

# PRELIMINARY & FINAL SITE PLAN

## COMMERCIAL BUILDING

### BLOCK 3905, LOTS 12, 13, 14

### 246-264 SOUTH BROAD STREET

### VILLAGE OF RIDGEWOOD

### COUNTY OF BERGEN, NEW JERSEY

#### PROPERTY OWNERS WITHIN 200'

VILLAGE OF RIDGEWOOD (Per Tax Assessor dated 5-31-22)

Block-Lot: 2209-15 LEE, VERONICA J 7 LENOX AVE RIDGEWOOD, NJ 07450	Block-Lot: 3905-11 WEST BERGEN SPECIALIZED HOUSING INC 120 CHESTNUT ST RIDGEWOOD, NJ 07450	Block-Lot: 2305-6 200 SOUTH BROAD ST LLC %A KORRIS 203 S BROAD ST RIDGEWOOD NJ 07450
Block-Lot: 3905-40.01 GROSMAN, EDWIN MICHAEL 32 KOSSUTH PL WAYNE, NJ 07470	Block-Lot: 3905-18 GROSMAN, EDWIN & DARIA 32 KOSSUTH PL WAYNE, NJ 07470	Block-Lot: 2305-11 ZEGARRA, DIANA 7 RICHMOND AVE RIDGEWOOD NJ 07450
Block-Lot: 3902-11 KIM, GEMMA 306 S PLEASANT AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-4 ASTARITA, ROBERT & BONNIE 202 WOODSIDE AVE. RIDGEWOOD, NJ 07450	Block-Lot: 3905-15 STAFFORD, MATTHEW 95 ARLINGTON AVE HAWTHORNE, NJ 07856
Block-Lot: 3906-3.01 KIM, SUNG J & YOUNG SOOK 48 LEONARD PL RIDGEWOOD, N.J. 07450	Block-Lot: 3905-2 PISTERLA, CAROLINA & WILLET, JACOB 42 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3902-1 THAYER, HENRY & FAITH 209 S BROAD ST RIDGEWOOD, NJ 07450
Block-Lot: 3906-1 PETTINEO, SCOTT & LISA PO BOX 849 RAMSEY, NJ 07446	Block-Lot: 3906-3 WOODSIDE GARDENS CONDO ASSN 46-50 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3905-7 210 SOUTH BROAD ST LLC %A KORRIS 311 SAMMILL LN WYCKOFF, NJ 07461
Block-Lot: 3906-11 KLEINNECHT, MARGARITA 217 HIGHWOOD AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-6 PEAY, JOANN R. 295 FERRIS PLACE RIDGEWOOD, NJ 07450	Block-Lot: 3905-17 GALARZA, PATRICIA & VICTOR 290 S BROAD ST 1ST FL RIDGEWOOD, NJ 07450
Block-Lot: 3906-3.02 YOUNG, GERALD & MARY ANN 46 LEONARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3905-16 WANG, VICTOR & GONG LAURIE 4 CANDLEWOOD DRIVE OLD TAPPAN, NJ 07675	Block-Lot: 3902-10 LYNCH, BRENDAN C & LITTLEJOHN, SEAN M 223 S BROAD ST RIDGEWOOD, NJ 07450
Block-Lot: 3902-2 MOLLO, LOUISA C & TONI 32 BRAINARD PL RIDGEWOOD, NJ 07450	Block-Lot: 3902-9 THOMAS, DONALD R. & BARBARA 229 S. BROAD ST RIDGEWOOD, NJ 07450	<b>UTILITIES &amp; OTHER AGENCIES</b>
Block-Lot: 3906-10 HALWAGY, GEORGE & CLAUDETTE 319 W GLEN AVE RIDGEWOOD, NJ 07450	Block-Lot: 3902-6 HIGGINS, TERRENCE & DEBORAH 24 ELIZABETH ST. GLEN ROCK, NJ 07452	<b>ELECTRIC &amp; GAS</b> PUBLIC SERVICE ELECTRIC & GAS COMPANY 80 PARK PLAZA, T6B NEWARK, NJ 07102
Block-Lot: 3906-2 RELIGIOUS SOCIETY OF FRIENDS C/O KEIL 224 HIGHWOOD AV RIDGEWOOD, NJ 07450	Block-Lot: 3905-4.01 BRD RDO HSG CORP % D MAHAN-WILLIAMS PO BOX 81 RIDGEWOOD, NJ 07451	<b>WATER</b> RIDGEWOOD WATER DEPARTMENT DIRECTORS OFFICE 131 NORTH MAPLE AVENUE RIDGEWOOD, NJ 07451
Block-Lot: 3906-11 METROPOLITAN A.M.E. ZION CHURCH 299 SOUTH BROAD ST RIDGEWOOD, NJ 07450	Block-Lot: 2306-10 ASIMAKOPOULOS PARTNERSHIP % NICHOLAS 774 ALBEMARLE ST WYCKOFF, NJ 07481	<b>SEWER</b> ENGINEERING DIVISION COLLECTION SYSTEM OPERATIONS 131 NORTH MAPLE AVENUE RIDGEWOOD, NJ 07451
Block-Lot: 3902-8 HILLMAN, FRANK & ROSEMARY 233 S BROAD ST RIDGEWOOD, NJ 07450	Block-Lot: 3902-7 PEAY, JOANN R. 295 FERRIS PLACE RIDGEWOOD, NJ 07450	<b>CABLE TV</b> CABLEVISION 40 POTASH ROAD OAKLAND, NJ 07436
Block-Lot: 2209-14 BERRY, HELEN J 419 SMITH PL RIDGEWOOD NJ 07450	Block-Lot: 3902-3 MOCCIO, LOUIS 56 MEADOWBROOK RD RAMSEY, NJ 07446	<b>TELEPHONE</b> VERIZON NJ INC MARK BOCCIERI DIRECTOR-EXTERNAL AFFAIRS 25 MAIN STREET HACKENSACK, NJ 07601
		<b>RAILROAD</b> STATE OF NJ DOT MARKET STREET & MCCARTER HIGHWAY NEWARK, NJ 07101



