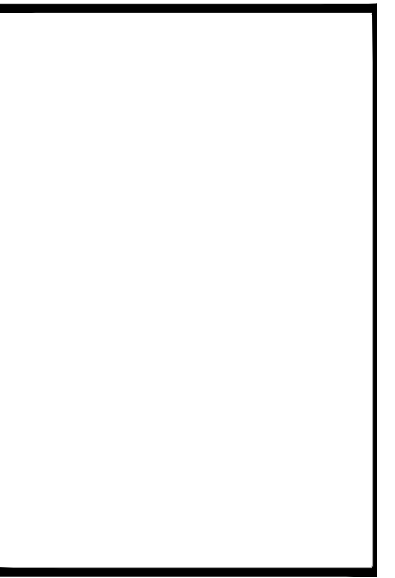
ARCHITECTURAL	
T-1	PROJECT DATA, SCOPE OF WORK & ABBREVIATIONS
T-2	PLOT PLAN, ZONING REQUIREMENTS SCHEDULE
A-1	PROPOSED BASEMENT DEMOLITION PLAN, PROPOSED FRAMING PLAN FOR BASEMENT, FOUNDATION FRAMING FOR PORCHES & DECK, WALL PARTITION TYPES LEGEND, GENERAL NOTES FOR CONTRACTOR, POST BASE DETAIL, POST CAP DETAIL, EXTERIOR STAIR STRINGER DETAIL & WOOD STAIR DETAIL FOR EXTERIOR USE
A-2	PROPOSED FIRST FLOOR DEMOLITION PLAN, PROPOSED FIRST FLOOR FRAMING PLAN ALONG WITH NEW PORCHES & DECK FRAMING PLANS
A-3	PROPOSED SECOND FLOOR FRAMING PLAN, PROPOSED CEILING & ROOF FRAMING PLAN, DECK FRAMING SECTIONAL DETAIL & RAFTER DETAIL OF CONNECTION TO TOP PLATE
A-4	PROPOSED FRONT FACADE, PROPOSED LEFT SIDE FACADE, WINDOW SCHEDULE, WINDOW FRAMING DETAIL, HANDRAIL FRAMING DETAIL & DECK FLASHING DETAIL AGAINST THE DWELLING
A-5	PROPOSED REAR FACADE, PROPOSED RIGHT SIDE FACADE, BALLUSTRADE TOLERANCE DETAIL & INTERIOR STAIR DETAIL
A-6	PROPOSED BASEMENT POWER POWER & LIGHTING PLAN WITH CRAWL SPACE VENT LOCATIONS, BEAM BOLTING DETAIL, N.E.C. WIRING SCHEDULE AND TJI JOIST HOLE ALLOWANCES
A-7	PROPOSED FIRST FLOOR & SECOND FLOOR POWER & LIGHTING PLANS, ELECTRICAL SYMBOLS LEGEND & DETAILED CROSS SECTION THROUGH MASONRY FRONT PORCH & STAIR FRAMING
A-8	ELECTRICAL SERVICE PANEL SCHEDULES, PLUMBING FIXTURE CONNECTION SCHEDULE, SCHEMATIC PLUMBING RISER DIAGRAM & DETAILED CROSS SECTION THROUGH GABLE ROOF FRAMING AT ENTRY PORCH
A-9	DETAILED CROSS SECTION THROUGH FULL DWELLING FROM REAR
A-10	GARAGE FOUNDATION FRAMING PLAN, GARAGE FRAMING PLAN, GARAGE POWER & LIGHTING PLAN AND GARAGE ROOF FRAMING PLAN
A-11	GARAGE ELEVATIONS & UNDERGROUND CONDUIT DETAIL
A-12	SPECIFICATIONS

GRAYED OUT SHEETS NOT INCLUDED AS PART OF THE ZONING REVIEW SET

ABBREVIATIONS

A.C.T.	ACOUSTIC CEILING TILE	CAB.	CABINET	DET.	DETAIL	F.D.	FLOOR DRAIN	HDR.	HEADER	MAS.	MASONRY	PLAST.	PLASTIC	SCHED.	SCHEDULE	U.O.N.	UNLESS OTHERWISE NOTED
ADJUST.	ADJUSTABLE	CEM.	CEMENT	D.F.	DRINKING FOUNTAIN	F.F.	FINISHED FLOOR	HTR.	HEATER	MAT.	MATERIAL	PCS.	PIECES	SECT.	SECTION		
A.F.F.	ABOVE FINISH FLOOR	CL	CENTER LINE	D.H.	DOUBLE HUNG	F.A.I	FRESH AIR INTAKE	HORIZ.	HORIZONTAL	MAX.	MAXIMUM	PROP.	PROPERTY	SHT.	SHEET		
@	AT	CLG.	CEILING	DN.	DOWN	FLASH	FLASHING	HGT.	HEIGHT	MECH.	MECHANICAL	PART.	PARTITION	SIM.	SIMILAR	V.C.T.	VINYL COMPOSITE TILE
ANCH.	ANCHORED	C.J.	CEILING JOINT	DIAG.	DIAGONAL	F.E.	FIRE EXTINGUISHER	H.M.	HOLLOW METAL	MFR.	MANUFACTURER	PERF.	PERFORATED	SQ. FT.	SQUARE FOOT	VERT.	VERTICAL
ADJ.	ADJACENT	CL	CLOSET	DWG	DRAWING	FIN.	FINISH			MIN.	MINIMUM	PL	PLATE	SPECS.	SPECIFICATIONS	V.T.R.	VENT THRU ROOF
ALUM.	ALUMINUM	CONC.	CONCRETE	(E).	EXISTING	F.L.R.	FLOOR	I.D.	INSIDE DIAMETER	M.O.	MASONRY OPENING	PTD.	PAINTED	STIFF.	STIFFENERS		
ALT.	ALTERNATE	COL.	COLUMN	EA.	EACH	FOUND.	FOUNDATION	INSUL.	INSULATION	MTD.	MOUNTED	PR.	PAIR	STL.	STEEL	W/	WITH
APPROX.	APPROXIMATE	CONSTR.	CONSTRUCTION	ELEV.	ELEVATION	F.R.T.	FIRE RETARDANT TREATED	INFO.	INFORMATION	M.L.	MICRO LAM	P.T.	PRESSURE TREATED	STOR.	STORAGE	WD.	WOOD
APB	ANTHONY POWER BEAM	C.O.	CLEAN OUT	EQUIP.	EQUIPMENT			INT.	INTERIOR	M.S.	MARBLE SADDLE			STRUCT.	STRUCTURE	W.F.	WIDE FLANGE
		C.O.D.P.	CLEAN OUT W/ DECK PLATE	EXIST.	EXISTING	GA.	GAUGE			N.I.C.	NOT IN CONTRACT	Q.T.	QUARRY TILE	SUSP.	SUSPENDED	W.I.C.	WALK IN CLOSET
		CONT.	CONTINUOUS	EXP.	EXPANSION	GALV.	GALVANIZED	JT.	JOINT	#, NO.	NUMBER	R.	RISER			W/O	WITHOUT
		CONTR.	CONTRACT	EXH.	EXHAUST	G.C.	GENERAL CONTRACTOR	LAM.	LAMINATE	NOM.	NOMINAL	R.D.	ROOF DRAIN	T.C.	TERRA COTTA		
BH.	BETTER HEADER	C.T.	CERAMIC TILE	EL.	ELEVATION			LAV.	LAVATORY	O.C.	ON CENTER	RE. BARS	REINFORCING BARS	THK.	THICK		
BM.	BEAM	CRS.	COURSE	EQ.	EQUAL	GL.	GLASS	LG.	LONG	O.D.	OUTSIDE DIAMETER	REINF.	REINFORCED	TOIL.	TOILET		
B.C.	BRICK COURSE	CTR.	COUNTER	E.W.C.	ELECTRIC WATER COOLER	GYP. BD.	GYPSUM WALL BOARD	LTS.	LIGHTS	OPNG.	OPENING	REINQ.	REQUIRED	T.O.P.	TOP OF PLATE		
BLDG.	BUILDING	EXT.	EXTERIOR	GFO	GROUND FAULT CIRCUIT INTERRUPT					OPP.	OPPOSITE	REQ'D.	REQUIRED ROOM	TYP.	TYPICAL		
BLK.	BLOCK																
BLKG.	BLOCKING																
BOT.	BOTTOM																

DATE	BY	RESPONSE/REVISION
05/07/25	ljm / mb	ISSUED FOR BID & PERMITTING REVIEW
08/07/25	ljm / mb	LAYOUT AND ELEVATIONS UPDATED PER OWNER



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LICENSE:	
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REG. NO.	NEW JERSEY
L.C. NO.	1447
	MASSACHUSETTS
	L.C. NO. 31380
	NORTH CAROLINA
	L.C. NO. 9536
	NEW YORK
	L.C. NO. 051225-1

PROJECT:
**ADDITION / ALTERATION FOR:
 LINDY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY**

DRAWING: PLOT PLAN, ZONING CHART & PROJECT DATA

DRAWN: mb / dc / ljm

DATE: 12/19/24

SCALE: AS NOTED

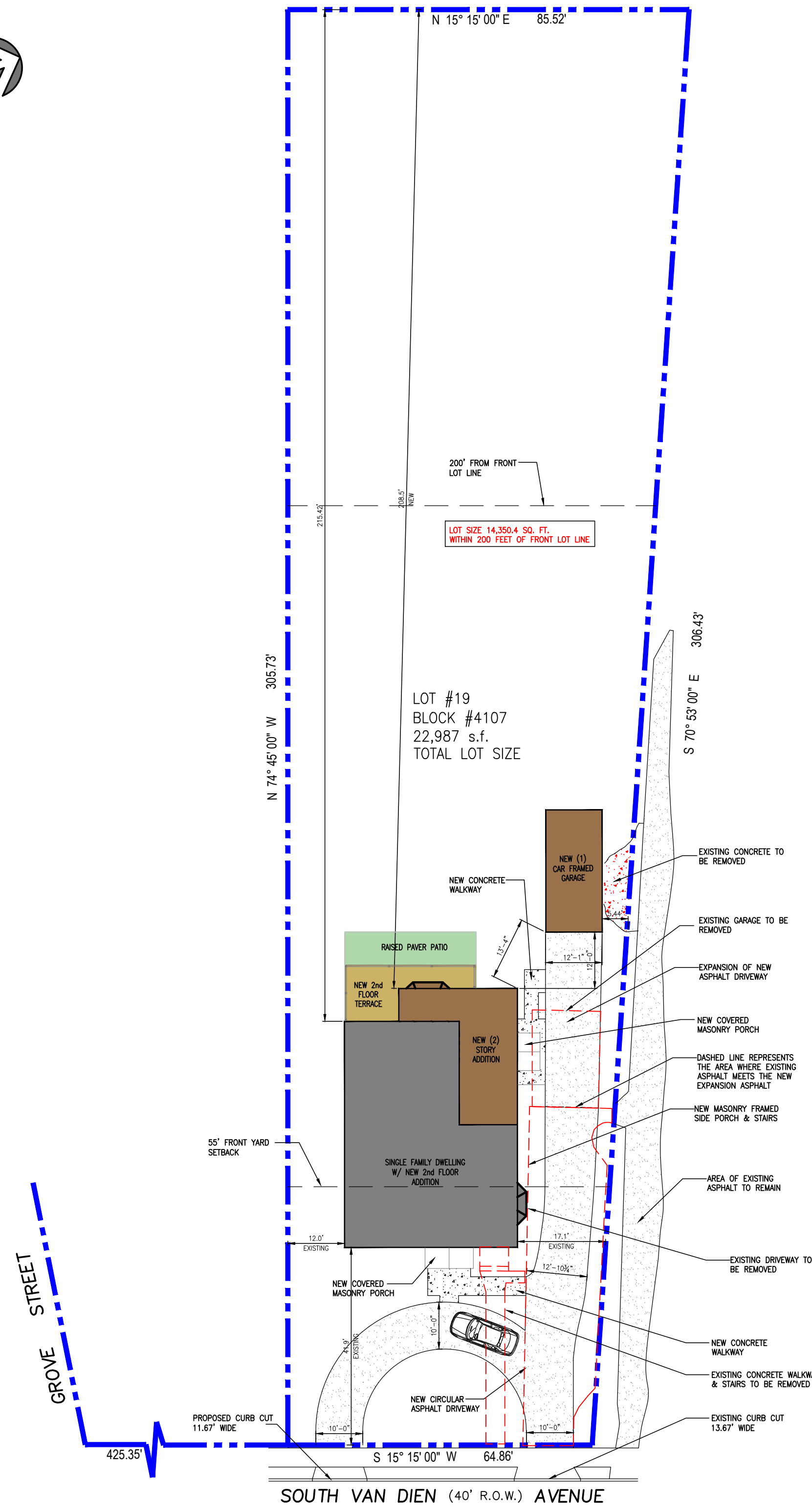
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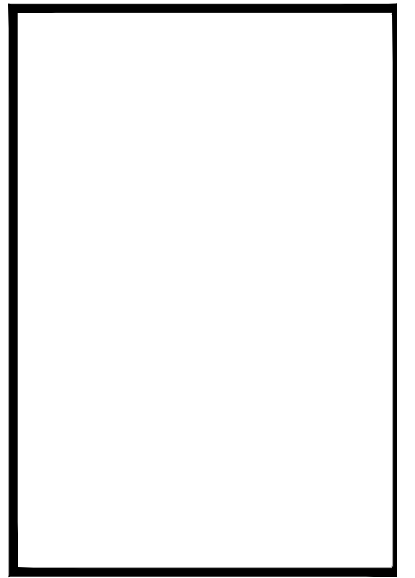
T-1

ZONING INFORMATION: 314 SOUTH VAN DIEN AVENUE, RIDGEWOOD, NJ, LOT # 19, BLOCK # 4107
 ZONE: R-125 CONVERSION FROM A NON-CONFORMING 2 FAMILY DWELLING TO A CONFORMING SINGLE FAMILY DWELLING