500' RADIUS MAP

SCALE: 1"=200'

DRAWING LIST	
C1.1	COVER SHEET
C2.1	DEMOLITION & EROSION CONTROL PLAN
C2.2	SITE PLAN
C2.3	GRADING, UTILITY & EROSION CONTROL PLAN
C2.4	LANDSCAPE & LIGHTING PLAN
C2.5	LIGHTING INTENSITIES PLAN
C2.6	VEHICLE CIRCULATION PLANS
C3.1	SITE DETAILS
C3.2	UTILITY DETAILS
C3.3	DRAINAGE DETAILS
C3.4	LANDSCAPE DETAILS

#### ZONING NOTES

- OWNER/APPLICANT: LES DANN LLC  
76 MOUNTAINVIEW BLVD  
WAYNE, NJ 07470
- LOCATION: 246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
COUNTY OF BERGEN, NEW JERSEY  
BLOCK 3905, LOTS 12,13,14  
TAX MAP SHEET #39
- ZONE: R-3 TWO-FAMILY RESIDENCE DISTRICT (ADJACENT TO AH-1)
- USE: EXISTING - COMMERCIAL (E), ONE FAMILY DWELLING (PERMITTED)  
PROPOSED - COMMERCIAL (V)
- BULK REQUIREMENTS (ARTICLE X § 190-106):

	REQUIRED	EXISTING L.12	EXISTING L.13	EXISTING L.14	PROPOSED
§ 190-106(E)(1)	MAX. BLDG HEIGHT (FT):	30	30	25	30
§ 190-106(E)(2)	MIN. FRONT YARD (FT):	40	20.2(E)	23.3(E)	117.7
§ 190-106(E)(3)	MIN. SIDE YARD (FT):	10	2.8(E)	8.8(E)	34.9
§ 190-106(E)(4)	MIN. BOTH SIDE YARD (33% OF 257.6)(FT)	85	12.28(E)	42.68	16.18(E)
	MIN. REAR YARD				74.9(V)
§ 190-106(E)(5)	MIN. REAR YARD (FT):	30	131.6	219.6	5.2(E)
§ 190-119(A)(3)	MIN. REAR YARD ABUTTING RAILROAD (FT):	45	131.6	219.6	5.2(E)
§ 190-106(E)(6)	MIN. LOT AREA (SF):	8,400	23,919	16,634	33,257
	MIN. LOT WIDTH				73,810
§ 190-106(E)(7)	MIN. FRONT YARD SETBACK (FT):	60	108.4	60.2	88.9
§ 190-106(E)(7)	WITHIN 140 FT OF FRONT LOT LINE (FT):	50	88.2	55.3	251.95
§ 190-106(E)(8)	MIN. AVERAGE LOT WIDTH** (SF):	60	102.81	60.03	98.01
§ 190-106(E)(9)	MIN. LOT DEPTH (FT):	120	299.15	299.15	286.01
	MAX. COVERAGE BY ABOVE GRADE STRUCTURES				277.89
§ 190-106(E)(10)	TOTAL (%):	25	24.08	9.43	14.92
§ 190-106(E)(11)	WITHIN 140 FT OF FRONT LOT LINE (%):	25	39.58 (E)	10.79	4.36
	MAX. GROSS BUILDING AREA (14,000-19,249 SF)				18.68
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	29/4,620	N/A	10/1,667	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	29/4,620	N/A	19.7/1,667	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY: LESSER OF (%/SF):	6/962	N/A	3.6/599	N/A
	MAX. GROSS BUILDING AREA (19,250-24,999 SF)				N/A
§ 190-106(E)(12)	PRINCIPAL BUILDING: LESSER OF (%/SF):	24/5,000	24.05/5,752(E)	N/A	N/A
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE: LESSER OF (%/SF):	24/5,000	39.58/5,728(E)	N/A	N/A
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	5/1,000	N/A	N/A	N/A
	MAX. GROSS BUILDING AREA (25,000 SF AND OVER)				N/A
§ 190-106(E)(12)	PRINCIPAL BUILDING (%):	20	N/A	N/A	5.45
§ 190-106(E)(13)	WITHIN 140 FT OF FRONT LOT LINE (%):	20	N/A	N/A	4.36
§ 190-106(E)(12)	DETACHED ACCESSORY (%):	4	N/A	N/A	9.18 (E)
	MAX. IMPROVEMENT COVERAGE (14,000-24,999 SF)				18.68****
§ 190-119(H)(1)	TOTAL (% MAX.(FT))	40/8,750	100/23,919(E)	76.01/12,643 (E)	N/A
§ 190-119(H)(2)	WITHIN 140 FT OF FR LOT LINE (% MAX.(FT))	40/8,750	100/14,470(E)	30.18/5,019	N/A
	MAX. IMPROVEMENT COVERAGE (25,000 SF AND OVER)				N/A
§ 190-119(H)(1)	TOTAL (%):	35	N/A	N/A	94.31/291(E)
§ 190-119(H)(2)	WITHIN 140 FT OF FRONT LOT LINE (%):	35	N/A	N/A	85.7/1,757 (E)
	RETAINING WALLS				68.82(V)
§ 190-124(F)(3)	MAX. HEIGHT (FT)	4	3.9	2.2	3
§ 190-124(F)(2b)	MIN. REAR YARD SETBACK (FT)***	4.76	>50	>50	0(E)
	FENCES				4
§ 190-119(F)(3a)	MAX. HEIGHT REAR YARD (FT)	6	N/A	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT SIDE YARD (FT)	6	5	N/A	6
§ 190-119(F)(3a)	MAX. HEIGHT FRONT YARD (FT)	4	6(E)	N/A	N/A
	EXTERIOR EQUIPMENT				
§ 190-124(M)(2)	MIN. FRONT YARD SETBACK (FT)	40	>40	N/A	>40
§ 190-124(M)(3)	MIN. SETBACK FROM RESIDENTIAL PROPERTY (FT)	10	0(E)	N/A	>10
	FLAGPOLES				59.15
§ 190-119(C)(1)(G)	MAX HEIGHT (FT)	30	N/A	N/A	16
§ 190-119(C)(1)(G)	MIN. SETBACK (FT)	16	N/A	N/A	26

#### 6. SIGNS (§ 190-122. E) (R-3 ZONE NOT PERMITTED, ZONE C BULK SCHEDULE BELOW)

	REQUIRED	PROPOSED
MAX. # OF FREESTANDING SIGNS	1	1
MAX. # OF AFFIXED SIGNS PER BUILDING	1	10
MAX. AREA (SF)	1	2
MIN. SETBACK (FT)	5	10
MAX. HEIGHT (FT)	10	4.2

#### 7. OFF-STREET PARKING (ZONE C, AUTOMOTIVE REPAIR PERMITTED) (ARTICLE X § 190-121)

	REQUIRED	PROPOSED
1 SPACE PER 250 SF GROSS FLOOR AREA (22,132 / 250)	88.5	85(V) (82+3 EVSE CREDIT)
PARKING SPACE SIZE		
NO CURB OVERHANG (FTxFT)	9x20	9x18(V)
WITH 2 FT OVERHANG (FTxFT)	9x18	9x18

#### \* REQUIRED ELECTRIC VEHICLE SUPPLY EQUIPMENT SPACES (EVSE):

NON-RESIDENTIAL	REQUIRED	PROVIDED
MIN. (EVSE)(76 - 100 SPACES PROVIDED):	3	3

\*\*CALCULATED SO THAT AT LEAST 8,400 SF OF LOT AREA BE PROVIDED WITHIN 140 FT OF FRONT LOT LINE  
\*\*\*A HORIZONTAL DISTANCE NOT LESS THAN ONE FOOT FOR EACH FOOT OF HEIGHT OF THE RETAINING WALL  
\*\*\*\*NOT APPLICABLE TO COMMERCIAL. SHOWN FOR COMPARISON

NC = NO CHANGE  
(V) = VARIANCE  
(E) = EXISTING NON-CONFORMITY  
N/A = NOT APPLICABLE

APPROVED BY THE VILLAGE OF RIDGEWOOD BOARD OF ADJUSTMENT

CHAIRMAN	DATE
SECRETARY	DATE
BOROUGH ENGINEER	DATE

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CALISTO J. BERTIN, P.E.  
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MA LIC. NO. 40595 NY LIC. NO. 60022  
NH LIC. NO. 9368 RI LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

REVISION

NO.	DATE	REVISION
5	5-29-25	UPDATE PROVIDED PARKING COUNT
4	11-4-24	REVISE ZONING NOTES
3	5-9-23	REVISE ZONING NOTES
2	2-11-23	REVISE BULK REQUIREMENTS AND DRAWING LIST
1	10-20-22	ADD EVSE AND SIGN SCHEDULE