CRITERIA	REQUIRED	EXISTING	PROPOSED	REMARKS
LOT AREA (SQ. FT.)	25,000 S.F. (MIN.)	22,987 S.F. (EXISTING CONDITION)	22,987 S.F. (EXISTING CONDITION)	EXISTING CONDITION, NON-CONFORMING
LOT FRONTAGE (LIN. FT.)	125 LIN. FT., MEASURED AT THE MINIMUM FRONT YARD SETBACK LINE	68.23 LIN. FT. (EXISTING CONDITION)	68.23 LIN. FT. (EXISTING CONDITION)	EXISTING CONDITION, NON-CONFORMING
FRONT YARD SETBACK	55 LIN. FT. (MIN), PER 190-119 A. (1) (a) S. VAN DIEN 40' ROW ADD HALF THE DISTANCE BETWEEN 40' ACTUAL AND 50' ROW REQUIRED. 50' F.Y. + 5' = 55'	41.9 LIN. FT. (EXISTING CONDITION) NOTE: EXISTING FRONT YARD SETBACK CONSISTENT WITH PATTERN OF DEVELOPMENT ON WEST SIDE OF SOUTH VAN DIEN AVENUE.	41.9 LIN. FT. (EXISTING CONDITION)	EXISTING CONTINUED CONDITION, NON-CONFORMING VARIANCE REQUIRED
REAR YARD SETBACK	40.0 LIN. FT. (MIN.)	215.42 LIN. FT. TO DWELLING	208.50 LIN. FT. TO DWELLING	NEW CONDITION, CONFORMING
SIDE YARD (ONE) SETBACK	20.0 LIN. FT. ONE SIDE (MIN.)	12.0 LIN. FT. (LEFT FRONT CORNER) (EXISTING CONDITION) 17.1 LIN. FT. (RIGHT FRONT CORNER) (EXISTING CONDITION)	12.0 LIN. FT. (LEFT FRONT CORNER) (EXISTING CONDITION) 17.1 LIN. FT. (RIGHT FRONT CORNER) (EXISTING CONDITION)	EXISTING CONTINUED CONDITION, NON-CONFORMING VARIANCE REQUIRED
SIDE YARD (BOTH) SETBACK	33% OF THE LOT WIDTH MEASURED AT THE (MIN.) FRONT YARD SETBACK LINE (68.23) LIN. FT. IS THE WIDTH OF LOT AT FRONT EDGE OF DWELLING. THE REQUIRED SIDE YARD SETBACK FOR BOTH SIDE YARDS IS (22.52) LIN. FT.	(29.1) LIN. FT. IS THE TOTAL SIDE YARD SETBACK PROVIDED FOR BOTH SIDES COMBINED. (17.1) LIN. FT. ON THE RIGHT SIDE AND (12.0) LIN. FT. ON THE LEFT SIDE. 22.52 LIN. FEET REQUIRED.	(29.1) LIN. FT. IS THE TOTAL SIDE YARD SETBACK PROVIDED FOR BOTH SIDES COMBINED. (17.1) LIN. FT. ON THE RIGHT SIDE AND (12.0) LIN. FT. ON THE LEFT SIDE. 22.52 LIN. FEET REQUIRED.	EXISTING CONTINUED CONDITION, CONFORMING
MIN. LOT DEPTH	160.0 LIN. FT.	305.73 LIN. FT. ON LEFT SIDE OF PROPERTY	305.73 LIN. FT. ON LEFT SIDE OF PROPERTY	EXISTING CONDITION, CONFORMING
HEIGHT RESTRICTIONS	30.0 FT. / (2.5) STORIES (MAX.)	AVERAGE HEIGHT FOR ALL (4) SIDES COMBINED IS +/- 18.0' (1 STORY)	AVERAGE HEIGHT FOR ALL (4) SIDES COMBINED IS 29'-0 1/4" OR 29.06 LIN. FT. (2 STORY)	NEW CONDITION, CONFORMING
MAXIMUM BLDG. COVERAGE	20% OF LOT SIZE (MAX.), WHICH EQUALS (4,597.4) S.F.	6.5% COVERAGE OF LOT SIZE WHICH EQUALS 1,492.1 S.F. OF THE TOTAL LOT SIZE	10.0% COVERAGE OF LOT SIZE WHICH EQUALS 2,277.6 S.F. OF THE TOTAL LOT SIZE	NEW CONDITION, CONFORMING
MAXIMUM BLDG. COVERAGE WITHIN 200 FEET OF FRONT LOT LINE	20% OF LOT SIZE WITHIN 200' (14,350.4) WHICH EQUALS (2,870) S.F.	12.5% COVERAGE OF LOT SIZE WHICH EQUALS 1,790.4 S.F. OF 14,350.4 S.F. (LOT SIZE WITHIN 200') INCLUDES HOUSE AND GARAGE	17.4% COVERAGE OF LOT SIZE WHICH EQUALS 2,499.5 S.F. OF 14,350.4 S.F. (LOT SIZE WITHIN 200') INCLUDES HOUSE, GARAGE, AND 2ND FLOOR DECK	NEW CONDITION, CONFORMING
IMPERVIOUS LOT COVERAGE	35% OF LOT SIZE (MAX.), WHICH EQUALS (8,045.45) S.F.	DWELLING FOOT-PRINT.....1,492.1 S.F. GARAGE FOOT-PRINT.....298.3 S.F. ASPHALT DRIVEWAY (EXISTING).....1,075.1 S.F. CONCRETE WALKWAY / STEPS @ FRONT.....187.8 S.F. EXISTING REAR PAVERS.....192.8 S.F. EXISTING REAR COVERED PORCH.....89.3 S.F. TOTAL IMPERVIOUS COVERAGE.....3,335.4 S.F. 14.6%	DWELLING FOOT-PRINT.....1,965.6 S.F. GARAGE FOOT-PRINT.....312.0 S.F. REAR PAVER PATIO (EXPOSED).....195.5 S.F. 2ND FL. DECK.....221.9 S.F. ASPHALT DRIVEWAY (NEW & EXISTING).....1,640.0 S.F. CONCRETE WALKWAY @ FRONT.....161.2 S.F. CONCRETE WALKWAY & STAIRS @ REAR.....108.5 S.F. TOTAL IMPERVIOUS COVERAGE.....4,613.7 S.F. 20.1%	NEW CONDITION, CONFORMING
IMPERVIOUS LOT COVERAGE WITHIN THE FIRST 200 LIN. FT. OF LOT	40% OF LOT SIZE (MAX.) LOT SIZE BETWEEN 14,000 AND 24,999 SQ. FT. WITH LIMIT OF 8,750 SQ. FT.	14,350.4 SQ. FT. WITHIN FIRST 200 LINEAR FEET OF LOT, 3,335.4 / 14,350.4 = 23.2%	14,350.4 SQ. FT. WITHIN FIRST 200 LINEAR FEET OF LOT, 4,613.7 / 14,350.4 = 32.2%	NEW CONDITION, CONFORMING
GROSS BLDG. AREA COVERAGE	24% OF LOT SIZE (MAX.) WHICH EQUALS (5,516.9) S.F. OR 5,000 WHICHEVER IS LESS WITH ADDITIONAL 5% FOR DETACHED ACCESSORY STRUCTURE, NOT TO EXCEED 1,000 S.F.	FIRST FLOOR EQUALS.....(1,492.1 S.F.) (6.5%) GROSS BLDG. AREA TOTAL.....(1,492.1 S.F.) TOTAL GROSS AREA DIVIDED BY OVER ALL TOTAL LOT SIZE EQUALS THE (%).....(6.5%)	FIRST FLOOR EXISTING EQUALS.....(1,492.1 S.F.) (6.5%) FIRST FLOOR NEW EQUALS.....(473.5 S.F.) (2.1%) SECOND FLOOR EQUALS.....(1,950.4 S.F.) (8.5%) GROSS BLDG. AREA TOTAL.....(3,916 S.F.) TOTAL GROSS AREA DIVIDED BY OVER ALL TOTAL LOT SIZE EQUALS THE (%).....(17.10%)	NEW CONDITION, CONFORMING
GROSS BLDG. AREA COVERAGE WITHIN THE FIRST 200 LIN. FT. OF LOT	29% OF 14,350.4, WHICH EQUALS (4,161.6) S.F. OR 4,620 WHICHEVER IS LESS	FIRST FLOOR EQUALS.....(1,492.1 S.F.) (10.4%) GROSS BLDG. AREA TOTAL.....(1,492.1 S.F.) TOTAL GROSS AREA DIVIDED BY 14,350.4 EQUALS (10.4%)	FIRST FLOOR EXISTING EQUALS.....(1,492.1 S.F.) (6.5%) FIRST FLOOR NEW EQUALS.....(473.5 S.F.) (2.1%) SECOND FLOOR EQUALS.....(1,950.4 S.F.) (8.5%) GROSS BLDG. AREA TOTAL.....(3,916 S.F.) TOTAL GROSS AREA DIVIDED BY 14,350.4 (27.3%)	NEW CONDITION, CONFORMING
ACCESSORY BUILDING OR STRUCTURE	REQUIRED	EXISTING	PROPOSED	REMARKS
	NO ACCESSORY STRUCTURE SHALL BE LARGER THAN 400 S.F.	EXISTING DETACHED GARAGE 298.3) S.F.	NEW DETACHED GARAGE TO BE (312.0) S.F. (12.0) L.F. WIDE x (26.0) L.F. LONG = 312.0 S.F.	NEW CONDITION, CONFORMING
	NO ACCESSORY STRUCTURE SHALL EXCEED 15 FT. IN VERTICAL HEIGHT	EXISTING GARAGE +/- 13.5' TALL	NEW DETACHED GARAGE SHALL BE 14 FT. TALL	NEW CONDITION, CONFORMING
	NO ACCESSORY STRUCTURE SHALL BE LOCATED WITHIN (12) LIN. FT. OF THE PRINCIPAL BUILDING	NEW DETACHED GARAGE SHALL BE (12.0) LIN. FT. FROM DECK	NEW DETACHED GARAGE SHALL BE (24.0) LIN. FT. FROM NEW DWELLING REAR RIGHT CORNER	NEW CONDITION, CONFORMING
	NO ACCESSORY STRUCTURE SHALL BE CLOSER THAN (5) FEET FROM ANY SIDE OR REAR YARD PROPERTY LINE OF THE LOT	NEW DETACHED GARAGE SHALL BE (5.92) LIN. FT. FROM THE (RIGHT) SIDE YARD PROPERTY LINE	NEW DETACHED GARAGE SHALL BE (5.92) LIN. FT. FROM THE (RIGHT) SIDE YARD PROPERTY LINE	NEW CONDITION, CONFORMING
GROSS BLDG. AREA COVERAGE	24% OF LOT SIZE (MAX.) WHICH EQUALS (5,516.9) S.F. OR 5,000 WHICHEVER IS LESS WITH ADDITIONAL 5% FOR DETACHED ACCESSORY STRUCTURE, NOT TO EXCEED 1,000 S.F.	FIRST FLOOR EQUALS.....(298.3S.F.) (1.3%) (2.1% WITHIN FIRST 200' S.F.)	FIRST FLOOR EXISTING EQUALS.....(1,492.1 S.F.) (6.5%) FIRST FLOOR NEW EQUALS.....(473.5 S.F.) (2.1%) SECOND FLOOR EQUALS.....(1,950.4 S.F.) (8.5%)	NEW CONDITION, CONFORMING
DRIVEWAY WIDTH (CURB CUT)	REQUIRED	EXISTING	PROPOSED	REMARKS
	1/2 OF LOT WIDTH, NOT TO EXCEED 25' NOR LESS THAN 10'	EXISTING CURB CUT 13.67'	EXISTING CURB CUT 13.67' PROPOSED CURB CUT 11.67' (TOTAL 25.34')	NEW CONDITION, VARIANCE REQUIRED



DATE	BY	REVISION DESCRIPTION
05/07/25	ljm / mb	ISSUED FOR BID & PERMITTING REVIEW
08/07/25	ljm / mb	LAYOUT AND ELEVATIONS UPDATED PER OWNER
1		
2		

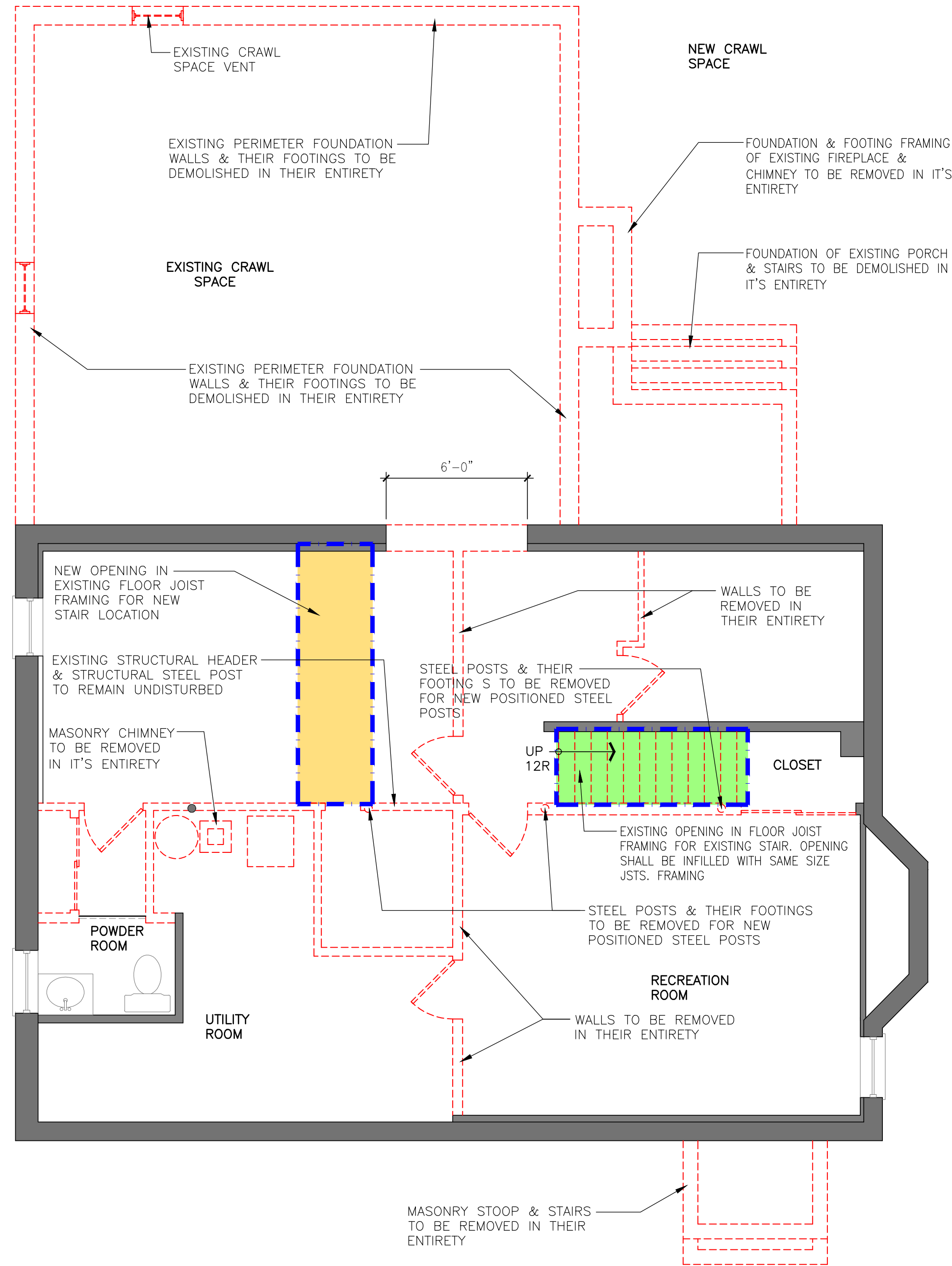


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REG. NO.:	31380
LIC. NO.:	9536
LICENSE:	NEW YORK
REG. NO.:	051225-1

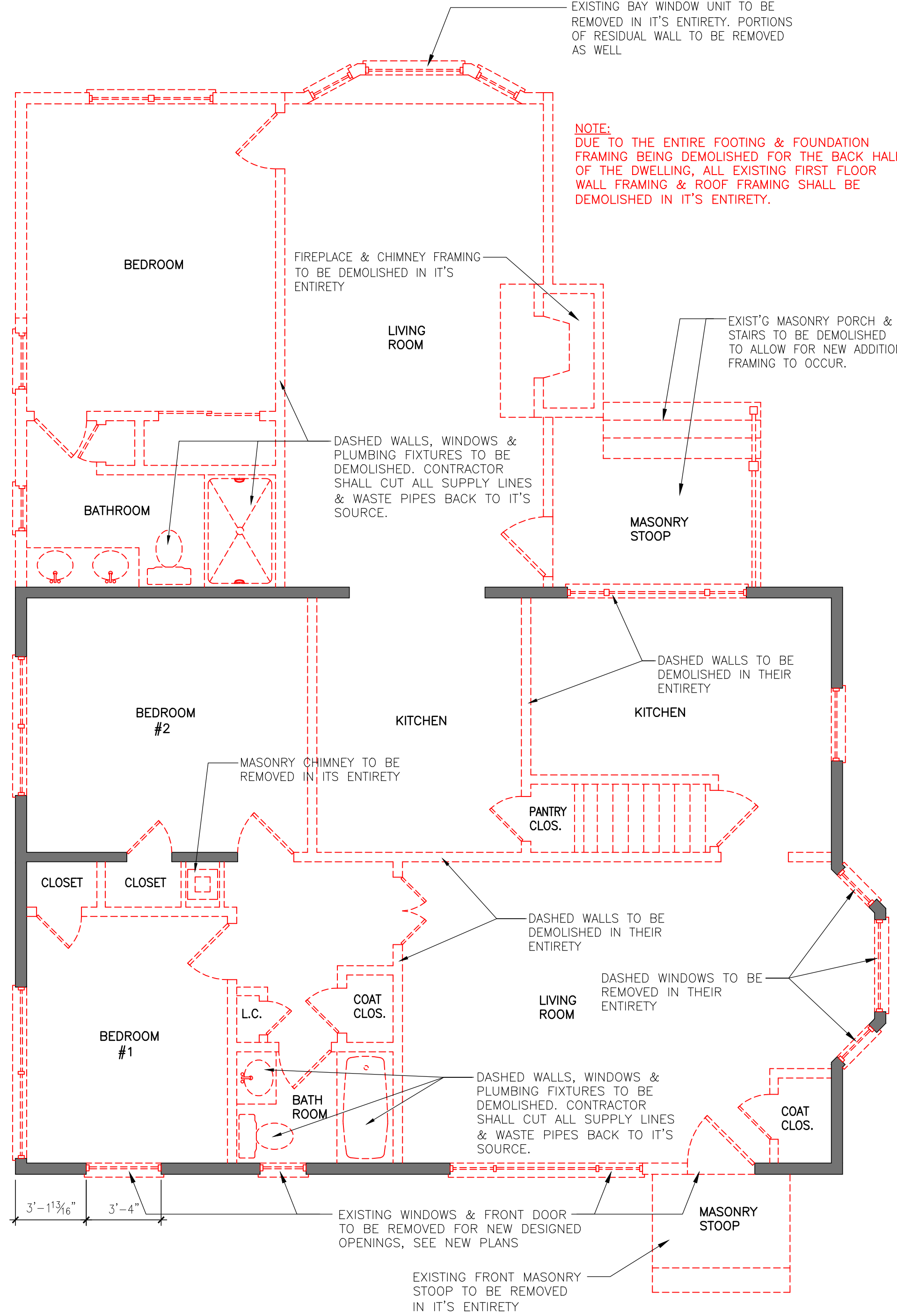
PROJECT: ADDITION / ALTERATION FOR:
 LINDY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

DRAWING: PLOT PLAN, ZONING CHART
 DRAWN: mb / dc / ljm
 DATE: 12/19/24
 SCALE: AS NOTED
 JOB NO: 24.090
 SHEET:



1 PROPOSED BASEMENT DEMOLITION PLAN & REMOVAL OF FOUNDATION FRAMING OF EXISTING PORCHES

SCALE: 1/4" = 1'-0"

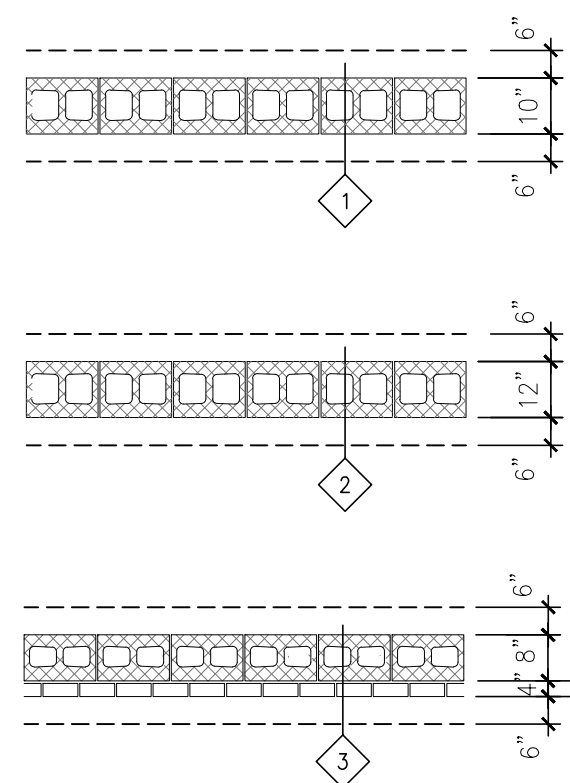


2 PROPOSED FIRST FLOOR DEMOLITION PLAN

SCALE: N.T.S.