#### COVER SHEET

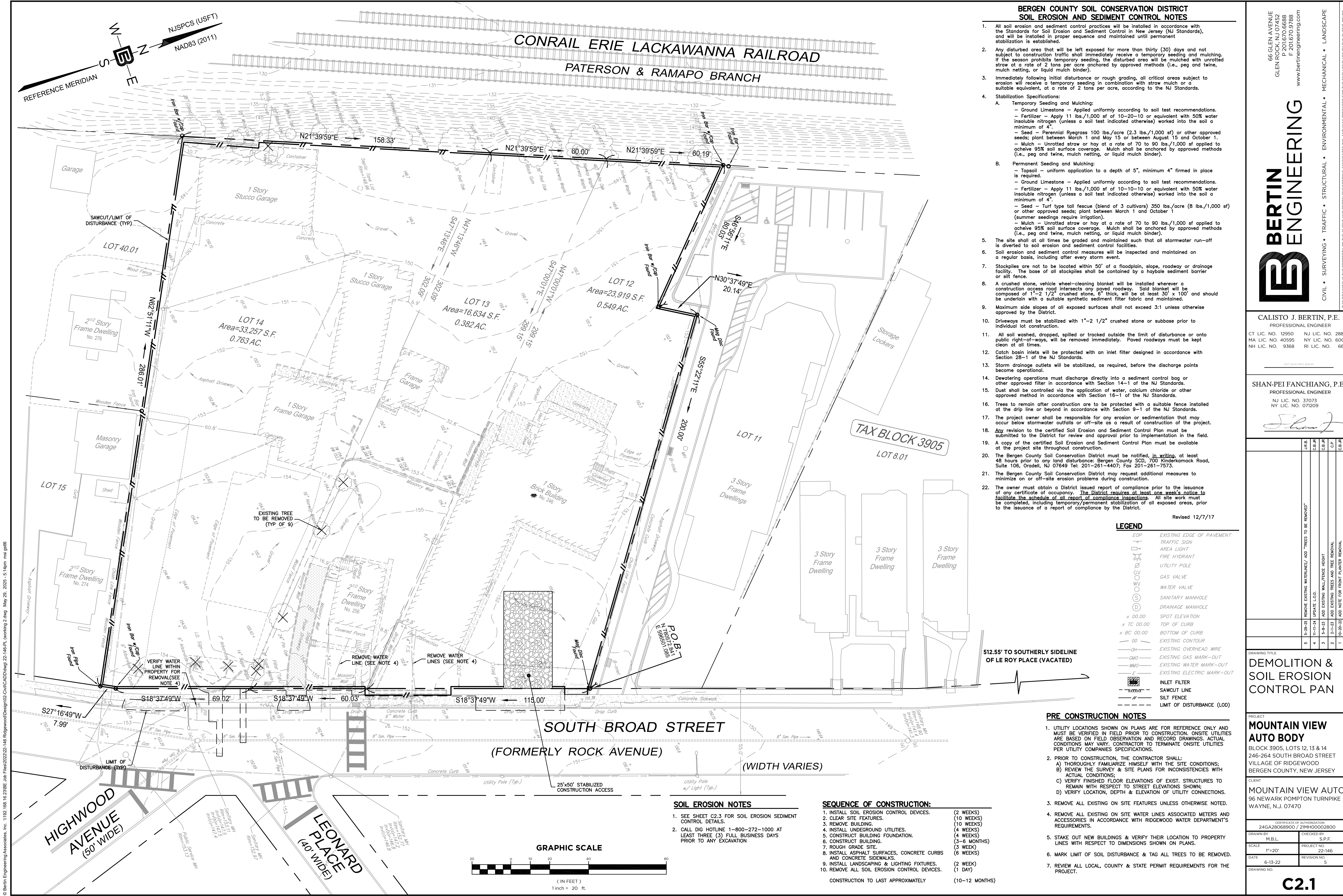
DRAWING TITLE  
**COVER SHEET**

PROJECT  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY

CLIENT  
**MOUNTAIN VIEW AUTO**  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 2
DRAWING NO.	

C1.1



**BERGEN COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
- Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unrotted straw at a rate of 2 tons per acre anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:
  - Temporary Seeding and Mulching:
    - Ground Limestone - Applied uniformly according to soil test recommendations.
    - Fertilizer - Apply 11 lbs./1,000 sf of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
    - Seed - Perennial Ryegrass 100 lbs./acre (2.3 lbs./1,000 sf) or other approved seeds; plant between March 1 and May 15 or between August 15 and October 1.
    - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
  - Permanent Seeding and Mulching:
    - Topsoil - uniform application to a depth of 5", minimum 4" firmed in place is required.
    - Ground Limestone - Applied uniformly according to soil test recommendations.
    - Fertilizer - Apply 11 lbs./1,000 sf of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicated otherwise) worked into the soil a minimum of 4".
    - Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (8 lbs./1,000 sf) or other approved seeds; plant between March 1 and October 1 (summer seedings require irrigation).
    - Mulch - Unrotted straw or hay at a rate of 70 to 90 lbs./1,000 sf applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e., peg and twine, mulch netting, or liquid mulch binder).
- The site shall at all times be graded and maintained such that all stormwater run-off is diverted to soil erosion and sediment control facilities.
- Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
- Stockpiles are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a haybale sediment barrier or silt fence.
- A crushed stone, vehicle wheel-cleaning blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1"-2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and shall be underlain with a suitable synthetic sediment filter fabric and maintained.
- Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
- Driveways must be stabilized with 1"-2 1/2" crushed stone or subbase prior to individual lot construction.
- All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
- Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
- Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
- Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
- Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
- Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
- The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or off-site as a result of construction of the project.
- Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
- A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
- The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County SCD, 700 Kinderkamack Road, Suite 106, Oradell, NJ 07649 Tel: 201-261-4407; Fax 201-261-7573.
- The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
- The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the schedule of all reports of compliance inspections. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

Revised 12/7/17

**LEGEND**

---	EXISTING EDGE OF PAVEMENT
---	TRAFFIC SIGN
---	AREA LIGHT
---	FIRE HYDRANT
---	UTILITY POLE
---	GAS VALVE
---	WATER VALVE
---	SANITARY MANHOLE
---	DRAINAGE MANHOLE
x 00.00	SPOT ELEVATION
x TC 00.00	TOP OF CURB
x BC 00.00	BOTTOM OF CURB
---	EXISTING CONTOUR
---	EXISTING OVERHEAD WIRE
---	EXISTING GAS MARK-OUT
---	EXISTING WATER MARK-OUT
---	EXISTING ELECTRIC MARK-OUT
---	INLET FILTER
---	SAWCUT LINE
---	SILT FENCE
---	LIMIT OF DISTURBANCE (LOD)

**PRE CONSTRUCTION NOTES**

- UTILITY LOCATIONS SHOWN ON PLANS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. ONSITE UTILITIES ARE BASED ON FIELD OBSERVATION AND RECORD DRAWINGS. ACTUAL CONDITIONS MAY VARY. CONTRACTOR TO TERMINATE ONSITE UTILITIES PER UTILITY COMPANIES SPECIFICATIONS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL:
  - THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS;
  - REVIEW THE SURVEY & SITE PLANS FOR INCONSISTENCIES WITH ACTUAL CONDITIONS;
  - VERIFY FINISHED FLOOR ELEVATIONS OF EXIST. STRUCTURES TO REMAIN WITH RESPECT TO STREET ELEVATIONS SHOWN;
  - VERIFY LOCATION, DEPTH & ELEVATION OF UTILITY CONNECTIONS.
- REMOVE ALL EXISTING ON SITE FEATURES UNLESS OTHERWISE NOTED.
- REMOVE ALL EXISTING ON SITE WATER LINES ASSOCIATED METERS AND ACCESSORIES IN ACCORDANCE WITH RIDGEWOOD WATER DEPARTMENT'S REQUIREMENTS.
- STAKE OUT NEW BUILDINGS & VERIFY THEIR LOCATION TO PROPERTY LINES WITH RESPECT TO DIMENSIONS SHOWN ON PLANS.
- MARK LIMIT OF SOIL DISTURBANCE & TAG ALL TREES TO BE REMOVED.
- REVIEW ALL LOCAL, COUNTY & STATE PERMIT REQUIREMENTS FOR THE PROJECT.

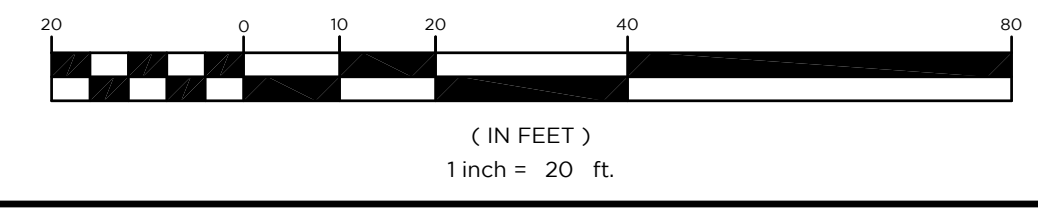
**SOIL EROSION NOTES**

- SEE SHEET C2.3 FOR SOIL EROSION SEDIMENT CONTROL DETAILS.
- CALL DIG HOTLINE 1-800-272-1000 AT LEAST THREE (3) FULL BUSINESS DAYS PRIOR TO ANY EXCAVATION

**SEQUENCE OF CONSTRUCTION:**

- INSTALL SOIL EROSION CONTROL DEVICES. (2 WEEKS)
- CLEAR SITE FEATURES. (10 WEEKS)
- REMOVE BUILDING. (10 WEEKS)
- INSTALL UNDERGROUND UTILITIES. (4 WEEKS)
- CONSTRUCT BUILDING FOUNDATION. (3-6 MONTHS)
- CONSTRUCT BUILDING. (3 WEEKS)
- ROUGH GRADE SITE. (6 WEEKS)
- INSTALL ASPHALT SURFACES, CONCRETE CURBS AND CONCRETE SIDEWALKS. (2 WEEK)
- INSTALL LANDSCAPING & LIGHTING FIXTURES. (1 DAY)
- REMOVE ALL SOIL EROSION CONTROL DEVICES. (10-12 MONTHS)

**GRAPHIC SCALE**



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**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION
5	5-29-25	REMOVE EXISTING WATERLINES/ ADD "TREES TO BE REMOVED"
4	11-11-24	UPDATE L.O.D.
3	5-8-23	ADD EXISTING WALL/FENCE HEIGHT
2	2-11-23	ADD EXISTING TREES AND TREE REMOVAL
1	10-20-22	ADD NOTE FOR FRONT PLANTER REMOVAL

DRAWING TITLE  
**DEMOLITION & SOIL EROSION CONTROL PLAN**

PROJECT  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY

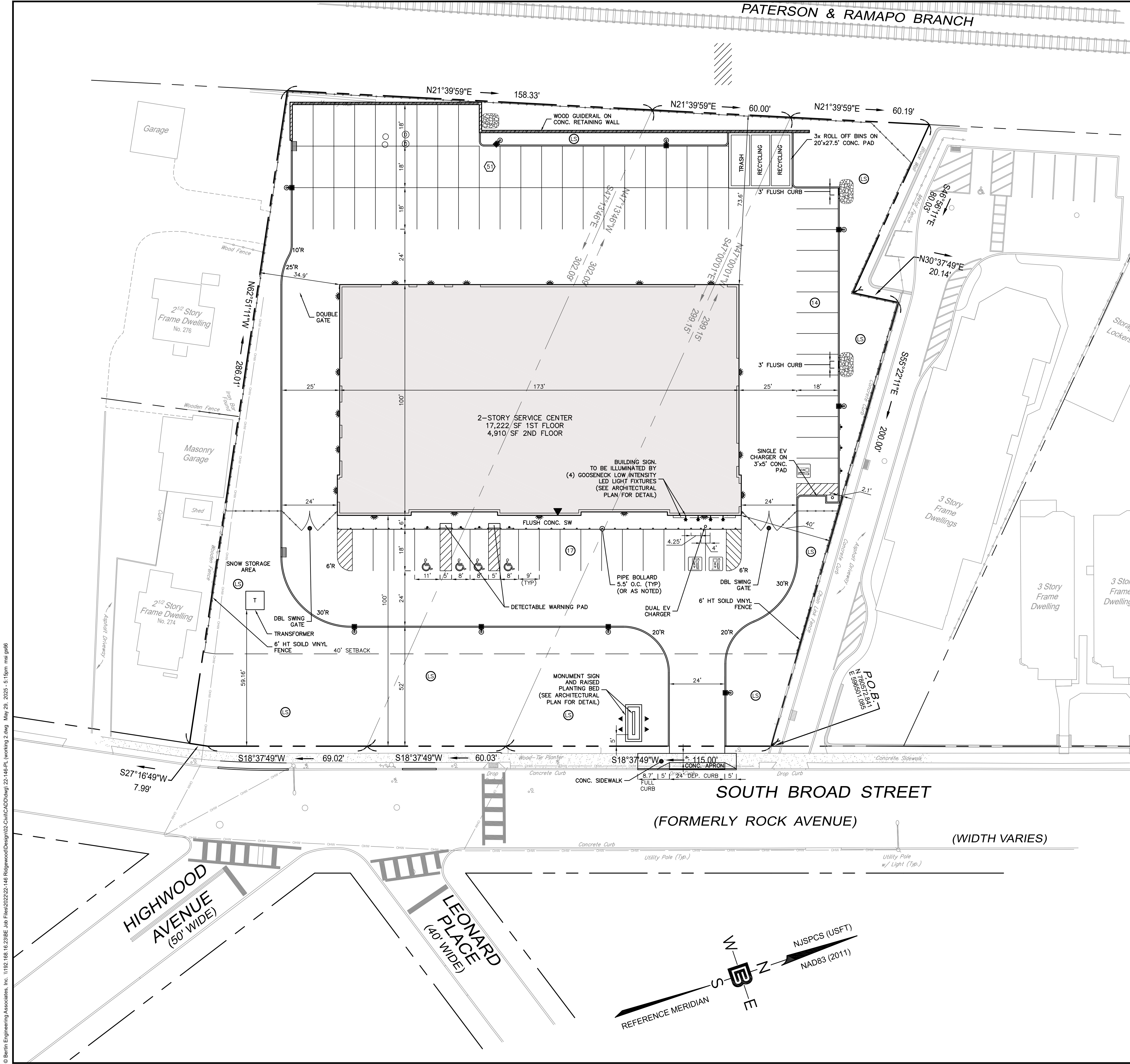
CLIENT  
**MOUNTAIN VIEW AUTO**  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION  
24GA28068900 / 21MH00002800