NOTES FOR GENERAL CONTRACTOR

- ALL FLOORS @ HABITABLE SECOND FLOOR AREAS TO RECEIVE FINISHED HARDWOOD FLOORING. WOOD TYPE & COLOR TO BE SELECTED BY OWNER.
- ALL BATHROOM FLOORS TO RECEIVE A SEALED CERAMIC TILE FLOOR. SIZE & COLOR OF TILES TO BE SELECTED BY OWNER.
- PROVIDE (1) CARBON MONOXIDE DETECTOR PER BEDROOM.
- A MINIMUM OF ONE BEDROOM WINDOW MUST MEET THE FOLLOWING CRITERIA: CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. CLEAR OPENABLE WIDTH OF 20" & A CLEAR OPENABLE HEIGHT OF 24".
- ALL BEDROOMS TO HAVE HARD WIRED AND INTERCONNECTED SMOKE DETECTORS. PROVIDE (1) HARD WIRED SMOKE DETECTOR IN EACH NON-BEDROOM AREA.
- ALL MOULDINGS, CASEWORK, DOOR HARDWARE, LIGHT FIXTURES, PLUMBING FIXTURES, WAINSCOTT PANELING ETC. TO BE SELECTED BY OWNER.
- DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.
- DOUBLE UP FRAMING ALL AROUND ALL STAIR OPENINGS, U.O.N.
- VERIFY ALL EXTERIOR OUTLET LOCATIONS WITH HOME OWNER PRIOR TO ROUGH IN.
- ALL LIGHT FIXTURES TO BE SELECTED BY HOME OWNER & INSTALLED BY LICENSED ELECTRICAL GC.
- ALL HEADERS ABOVE DOORS AND WINDOWS TO BE (2) 2" x 12"s, UNLESS OTHERWISE NOTED DIFFERENTLY.
- CABINETRY & SOLID SURFACE COUNTERTOPS FOR THE KITCHEN TO BE SELECTED BY OWNER & INSTALLED BY LICENSED & INSURED CONTRACTOR.
- MECHANICAL EQUIPMENT & HOT WATER HEATER TO BE HIGH EFFICIENCY DIRECT VENT.
- MAX. RISER HEIGHT FOR ALL STAIRS SHALL NOT EXCEED 8 1/4" & MIN. TREAD DEPTH NOT TO BE LESS THAN 9".
- GUARD RAILS SHALL NOT BE LESS THAN 36" IN HEIGHT.
- OPEN SIDE OF STAIRWAYS SHALL HAVE GUARD RAILS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE THREAD. ON BOTH FIRST AND SECOND FLOORS EXISTING WALLS TO BE REMOVED FOR NEW OPEN RAILING. CONFIRM WITH OWNER FOR TYPE OF BALLUSTER TO BE USED. EXISTING BALLUSTERS TO BE CHANGED TO AS SELECTED BY THE OWNER.
- INTERMEDIATE RAILS ON THE OPEN SIDE OF STAIRWAYS SHALL NOT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER; EXCEPT AT THE TRIANGULAR OPENING FORMED BY THE RISER TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SUCH OPENING CANNOT ALLOW THE PASSAGE OF A SPHERE 6 INCHES IN DIAMETER.
- MAX. RISER HEIGHT FOR ALL STAIRS SHALL NOT EXCEED 8 1/4" & MIN. TREAD DEPTH NOT TO BE LESS THAN 9".
- GUARD RAILS SHALL NOT BE LESS THAN 36" IN HEIGHT.
- VENT DRYER TO EXTERIOR. MAXIMUM 25FT. DUCT RUN. EACH 90° TURN COUNTS AS 5 FT. TERMINATE WITH AN EXTERIOR LOUVER.
- VENT KITCHEN EXHAUST, MICROWAVE OVEN (IF REQUIRED BY MFR), OVEN TO EXTERIOR & PROVIDE EXTERIOR LOUVER. MAX. KITCHEN VENT HOOD TO BE 350 CFM.
- RUN 2 x 12 WOOD BLOCKING AT TOP OF LOWER CABINETS AND AT TOP AND BOTTOM OF UPPER CABINET LOCATIONS IN ALL AREAS SCHEDULED TO RECEIVE MILLWORK.
- ALL GYPSUM BOARD IN LIVING AREAS TO BE FINISHED TO A LEVEL 4 FINISH MINIMUM.
- DOUBLE UP FRAMING AROUND ATTIC PULL DOWN STAIRS.
- EXISTING HVAC SYSTEM TO BE CONVERTED TO COOLING AND HEATING UNIT, EXISTING HOT WATER BASEBOARD HEAT SYSTEM TO BE REMOVED COMPLETELY THROUGHOUT THE HOUSE. EXISTING AIR HANDLER IN ATTIC TO BE REPLACED WITH A HEATING / COOLING RUN APPROPRIATE GAS LINE TO ATTIC FOR NEW UNIT. PROVIDE SEPARATE ZONE FOR MASTER SUITE.
- ALL DOUBLED FRAMING MEMBERS TO BE BOLTED IN ACCORDANCE WITH BEAM BOLTING DETAIL.
- HOLES & NOTCHES IN FRAMING LUMBER SHALL BE AS LIMITED TO IN THE BUILDING CODE FOR TJI'S SEE TJI HOLE ALLOWANCE CHART. CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS OF REMEDIATION SHOULD OVER CUT THE HOLES BE DRILLED IN FRAMING MEMBERS.
- CONTRACTOR TO COORDINATE WITH OWNER THE EXTENT OF THE EXTERIOR FINISHED SIDING FOR THE REAR AND SIDE ELEVATIONS OF THE DWELLING. OWNER SHALL SPECIFY THE LAP REVEAL SIZE, COLOR, STYLE AND FINISH.



MASONRY FOUNDATION WALL

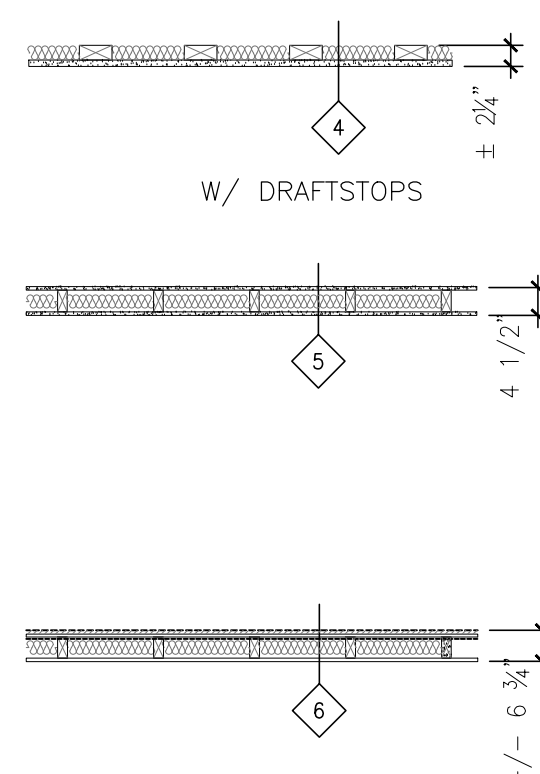
10" CMU BLOCK FOUNDATION WALL FILLED SOLID WITH NON SHRINK GROUT, CONSTRUCTED ON TOP OF 22" WIDE x 12" DEEP CONTINUOUS POURED CONCRETE FOOTING W/ (2) #4 REBARS. BOTTOM OF FOOTING TO BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE.

MASONRY FOUNDATION WALL

12" CMU BLOCK FOUNDATION WALL FILLED SOLID WITH NON SHRINK GROUT, CONSTRUCTED ON TOP OF 22" WIDE x 12" DEEP CONTINUOUS POURED CONCRETE FOOTING W/ (2) #4 REBARS. BOTTOM OF FOOTING TO BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE.

MASONRY FOUNDATION WALL

8" CMU BLOCK FOUNDATION WALL FILLED SOLID WITH NON SHRINK GROUT, CONSTRUCTED ON TOP OF 12" WIDE CMU BLOCK FOUNDATION WALL & WILL ALIGN WITH INSIDE FACE OF 12" CMU BLOCK TO ALLOW FOR A SHELF AREA TO RECEIVE A NOMINAL BRICK COURSE ON THE OUTSIDE FACE OF THE 8" CMU BLOCK COURSE. THIS TRANSITION FROM 12" CMU BLOCK COURSE TO 8" BLOCK WILL OCCUR AT APPROXIMATELY AT GRADE TO ALLOW THE FINISHED BRICKFACE TO BE THE EXPOSED FINISH FACING OUT.



FURRED OUT WALL - WOOD STUD WALL

2" x 4" WOOD STUDS INSTALLED ON THE FLAT AT 16" O.C., PROVIDE (1) LAYER 1/2" GYPSUM WALL BOARD MOUNTED TO THE WOOD STUDS WITH 1 1/2" RIGID INSULATION & 6mil POLYETHYLENE VAPOR BARRIER

4a SAME AS WALL TYPE 4; PROVIDE (1/2" MIN.) CEMENTATIOUS BOARD PLUS CERAMIC TILE WITHIN BATHROOMS. TILE PER OWNER'S SELECTION

INTERIOR PARTITION WALL

NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. EACH SIDE OF 2" x 4" WOOD STUDS @ 16" o.c., W/ R-13 BATT INSULATION IN STUD CAVITY

5a SAME AS WALL TYPE 5; PROVIDE 1/2" CEMENTATIOUS BOARD ON BATHROOM SIDE OR KITCHEN AREA, AND TILE PER OWNER'S SELECTION

5b SAME AS WALL TYPE 5a; PROVIDE 1/2" CEMENTATIOUS BOARD ON BOTH SIDES OF WOOD STUD FRAMING, AND TILE PER OWNER'S SELECTION

LOAD BEARING EXTERIOR WALL - W/ SIDING

(1) LAYER 1/2" GWB ON 2" x 6" WOOD STUDS @ 16" o.c., WITH R-21 BATT INSUL. & 6mil POLYETHYLENE VAPOR BARRIER @ INSIDE FACE, 1/2" LAYER OF EXTERIOR PLYWOOD BLDG. SHEATHING WITH EXTERIOR SIDING AS SELECTED BY HOME OWNER.

6a SAME AS WALL TYPE 6; PROVIDE 3/8" CEMENTATIOUS BOARD ON BATHROOM SIDE OR KITCHEN AREA, AND TILE PER OWNER'S SELECTION

INTERIOR PARTITION WALL

NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. ON ROOM FACING SIDE OF 2" x 4" WOOD STUDS @ 16" o.c.

7a SAME AS WALL TYPE 7; ONLY PROVIDE (1) LAYER OF 1/2" CEMENTATIOUS BOARD ON (1) SIDE, BATHROOM SIDE OR KITCHEN AREA, AND TILE PER OWNER'S SELECTION

INTERIOR PARTITION WALL

NON-LOADBEARING PARTITION - (1) LAYER 1/2" G.W.B. EACH SIDE OF 2" x 6" WOOD STUDS @ 16" o.c.

8a SAME AS WALL TYPE 8; PROVIDE 1/2" CEMENTATIOUS BOARD ON BATHROOM SIDE OR KITCHEN SIDE OF STUD, AND TILE PER OWNER'S SELECTION. NO INSULATION BETWEEN STUD CAVITY REQUIRED.

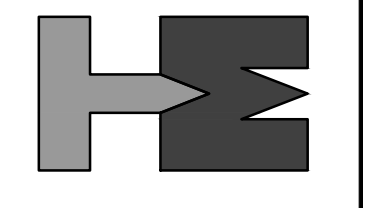
8b SAME AS WALL TYPE 8a; PROVIDE 1/2" CEMENTATIOUS BOARD ON BOTH SIDES OF THE STUD, AND TILE PER OWNER'S SELECTION. NO INSULATION BETWEEN STUD CAVITY REQUIRED.

WALL PARTITIONS TYPE LEGEND

DATE	BY
05/07/25	ljm/mb
03/07/25	ljm/mb

REVISION DESCRIPTION	ISSUED FOR BID & PERMITTING REVIEW	LAYOUT AND ELEVATIONS UPDATED PER OWNER
1		
2		

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 LIC. NO. MASSACHUSETTS: 14447
 LIC. NO. NORTH CAROLINA: 31380
 LIC. NO. NEW YORK: 9536
 LIC. NO. 051225-1

PROJECT: ADDITION / ALTERATION FOR:
 LINOY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

DRAWING: DEMOLITION PLANS FOR
 BASEMENT & FIRST FLOOR PLANS

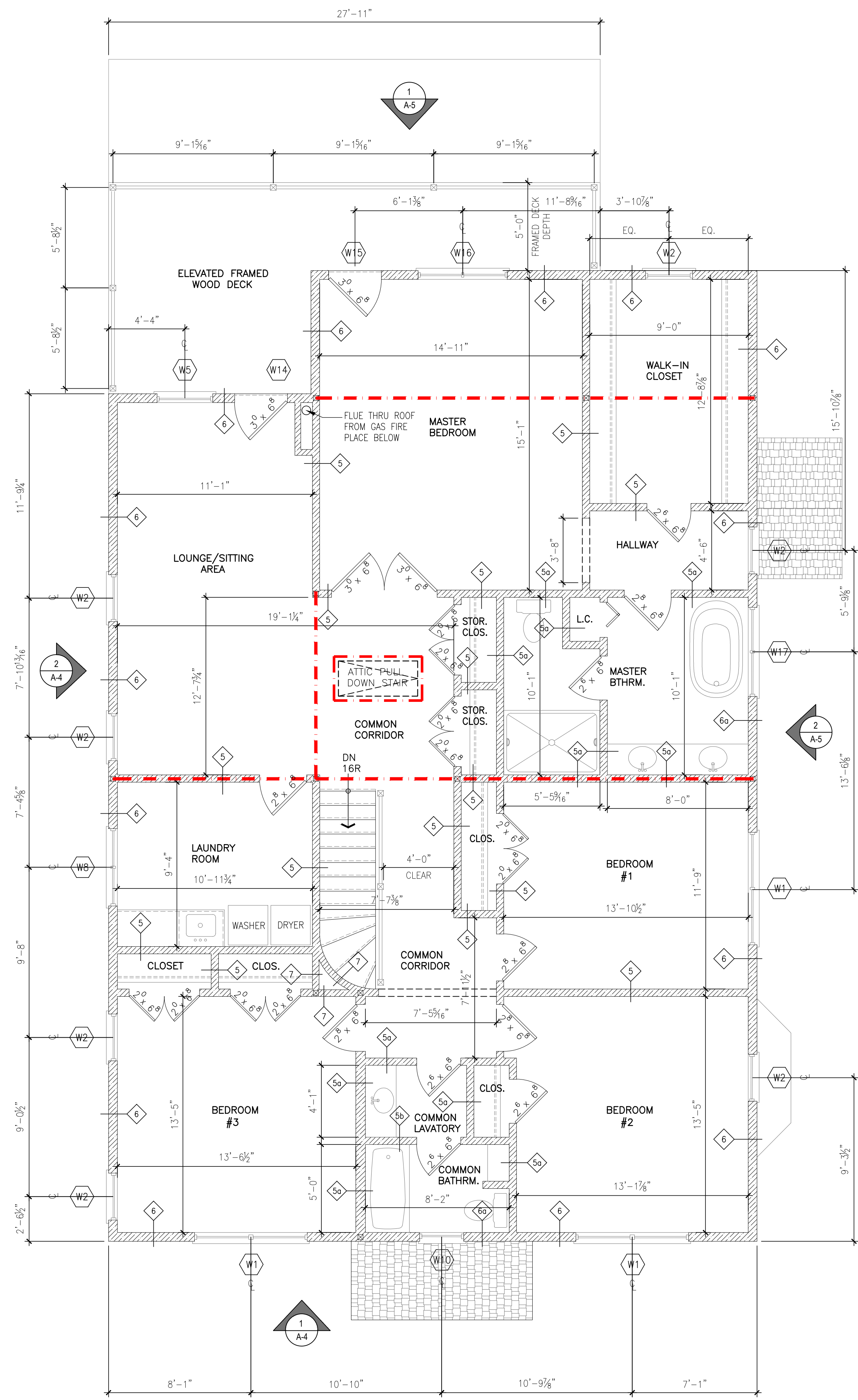
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 mb / dc / ljm