DRAWN BY: M.B.L. CHECKED BY: S.P.F.  
SCALE: 1"=20' PROJECT NO: 22-146  
DATE: 6-13-22 REVISION NO: 5  
DRAWING NO:

**C2.1**

© Bertin Engineering Associates, Inc. 1182.168.16.218BE Job Files\2022\22-146-PL (working 2.dwg) May 29, 2025 - 5:14pm ms gis66



- GENERAL NOTES**
- SITE PLAN BASED ON: "LOCATION AND TOPOGRAPHIC SURVEY OF 246-264 SOUTH BROAD STREET, LOT 12, LOT 13 AND LOT 14 IN BLOCK 3905, VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, N.J.", PREPARED BY BERTIN ENGINEERING, MILOSLAV REHAK, N.J.P.L.S. NO. 43233, FILE NO. 22-146, DWG. NO. SV-1, DATED MARCH 29, 2022.
  - ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
  - LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
  - UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
  - THE SITE PLAN(S) SUPERSEDES ALL STANDARD DRAWINGS.
  - UNLESS OTHERWISE NOTED, ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF CURBS OR FACE OF WALLS.
  - UNLESS OTHERWISE NOTED, ALL RADII ARE TWO FEET (2').
  - LAWN AND/OR DECIDUOUS AND ORNAMENTAL TREE PLANTING AREAS CAN BE USED FOR SNOW STORAGE (SEE LOCATIONS INDICATED AND SHEET C2.4).

**TRAFFIC SIGN LEGEND**

ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., AND FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING, SERIES 4000 TYPE XI DESIGNATION PER ASTM.

- (A) R7-8N (12"x18")
- (A2) R7-8c (12"x6")
- N-17 (10"x12")
- (B) R1-1 (30"x30")
- (C) "EMPLOYEE PARKING ONLY" (12"x18")
- (E) D9-11b (24"x24")
- (E2) R7-1 MOD (12"x18")

- LEGEND**
- EOP EXISTING EDGE OF PAVEMENT
  - T TRAFFIC SIGN
  - AL AREA LIGHT
  - FH FIRE HYDRANT
  - UP UTILITY POLE
  - GV GAS VALVE
  - WV WATER VALVE
  - SM SANITARY MANHOLE
  - DM DRAINAGE MANHOLE
  - MW MONITORING WELL
  - EOP PROPOSED EDGE OF PAVEMENT
  - R HANDICAP RAMP
  - SW SIDEWALK
  - CW CROSSWALK
  - DC DEPRESSED CURB
  - FH FIRE HYDRANT
  - DM DRAINAGE MANHOLE
  - CI CURB INLET
  - YI YARD INLET
  - TS TRAFFIC SIGN
  - AL AREA LIGHT
  - L LANDING
  - DL DOOR LOCATION
  - LAN LANDSCAPING
  - NS No. OF PARKING SPACES
  - NSV No. OF SPACES FOR SERVICED VEHICLES

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 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 37073  
 NY LIC. NO. 071209

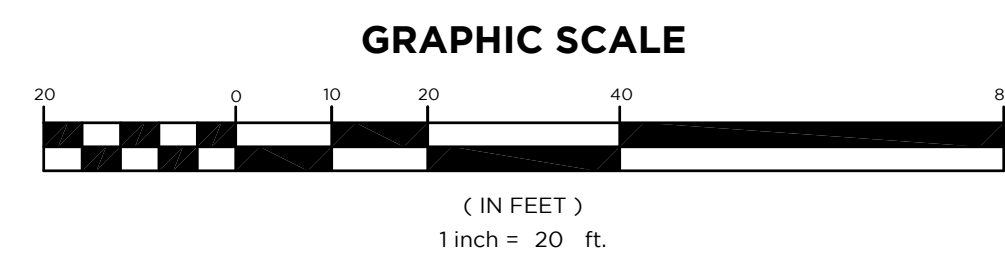
NO.	DATE	REVISION
5	5-29-25	UPDATE SITE LAYOUT
4	11-11-24	UPDATE SITE LAYOUT
3	5-8-23	RELocate AND ADD DMS FOR TRANSFORMER
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD RANDOM PARKING
1	10-20-22	ADD EV PARKING, RECYCLING CONTAINERS AND MONUMENT SIGN WITH PLANTING BED