DATE:
 12/19/24

SCALE:
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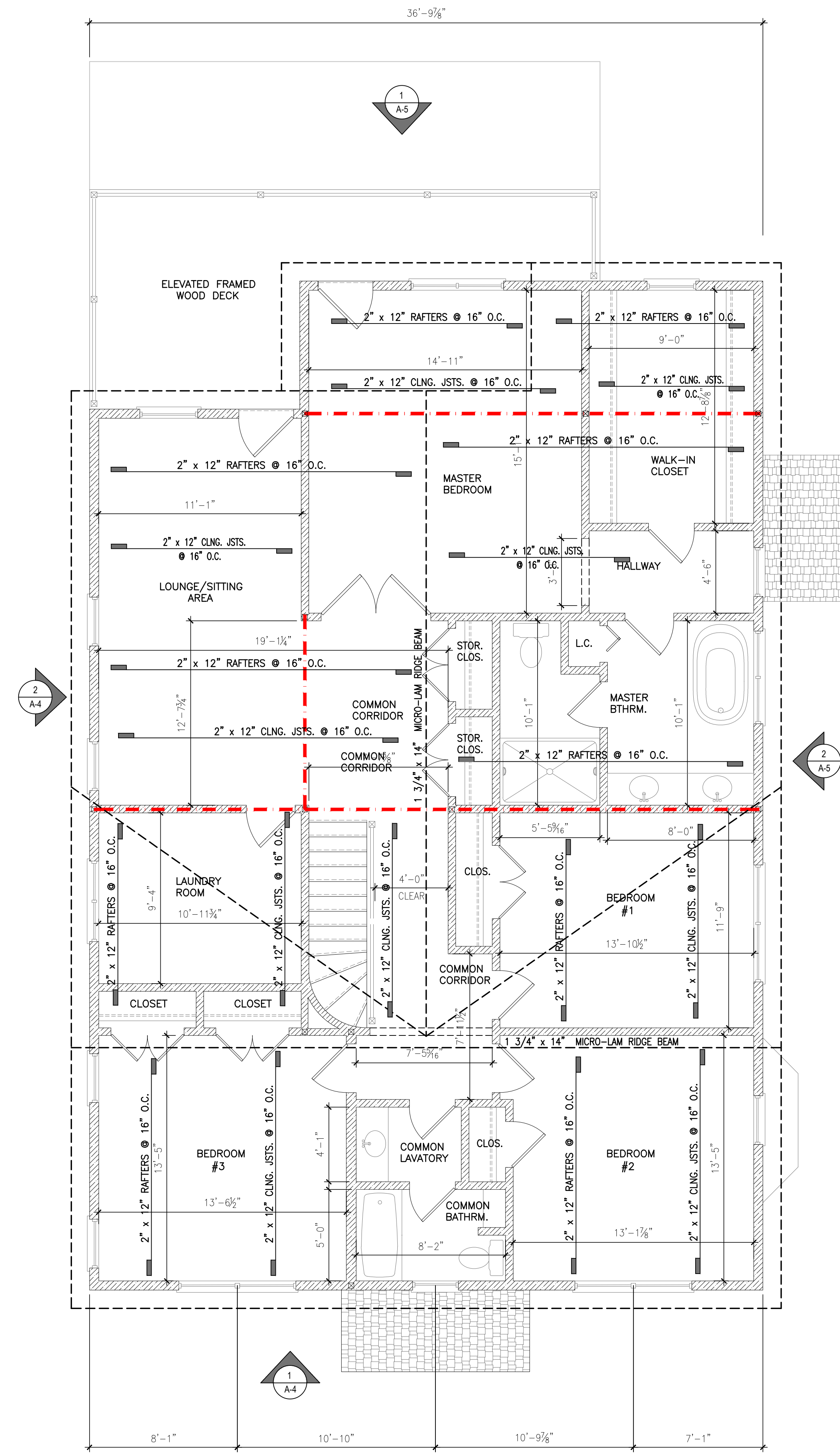
JOB NO:
 24.090

SHEET:
A-1



1 PROPOSED SECOND FLOOR FRAMING PLAN

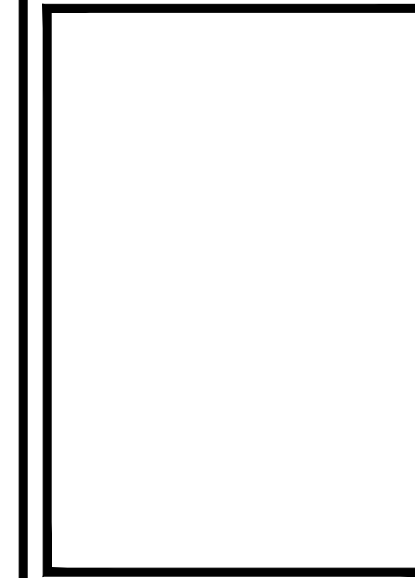
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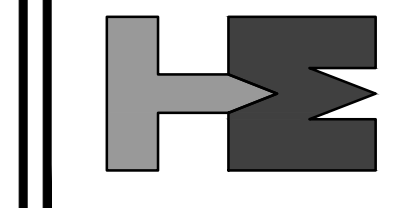
2 PROPOSED SECOND FLOOR CEILING FRAMING & ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

REVISION/DESCRIPTION	DATE	BY
ISSUED FOR BID & PERMITTING REVIEW	05/07/25	ljm/mb
LAYOUT AND ELEVATIONS UPDATED PER OWNER	08/07/25	ljm/mb



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 NEW YORK
 LIC. NO. 051225-1

PROJECT:
**ADDITION / ALTERATION FOR:
 LINDY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY**

DRAWING: PROPOSED SECOND FLOOR
 FRAMING & ROOF FRAMING PLANS

DRAWN:
 mb / dc / ljm

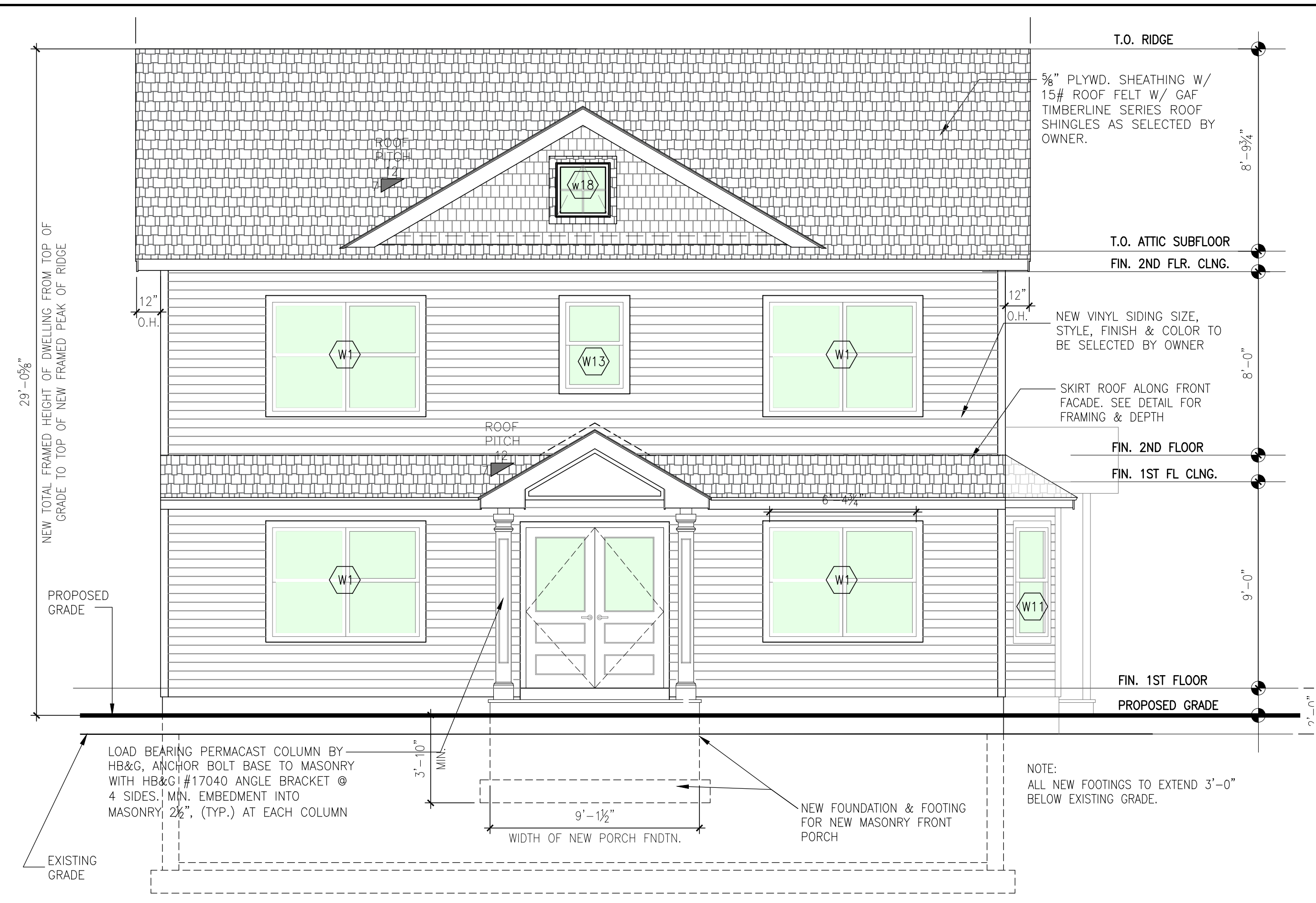
DATE:
 12/19/24

SCALE:
 AS NOTED

JOB NO:
 24.090

SHEET:

A-3
 5 OF 14 SHEETS



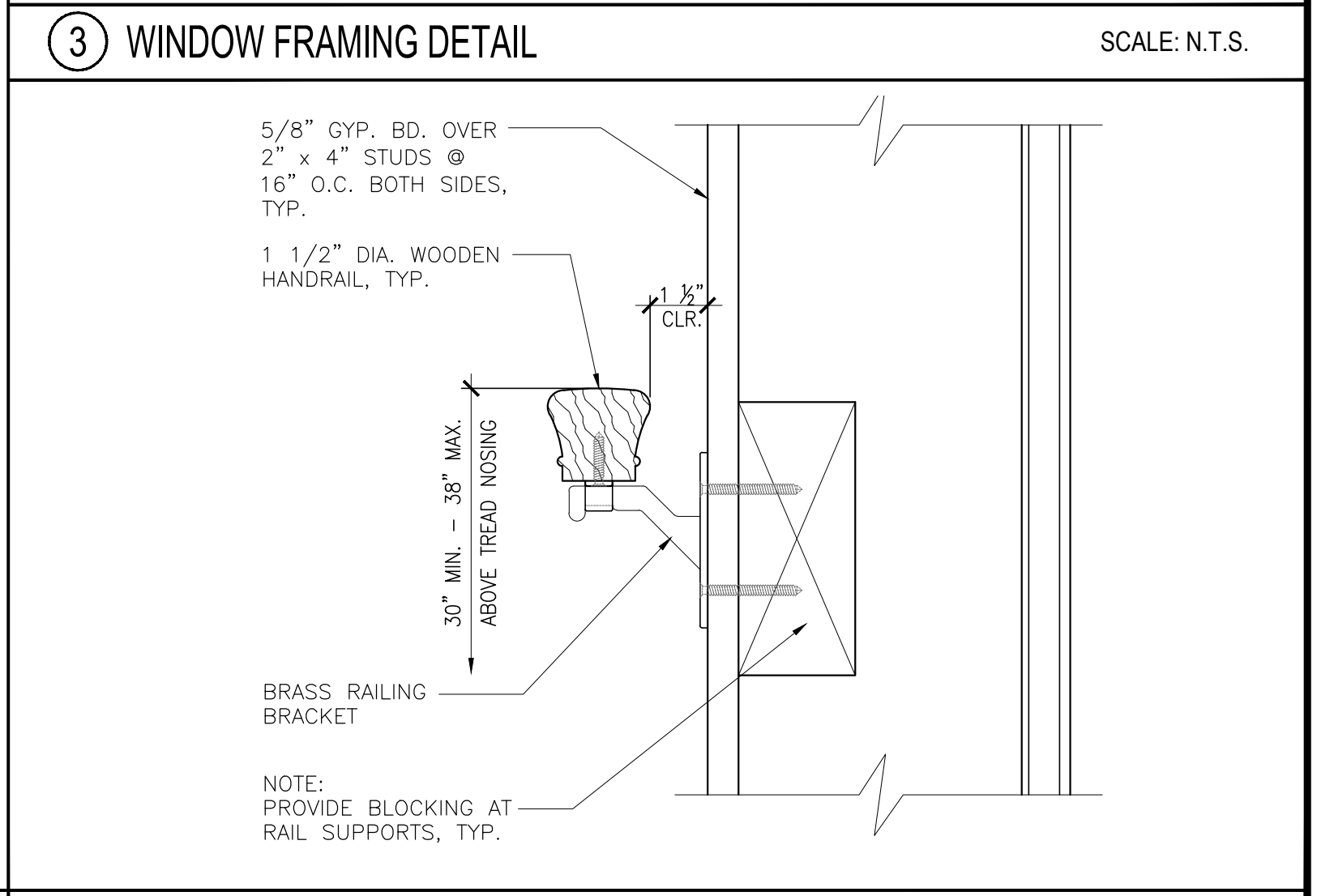
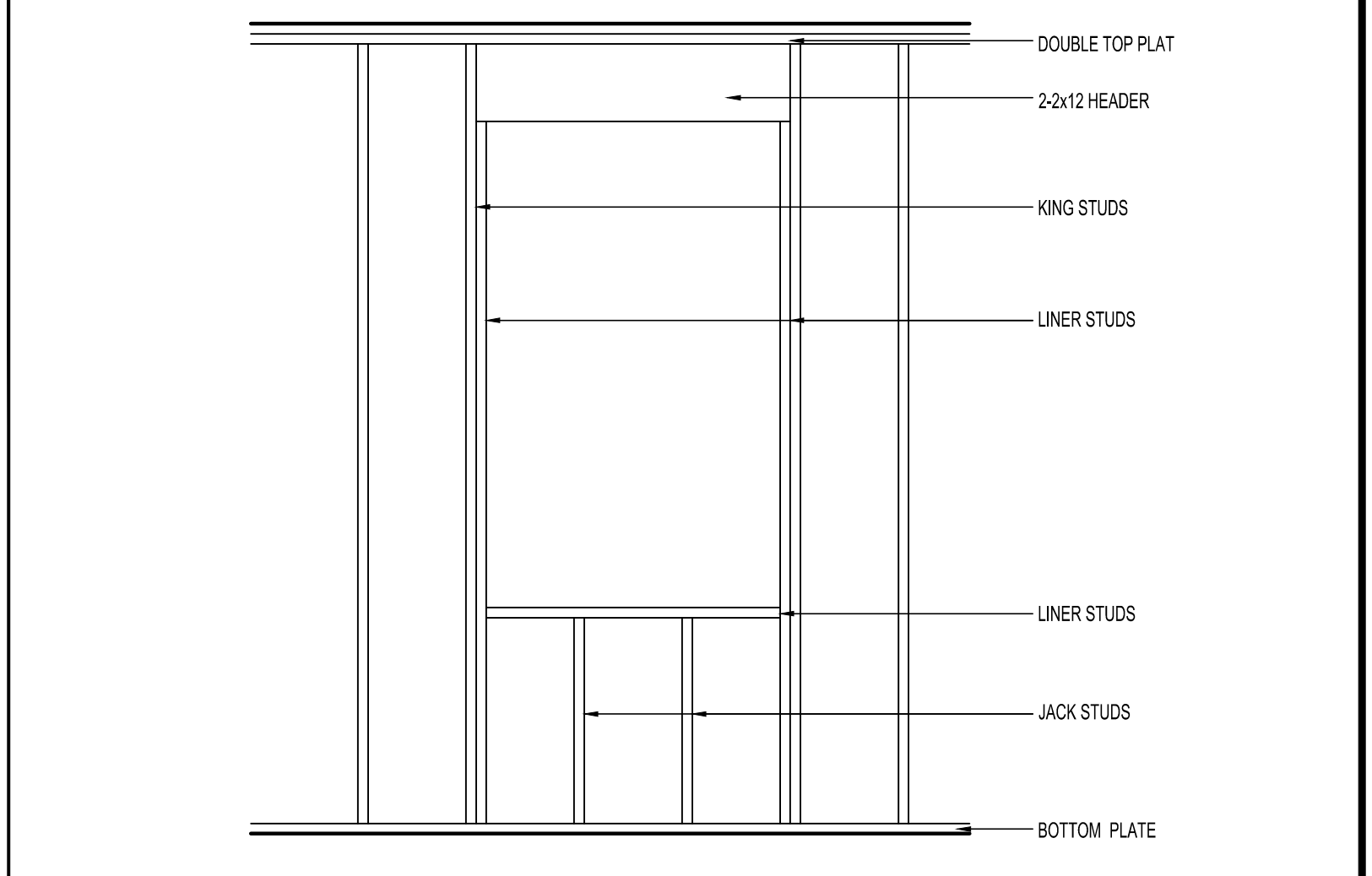
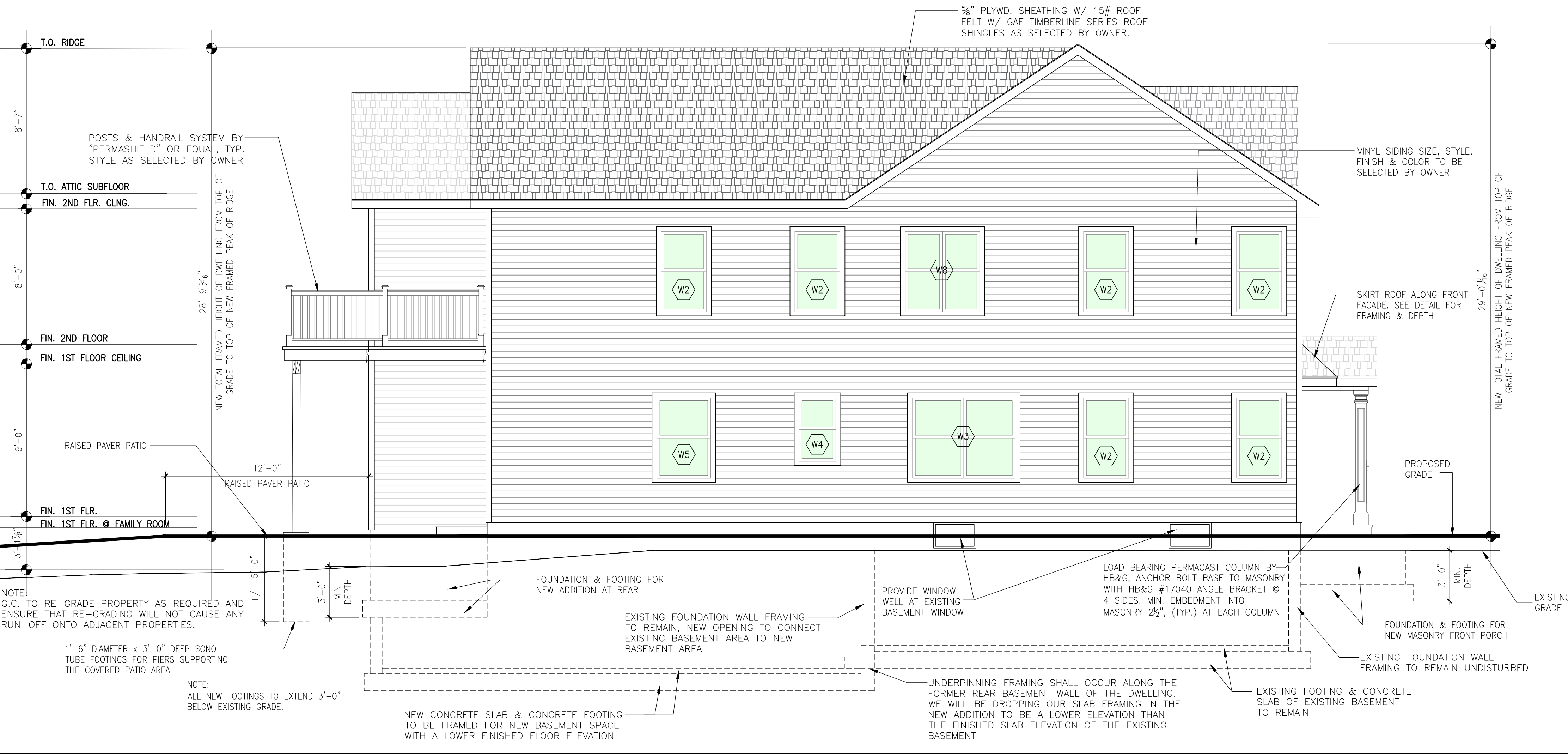
WINDOW #	MODEL #	WINDOW/DOOR TYPE	ROUGH OPENING	EGRESSIBLE	REMARKS
W1	(2) TW3046	TILT WASH DOUBLE HUNG	6'-4 3/4" w (x) 4'-8 1/8" h	YES	DOUBLE WINDOW UNIT INSTALLED AT MULTIPLE LOCATIONS, SEE PLANS
W2	TW2646	TILT WASH DOUBLE HUNG	2'-8 3/4" w (x) 4'-8 1/8" h	NO	SINGLE WINDOW UNIT INSTALLED AT MULTIPLE LOCATIONS, SEE PLANS
W3	(2) TW21046	TILT WASH DOUBLE HUNG	6'-0 3/4" w (x) 4'-8 1/8" h	NO	DOUBLE WINDOW UNIT INSTALLED IN THE DEN / OFFICE AREA
W4	TW2036	TILT WASH DOUBLE HUNG	2'-2 1/2" w (x) 3'-8 1/8" h	NO	SINGLE WINDOW UNIT INSTALLED AT MULTIPLE LOCATIONS, SEE PLANS
W5	TW3046	TILT WASH DOUBLE HUNG	3'-2 1/2" w (x) 4'-8 1/8" h	YES	SINGLE WINDOW UNIT INSTALLED AT MULTIPLE LOCATIONS, SEE PLANS
W6	FWH31611AL	FRENCHWOOD HINGED IN-SWING PATIO DOOR	3'-1" w (x) 6'-11" h	YES	SINGLE IN-SWING DOOR FROM 1ST FLOOR BEDROOM OUT TO PATIO AREA
W7	FWG50611R	FRENCHWOOD GLIDING PATIO DOORS	5'-0" w (x) 6'-11" h	YES	DBL. SLIDING DOORS FROM FAMILY ROOM OUT TO PATIO
W8	(2) TW2046	TILT WASH DOUBLE HUNG MULLED TOGETHER	4'-4 3/4" w (x) 4'-8 1/8" h	NO	DOUBLE WINDOW UNITS INSTALLED ON EACH SIDE OF THE NEW FIREPLACE IN THE FAMILY ROOM
W9	FWH31611AR	FRENCHWOOD HINGED IN-SWING PATIO DOOR	3'-1" w (x) 6'-11" h	YES	SINGLE SWING PATIO DOOR FROM MUDROOM OUT TO DRIVEWAY
W10	(2) TW1832	TILT WASH DOUBLE HUNG MULLED TOGETHER	1'-10 1/2" w (x) 3'-4 1/8" h	NO	DOUBLE WINDOW UNIT OVER KITCHEN SINK AREA
W11	TW1846	TILT WASH DOUBLE HUNG	1'-10 1/2" w (x) 4'-8 1/8" h	NO	REPLACEMENT SIDE ANGLED WINDOWS IN EXISTING BAY WINDOW UNIT
W12	DHP31046	PICTURE WINDOW UNIT	3'-11 1/8" w (x) 4'-8 1/8" h	NO	REPLACEMENT PICTURE WINDOW IN EXISTING BAY WINDOW UNIT
W13	TW2436	TILT WASH DOUBLE HUNG	2'-2 1/2" w (x) 3'-8 1/8" h	NO	BATHROOM WINDOW AT FRONT FACADE OVER NEW ENTRY GABLE
W14	FWH3168AL	FRENCHWOOD HINGED IN-SWING PATIO DOOR	3'-1" w (x) 6'-8" h	YES	2ND FLOOR LOUNGE/SITTING AREA ACCESS DOOR OUT TO RAISED DECK PLATFORM AT REAR
W15	FWH3168AR	FRENCHWOOD HINGED IN-SWING PATIO DOOR	3'-1" w (x) 6'-8" h	YES	2ND FLOOR MASTER BEDROOM AREA ACCESS DOOR OUT TO RAISED DECK PLATFORM AT REAR
W16	(2) TW2446	TILT WASH DOUBLE HUNG MULLED TOGETHER	5'-0 3/4" w (x) 4'-8 1/8" h	NO	MASTER BEDROOM REAR WALL FACING THE BACKYARD
W17	(2) TW24310	TILT WASH DOUBLE HUNG MULLED TOGETHER	5'-0 3/4" w (x) 4'-0 1/8" h	NO	2ND FLOOR LAUNDRY ROOM FACING THE DRIVEWAY SIDE OF PROPERTY

NOTE:

- * ALL WINDOWS ON 1ST FLOOR WILL BE SET TO A TOP HEIGHT OF 7'-0" A.F.F.
- * ALL WINDOWS ON 2ND FLOOR WILL BE SET TO A TOP HEIGHT OF 6'-8" A.F.F.
- * COLOR OF FRAME & SASH TO BE SELECTED BY HOME OWNER.
- * ALL WINDOWS BASED ON ANDERSEN 400 SERIES
- * CONTRACTOR MAY NOT SUBSTITUTE ANOTHER BRAND NAME WINDOW WITHOUT INFORMING THE HOME OWNER.

WINDOW SCHEDULE

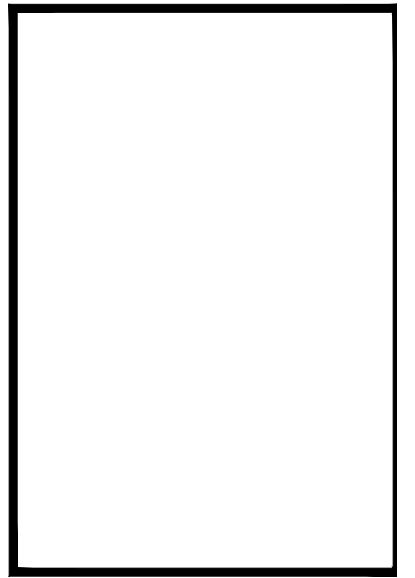
1 PROPOSED FRONT FACADE OF DWELLING



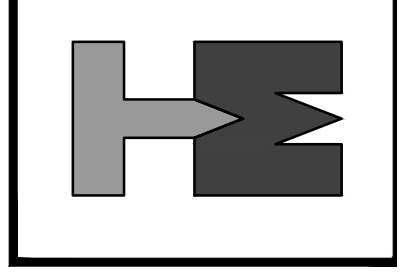
2 PROPOSED LEFT SIDE ELEVATION OF DWELLING

4 HANDRAIL FRAMING DETAIL

NO.	REVISION/DESCRIPTION	DATE	BY
1	ISSUED FOR BID & PERMITTING REVIEW	05/07/25	ljm / mb
2	LAYOUT AND ELEVATIONS UPDATED PER OWNER	08/07/25	ljm / mb



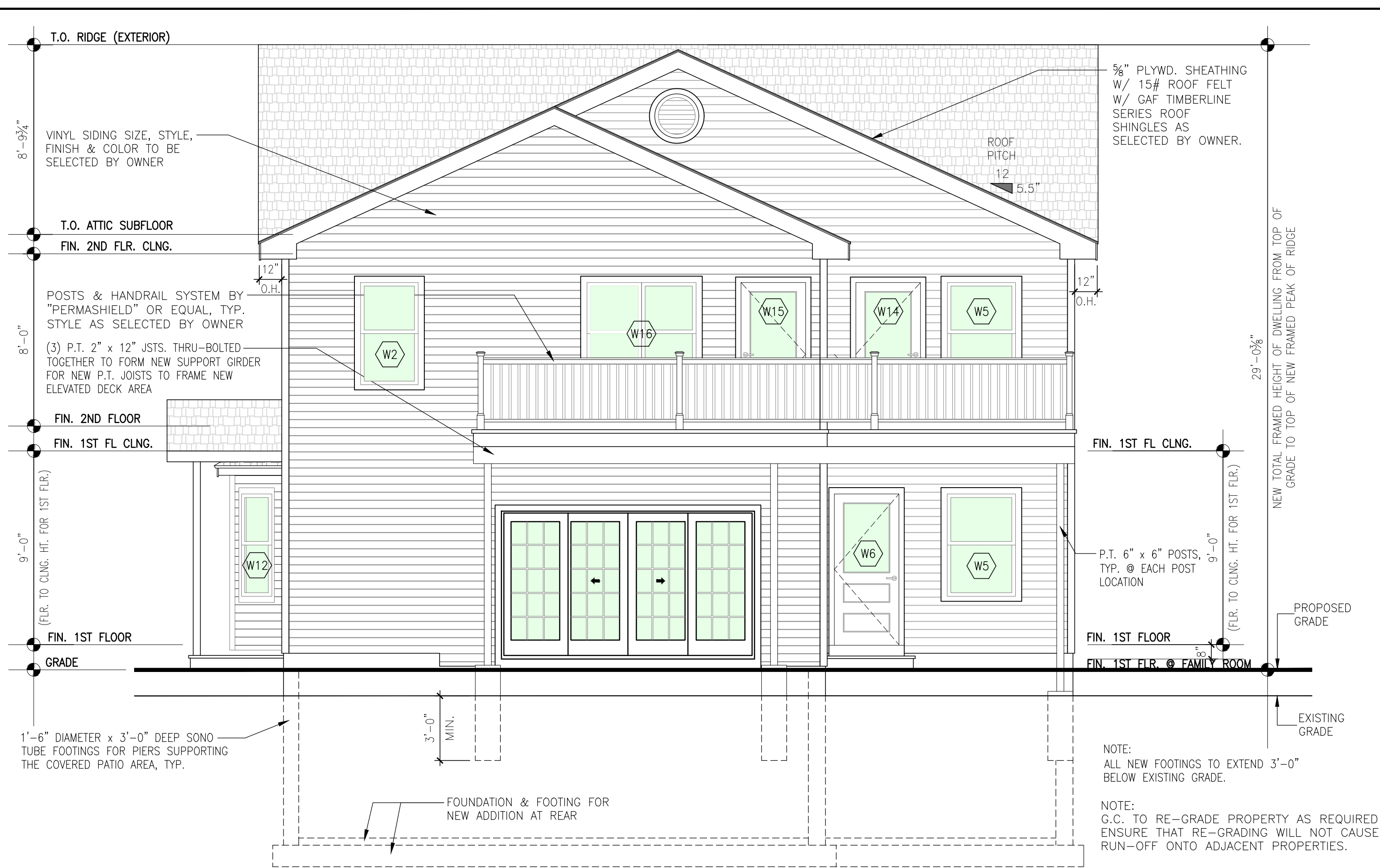
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LINOY MATHIEU RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

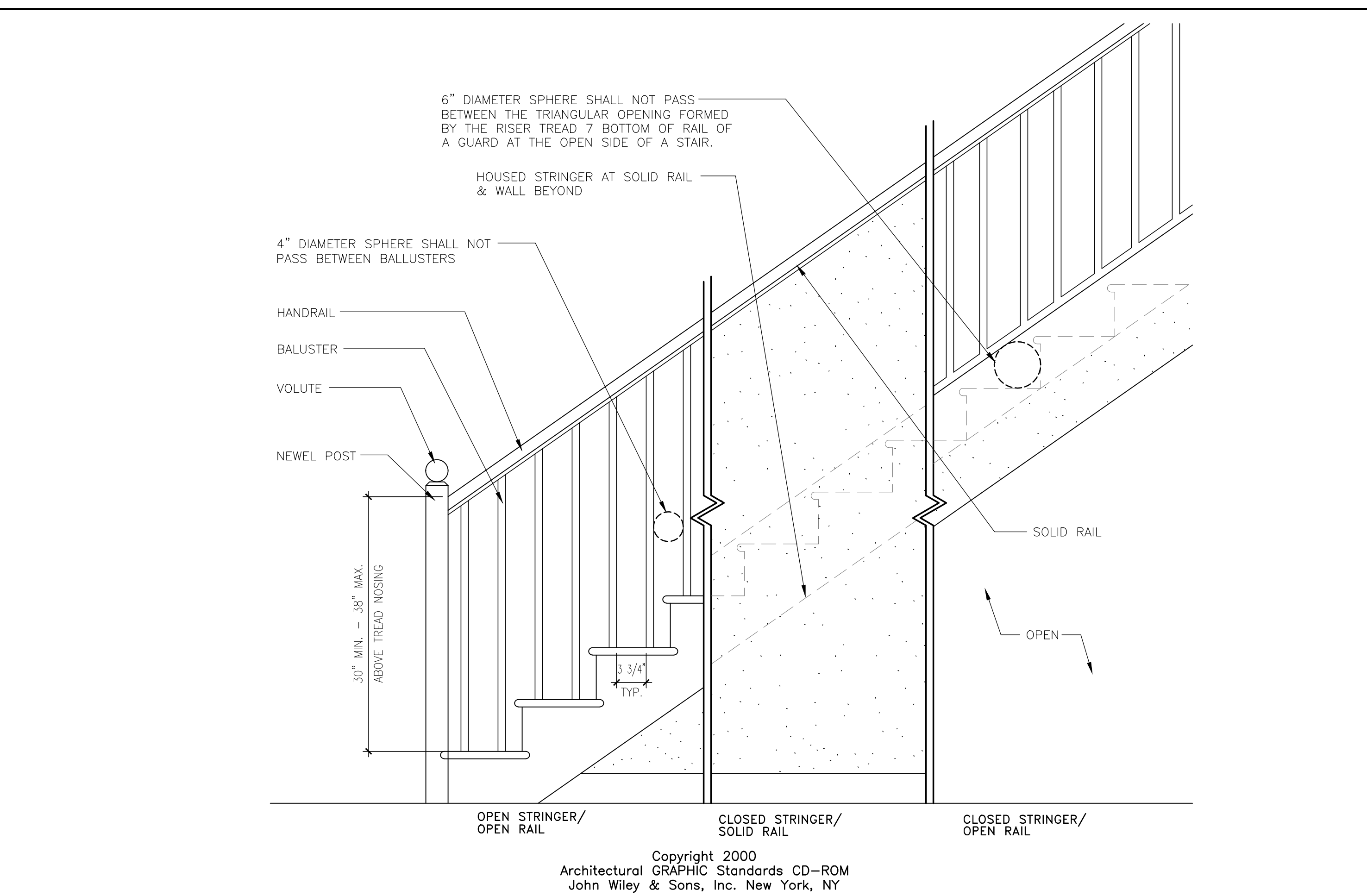
PROJECT:
 ADDITION / ALTERATION FOR:
 LINOY MATHIEU RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

DRAWING: PROPOSED ELEVATIONS, WINDOW SCHEDULE & DETAILS
DRAWN: mb / dc / ljm
DATE: 12/19/24
SCALE: AS NOTED
JOB NO: 24.090
SHEET:



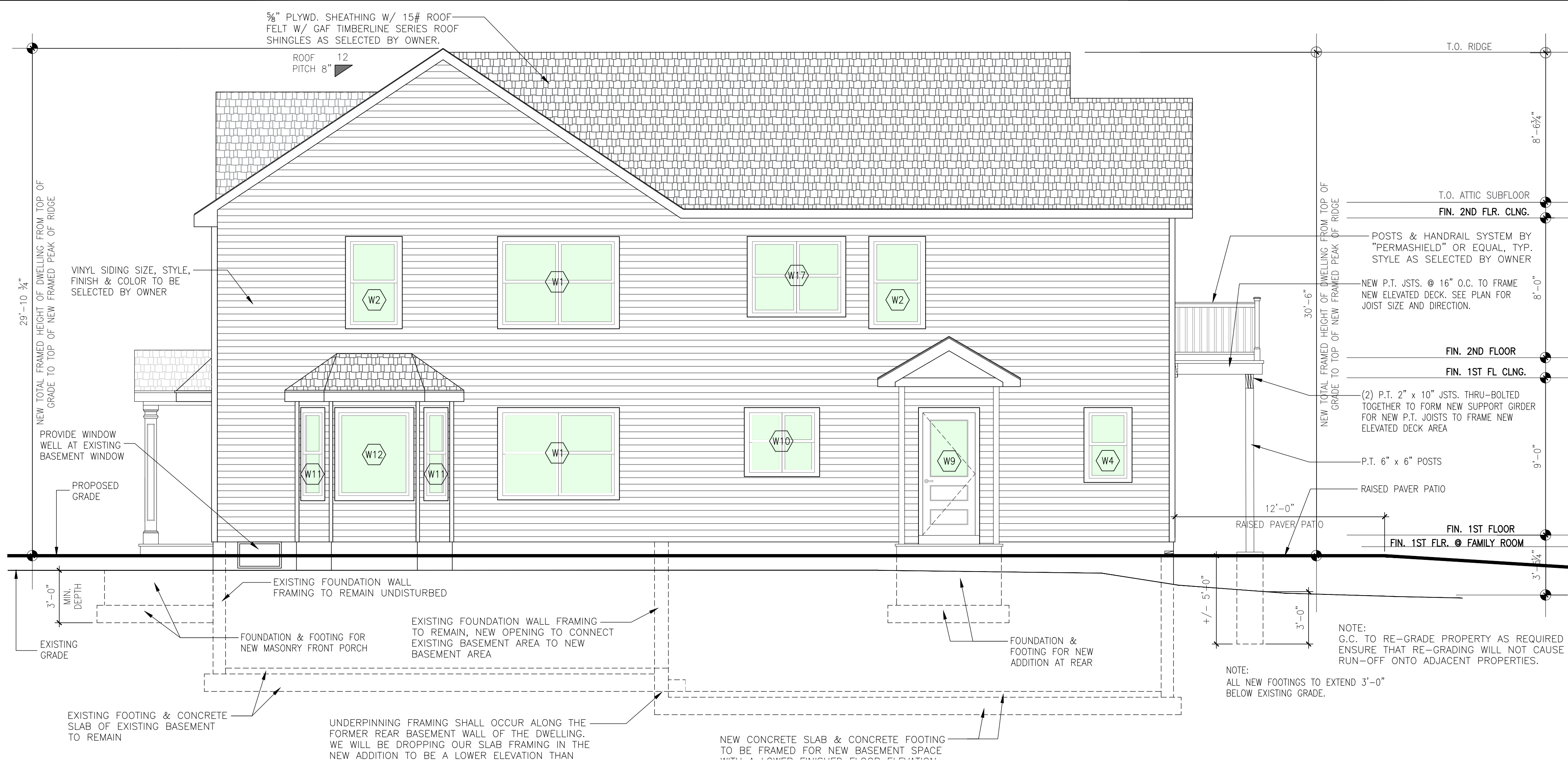
1 PROPOSED REAR FACADE OF DWELLING

SCALE: 1/4" = 1'-0"



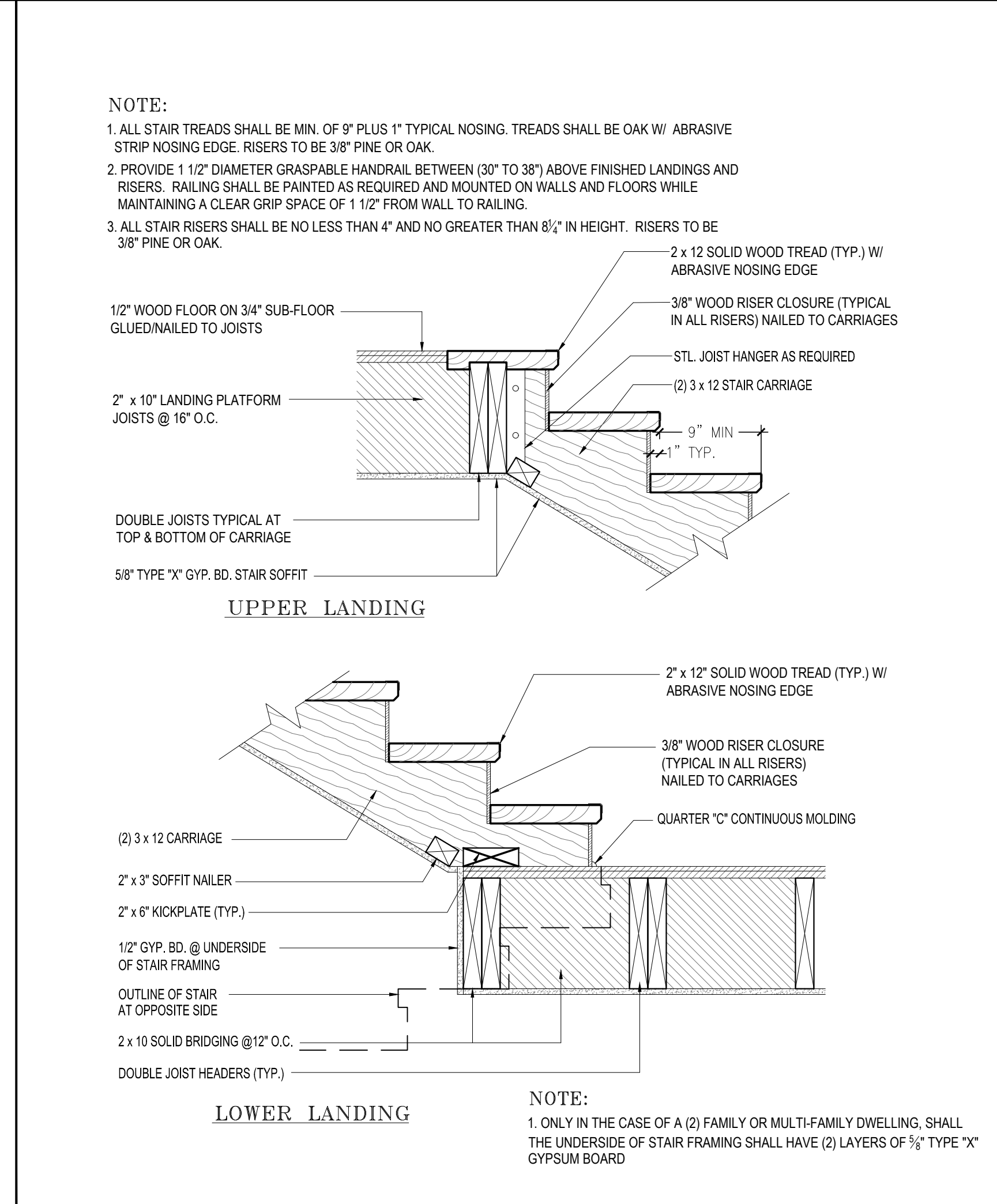
3 BALLUSTRADE TOLERANCE DETAIL

SCALE: N.T.S.



2 PROPOSED RIGHT SIDE OF DWELLING

SCALE: 1/4" = 1'-0"



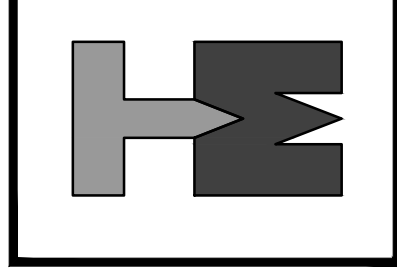
4 INTERIOR STAIR DETAIL

SCALE: N.T.S.

DATE	BY
05/07/25	ljm/rmb
08/07/25	ljm/rmb

REVISION/DESCRIPTION	ISSUED FOR BID & PERMITTING REVIEW	LAYOUT AND ELEVATIONS UPDATED PER OWNER
No. 1	2	1

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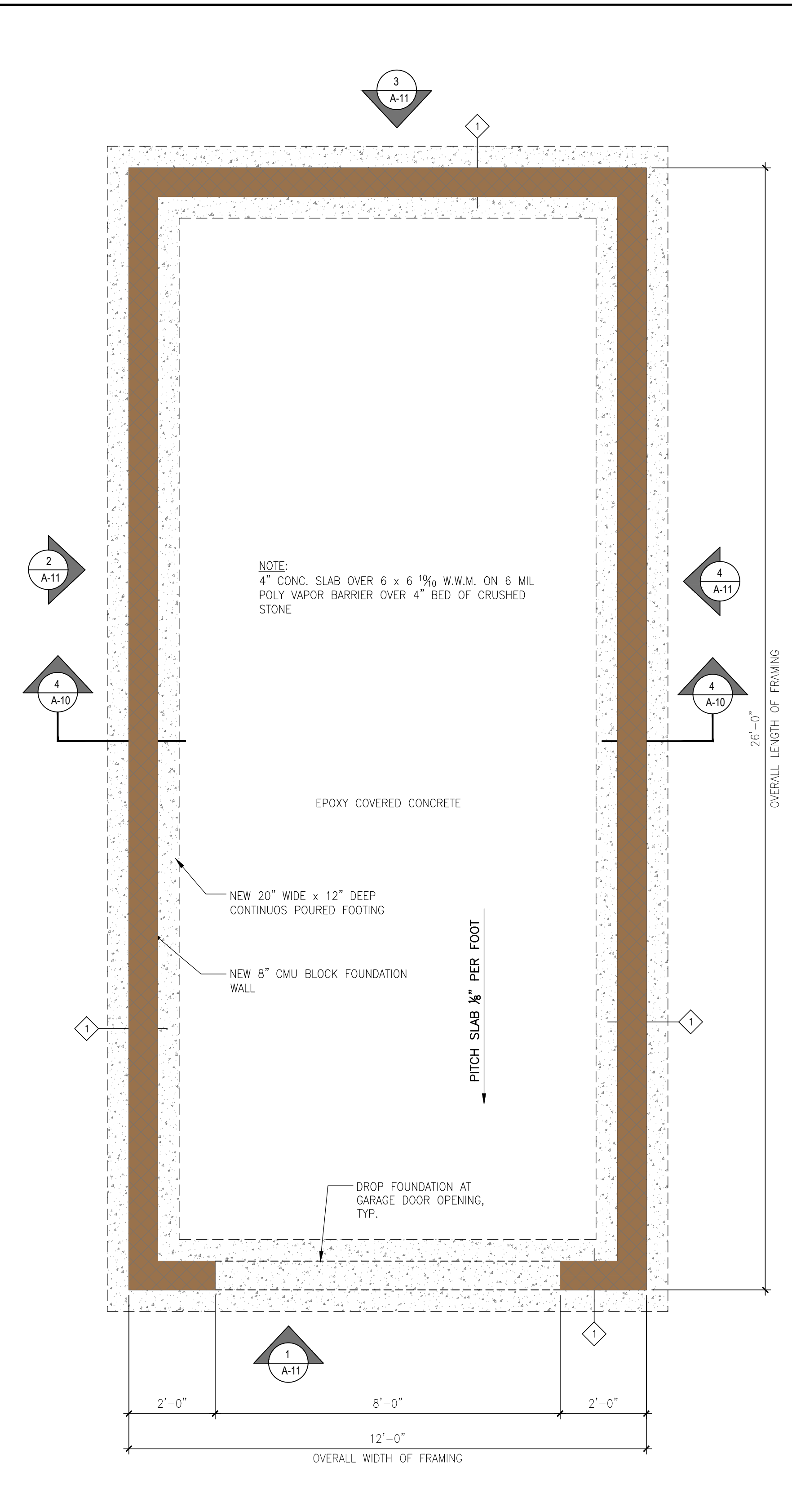


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 MASSACHUSETTS: Lic. No. 31380
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 NEW YORK: Lic. No. 051225-1

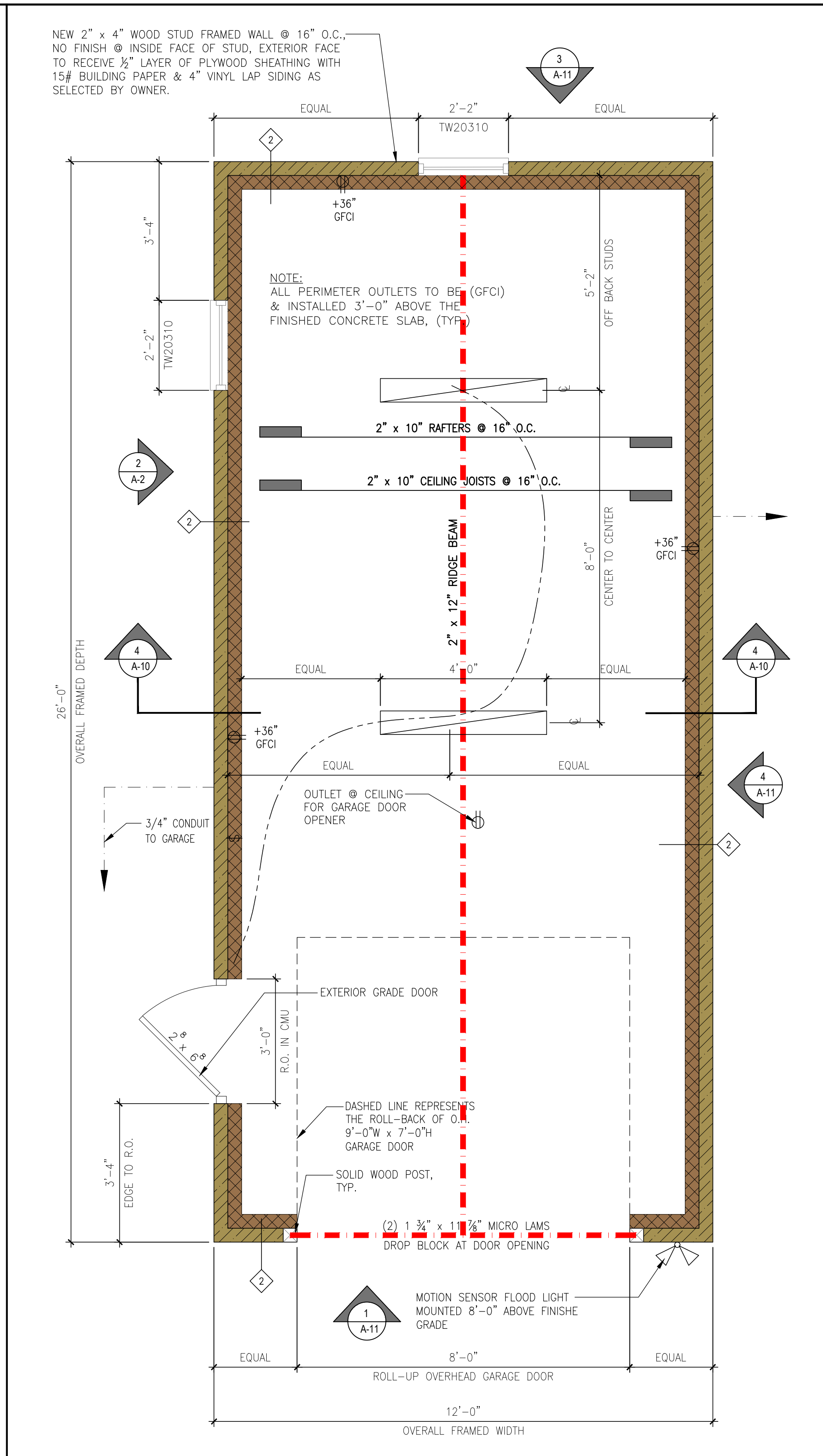
PROJECT:
 ADDITION / ALTERATION FOR:
 LINOY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

DRAWING: PROPOSED ELEVATIONS,
 STAIR & BALLUSTRADE DETAILS
 DRAWN:
 mb / dc / ljm
 DATE:
 12/19/24
 SCALE:
 AS NOTED
 JOB NO:
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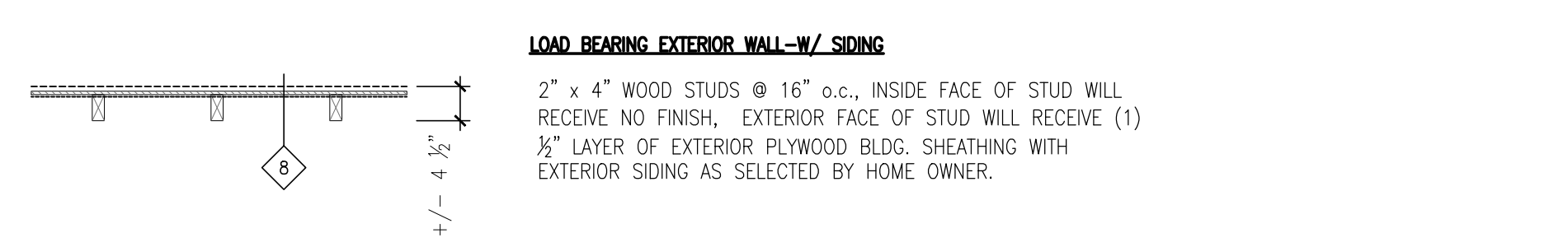
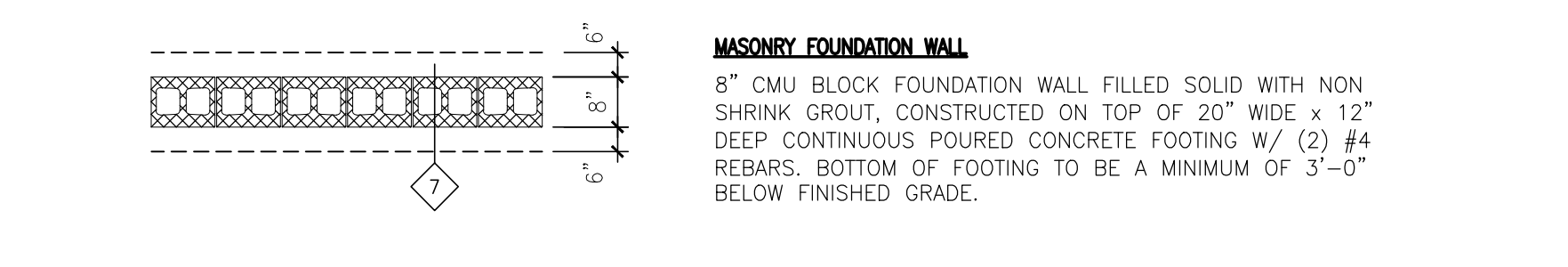
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 7 OF 14 SHEETS



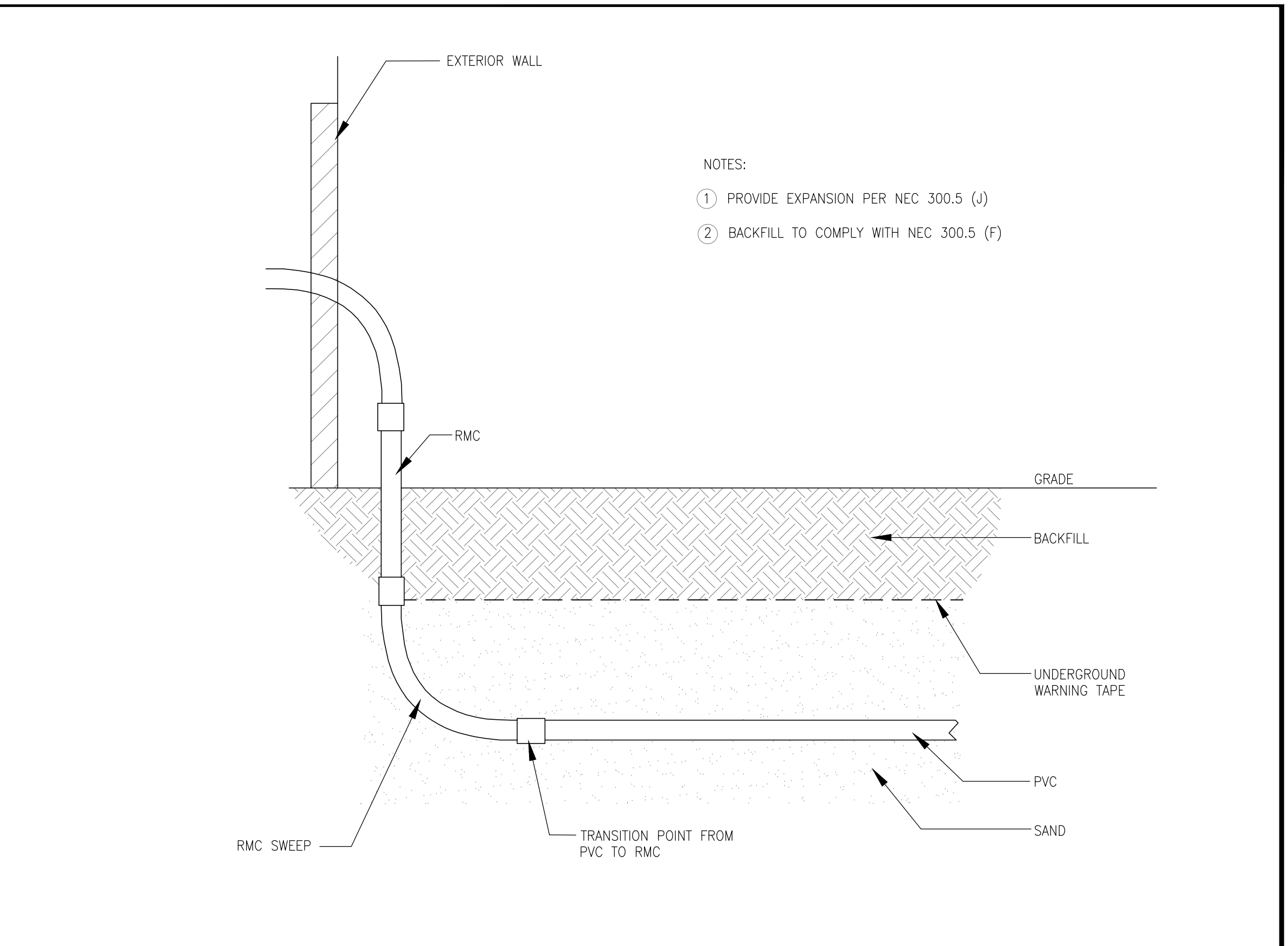
① GARAGE FOOTING & FOUNDATION FRAMING PLAN SCALE: 1/2" = 1'-0"



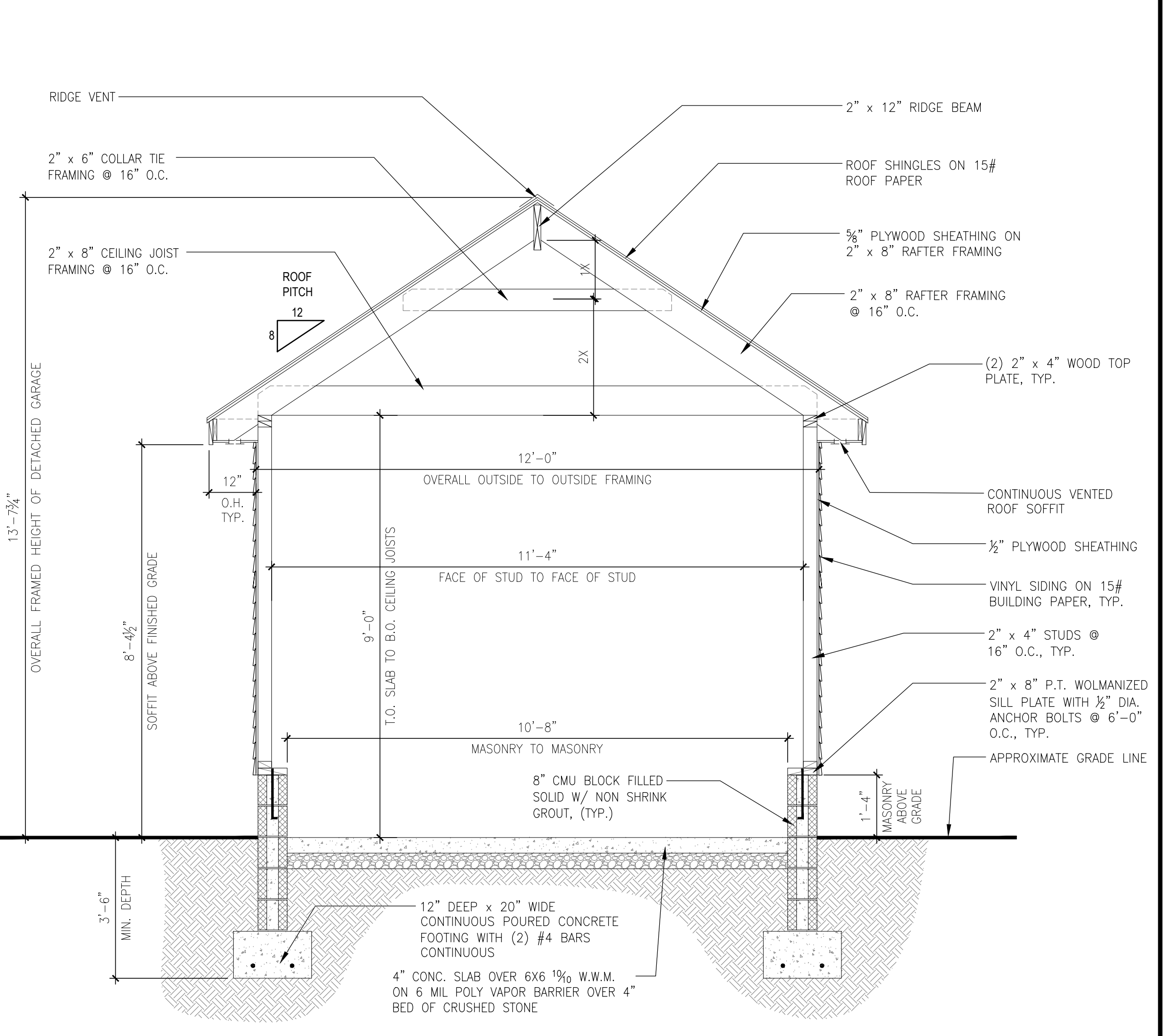
② GARAGE FRAMING PLAN & PROPOSED POWER & LIGHTING PLAN SCALE: 1/2" = 1'-0"



WALL PARTITION TYPES LEGEND FOR DETACHED GARAGE FRAMING



③ UNDERGROUND CONDUIT DETAIL SCALE: 1/2" = 1'-0"

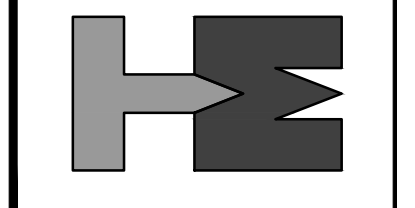


④ CROSS SECTION FRAMING DETAIL SCALE: 1/2" = 1'-0"

REVISION DESCRIPTION	DATE	BY
ISSUED FOR BID & PERMITTING REVIEW	05/07/25	ljm / mb
LAYOUT AND ELEVATIONS UPDATED PER OWNER	03/07/25	ljm / mb

No.	DATE	BY
1		
2		

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NORTH CAROLINA
Lic. No. 5536
NEW YORK
Lic. No. 051225-1

PROJECT:
ADDITION / ALTERATION FOR:
LINOY MATHW RESIDENCE
314 SOUTH VAN DIEN
RIDGWOOD, NEW JERSEY

DRAWING: DETAILED CROSS SECTION THROUGH FRAMING OF DWELLING

DRAWN:
mb / dc / ljm

DATE:
12/19/24

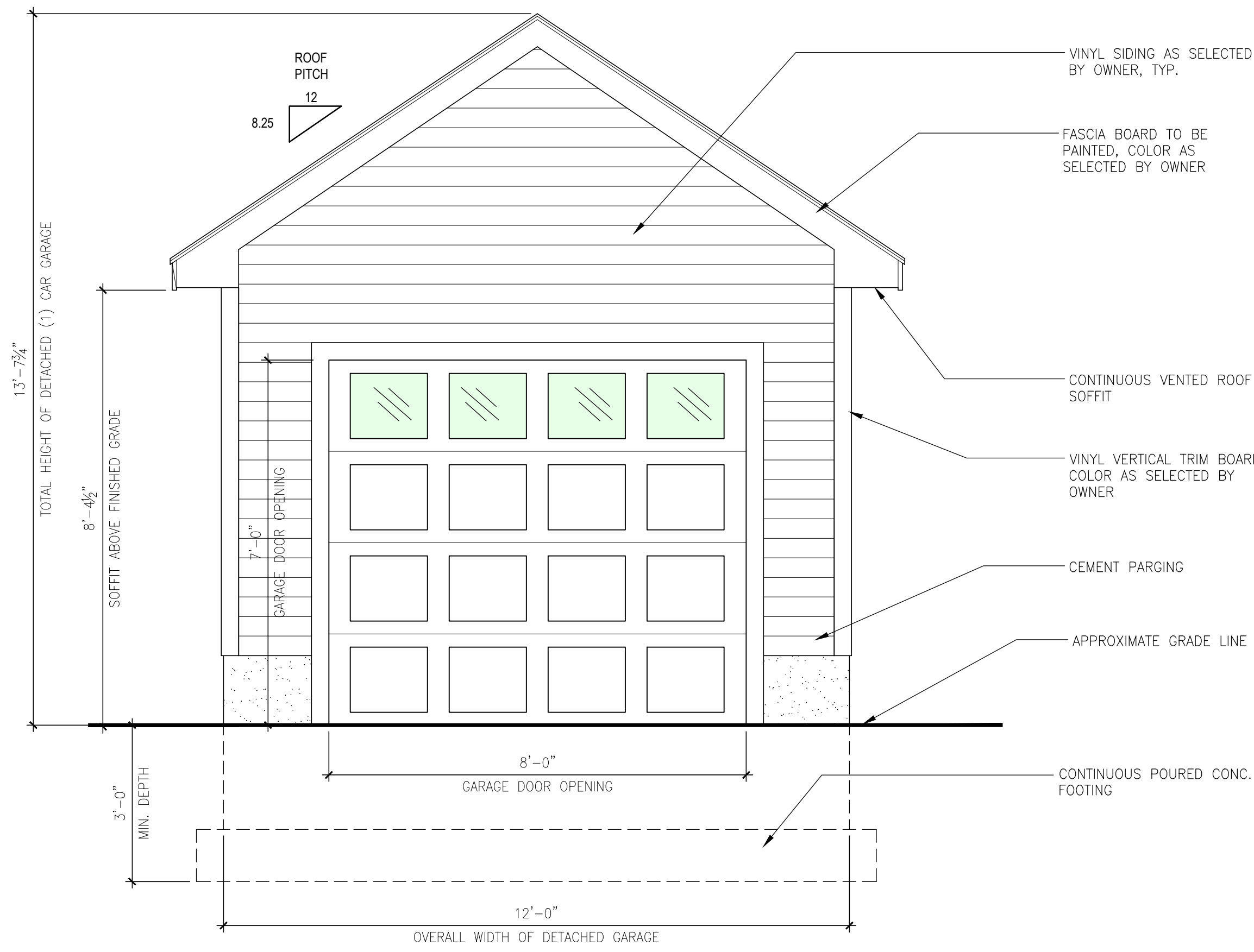
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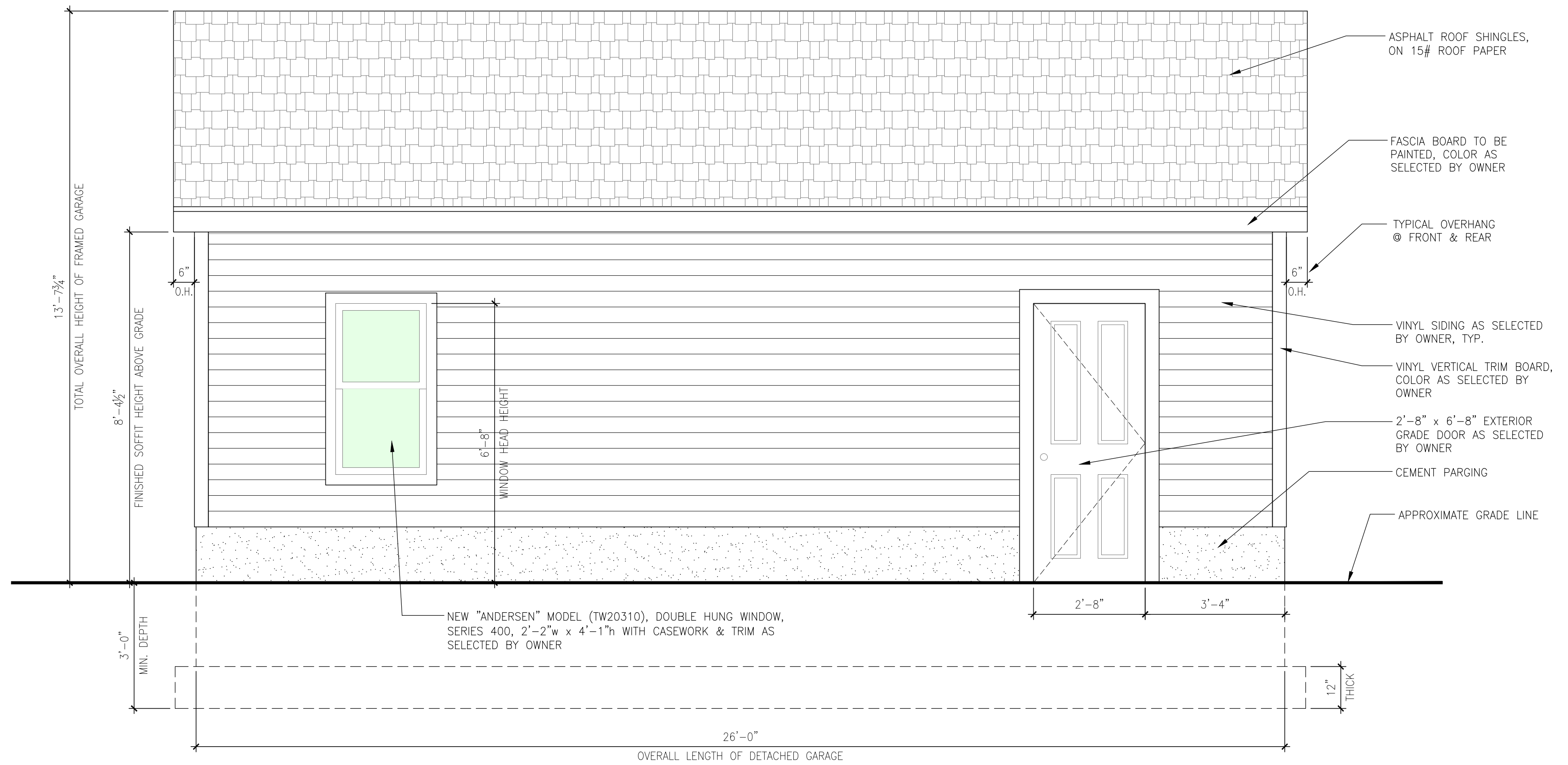
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12 OF 14 SHEETS



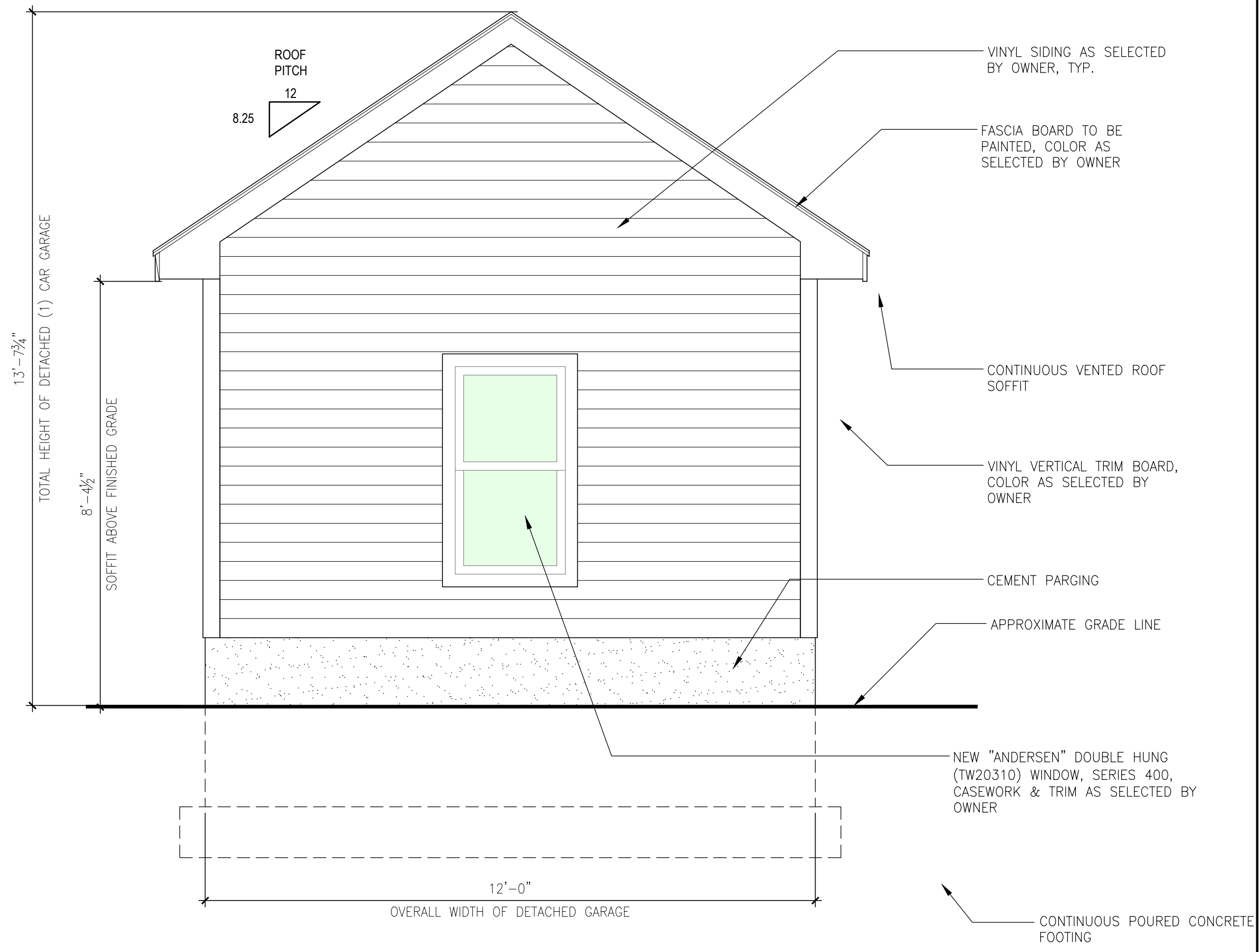
1 PROPOSED FRONT FACADE OF DETACHED GARAGE

SCALE: 1/2" = 1'-0"



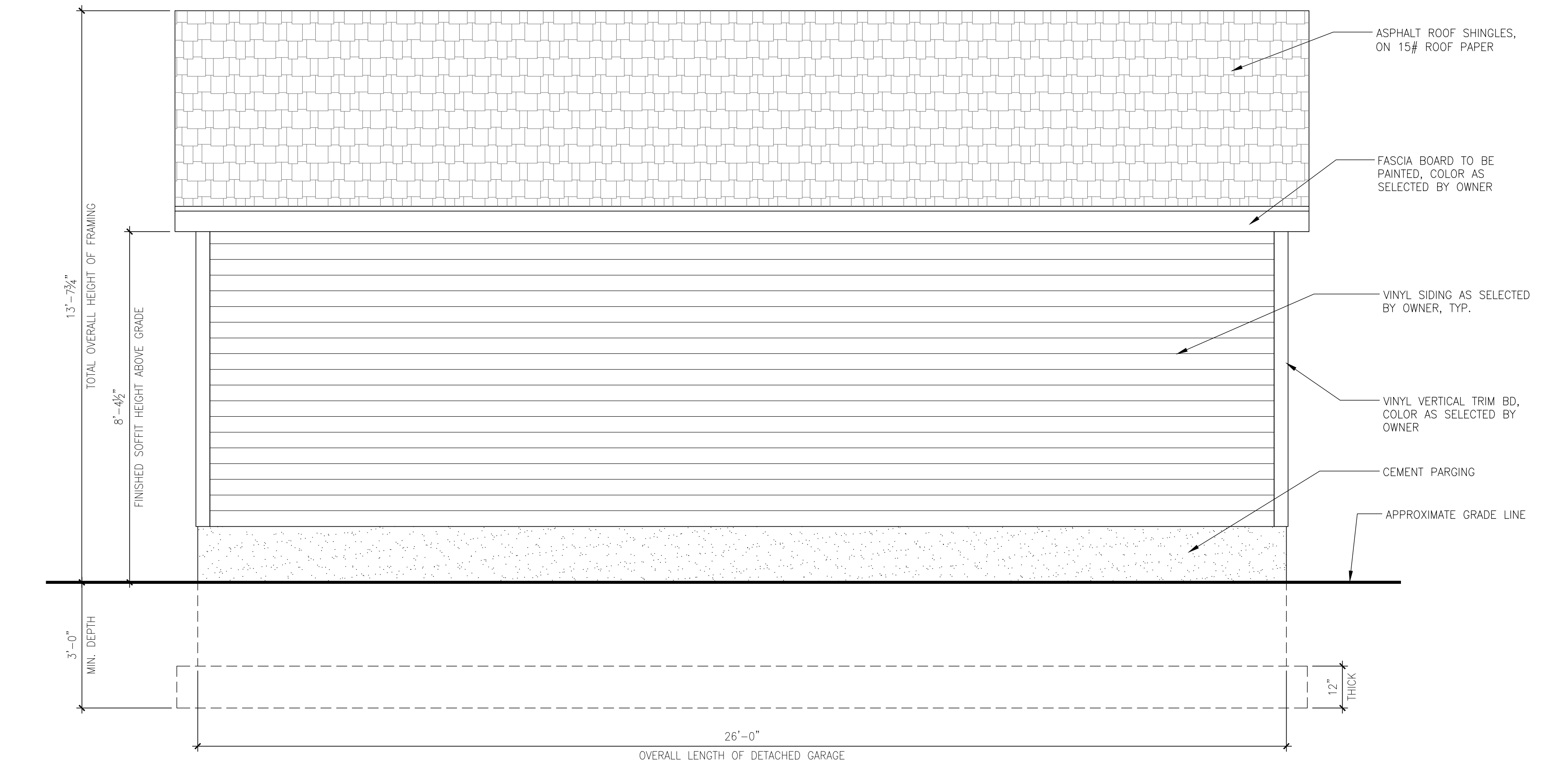
2 PROPOSED LEFT FACADE OF DETACHED GARAGE

SCALE: 1/2" = 1'-0"



3 PROPOSED REAR FACADE OF DETACHED GARAGE

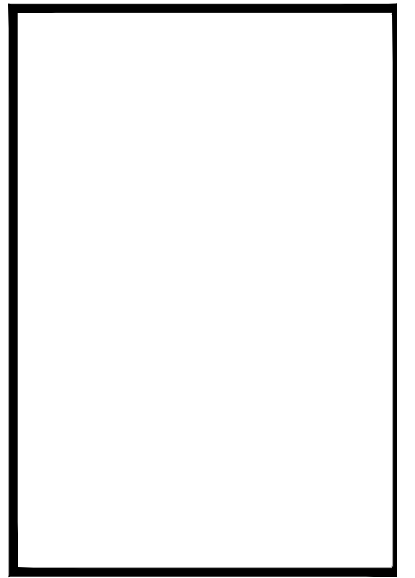
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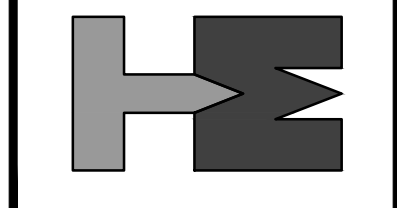
4 PROPOSED RIGHT FACADE OF DETACHED GARAGE

SCALE: 1/2" = 1'-0"

REVISION DESCRIPTION	DATE	BY
ISSUED FOR BID & PERMITTING REVIEW	05/07/25	ljm/mb
LAYOUT AND ELEVATIONS UPDATED PER OWNER	09/07/25	ljm/mb



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 REG. NO. 51321
 NEW JERSEY
 Lic. No. 14447
 MASSACHUSETTS
 Lic. No. 31380
 NORTH CAROLINA
 Lic. No. 9536
 NEW YORK
 Lic. No. 051228-1

PROJECT:
 ADDITION / ALTERATION FOR:
 LINOY MATHEW RESIDENCE
 314 SOUTH VAN DIEN
 RIDGEWOOD, NEW JERSEY

DRAWING: DETAILED CROSS SECTION THROUGH FRAMING OF DWELLING

DRAWN:
 mb / dc / ljm

DATE:
 12/19/24

SCALE:
 AS NOTED

JOB NO:
 24.090

SHEET:

A-11

13 OF 14 SHEETS