**SITE PLAN**

**PROJECT**  
**MOUNTAIN VIEW AUTO BODY**  
 BLOCK 3905, LOTS 12, 13 & 14  
 246-264 SOUTH BROAD STREET  
 VILLAGE OF RIDGEWOOD  
 BERGEN COUNTY, NEW JERSEY

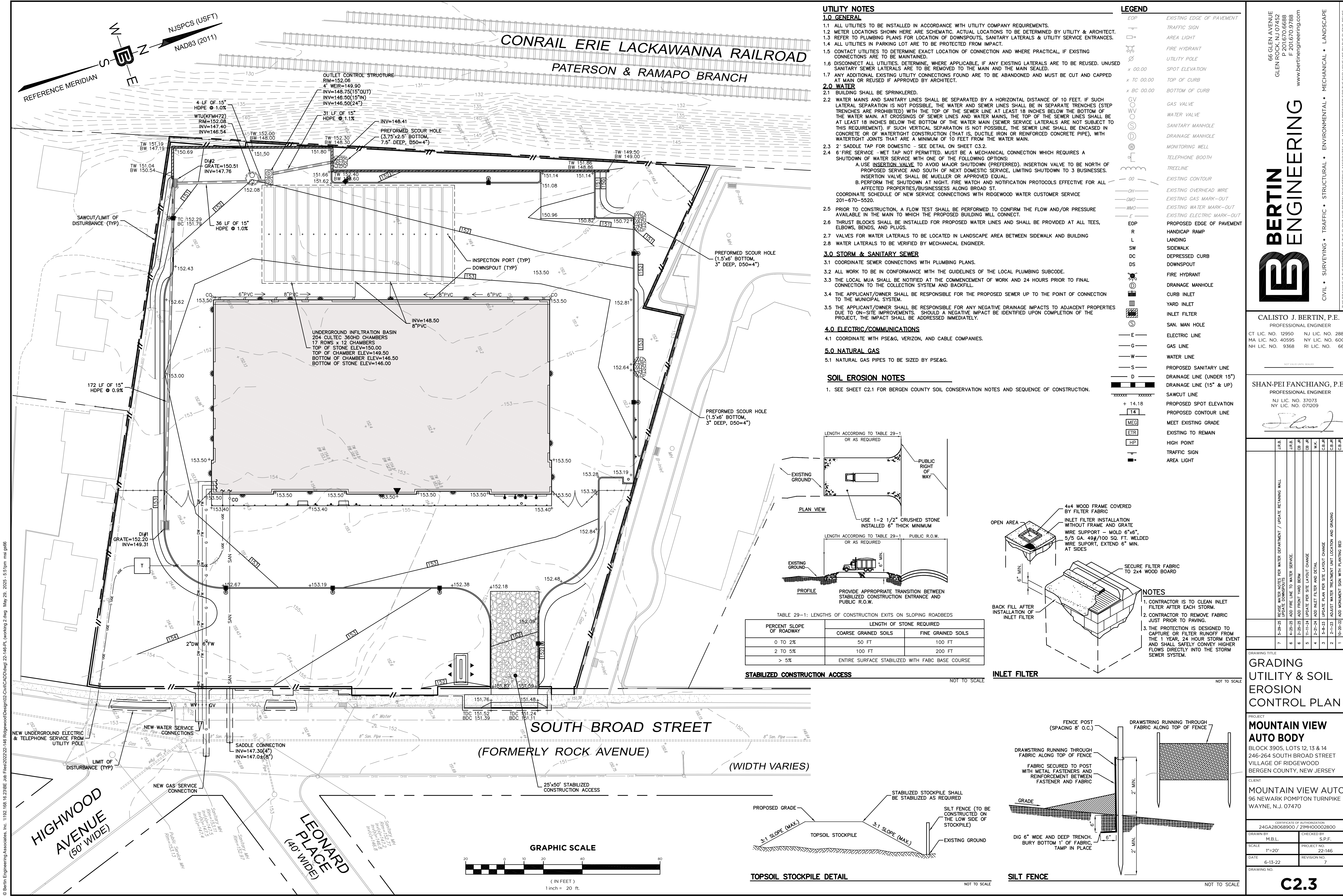
**CLIENT**  
**MOUNTAIN VIEW AUTO**  
 96 NEWARK POMPTON TURNPIKE  
 WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION  
 24GA28068900 / 21MH00002800  
 DRAWN BY: CB JR. CHECKED BY: S.P.F.  
 SCALE: 1"=20' PROJECT NO: 22-146  
 DATE: 7/02/24 REVISION NO: 5  
 DRAWING NO:



**C2.2**

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- ### UTILITY NOTES
- #### 1.0 GENERAL
- 1.1 ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
  - 1.2 METER LOCATIONS SHOWN HERE ARE SCHEMATIC. ACTUAL LOCATIONS TO BE DETERMINED BY UTILITY & ARCHITECT.
  - 1.3 REFER TO PLUMBING PLANS FOR LOCATION OF DOWNSPOUTS, SANITARY LATERALS & UTILITY SERVICE ENTRANCES.
  - 1.4 ALL UTILITIES IN PARKING LOT ARE TO BE PROTECTED FROM IMPACT.
  - 1.5 CONTACT UTILITIES TO DETERMINE EXACT LOCATION OF CONNECTION AND WHERE PRACTICAL, IF EXISTING CONNECTIONS ARE TO BE MAINTAINED.
  - 1.6 DISCONNECT ALL UTILITIES, DETERMINE, WHERE APPLICABLE, IF ANY EXISTING LATERALS ARE TO BE REUSED. UNUSED SANITARY SEWER LATERALS ARE TO BE REMOVED TO THE MAIN AND THE MAIN SEALED.
  - 1.7 ANY ADDITIONAL EXISTING UTILITY CONNECTIONS FOUND ARE TO BE ABANDONED AND MUST BE CUT AND CAPPED AT MAIN OR REUSED IF APPROVED BY ARCHITECT.
- #### 2.0 WATER
- 2.1 BUILDING SHALL BE SPRINKLERED.
  - 2.2 WATER MAINS AND SANITARY LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET IF SUCH LATERAL SEPARATION IS NOT POSSIBLE. THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE ENCASED IN CONCRETE OR OF WATER-TIGHT CONSTRUCTION (THAT IS, DUCTILE IRON OR REINFORCED CONCRETE PIPE), WITH WATER-TIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN.
  - 2.3 2" SADDLE TAP FOR DOMESTIC - SEE DETAIL ON SHEET C3.2.
  - 2.4 6" FIRE SERVICE - WET TAP NOT PERMITTED. MUST BE A MECHANICAL CONNECTION WHICH REQUIRES A SHUTDOWN OF WATER SERVICE WITH ONE OF THE FOLLOWING OPTIONS:
    - A. USE INSERTION VALVE TO AVOID MAJOR SHUTDOWN (PREFERRED). INSERTION VALVE TO BE NORTH OF PROPOSED SERVICE AND SOUTH OF NEXT DOMESTIC SERVICE, LIMITING SHUTDOWN TO 3 BUSINESSES. INSERTION VALVE SHALL BE MUELLER OR APPROVED EQUAL.
    - B. PERFORM THE SHUTDOWN AT NIGHT. FIRE WATCH AND NOTIFICATION PROTOCOLS EFFECTIVE FOR ALL AFFECTED PROPERTIES/BUSINESSES ALONG BROAD ST.
 COORDINATE SCHEDULE OF NEW SERVICE CONNECTIONS WITH RIDGEWOOD WATER CUSTOMER SERVICE 201-670-5520.
  - 2.5 PRIOR TO CONSTRUCTION, A FLOW TEST SHALL BE PERFORMED TO CONFIRM THE FLOW AND/OR PRESSURE AVAILABLE IN THE MAIN TO WHICH THE PROPOSED BUILDING WILL CONNECT.
  - 2.6 THRUST BLOCKS SHALL BE INSTALLED FOR PROPOSED WATER LINES AND SHALL BE PROVIDED AT ALL TEES, ELBOWS, BENDS, AND PLUGS.
  - 2.7 VALVES FOR WATER LATERALS TO BE LOCATED IN LANDSCAPE AREA BETWEEN SIDEWALK AND BUILDING
  - 2.8 WATER LATERALS TO BE VERIFIED BY MECHANICAL ENGINEER.
- #### 3.0 STORM & SANITARY SEWER
- 3.1 COORDINATE SEWER CONNECTIONS WITH PLUMBING PLANS.
  - 3.2 ALL WORK TO BE IN CONFORMANCE WITH THE GUIDELINES OF THE LOCAL PLUMBING SUBCODE.
  - 3.3 THE LOCAL MUA SHALL BE NOTIFIED AT THE COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO FINAL CONNECTION TO THE COLLECTION SYSTEM AND BACKFILL.
  - 3.4 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR THE PROPOSED SEWER UP TO THE POINT OF CONNECTION TO THE MUNICIPAL SYSTEM.
  - 3.5 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR ANY NEGATIVE DRAINAGE IMPACTS TO ADJACENT PROPERTIES DUE TO ON-SITE IMPROVEMENTS. SHOULD A NEGATIVE IMPACT BE IDENTIFIED UPON COMPLETION OF THE PROJECT, THE IMPACT SHALL BE ADDRESSED IMMEDIATELY.
- #### 4.0 ELECTRIC/COMMUNICATIONS
- 4.1 COORDINATE WITH PSE&G, VERIZON, AND CABLE COMPANIES.
- #### 5.0 NATURAL GAS
- 5.1 NATURAL GAS PIPES TO BE SIZED BY PSE&G.

- ### LEGEND
- EOP EXISTING EDGE OF PAVEMENT
  - TRAFFIC SIGN
  - AREA LIGHT
  - FIRE HYDRANT
  - UTILITY POLE
  - SPOT ELEVATION
  - TOP OF CURB
  - BOTTOM OF CURB
  - GAS VALVE
  - WATER VALVE
  - SANITARY MANHOLE
  - DRAINAGE MANHOLE
  - MONITORING WELL
  - TELEPHONE BOOTH
  - TREELINE
  - EXISTING CONTOUR
  - EXISTING OVERHEAD WIRE
  - EXISTING GAS MARK-OUT
  - EXISTING WATER MARK-OUT
  - EXISTING ELECTRIC MARK-OUT
  - EOP PROPOSED EDGE OF PAVEMENT
  - R HANDICAP RAMP
  - L LANDING
  - SW SIDEWALK
  - DC DEPRESSED CURB
  - DS DOWNSPOUT
  - FIRE HYDRANT
  - DRAINAGE MANHOLE
  - CURB INLET
  - YARD INLET
  - INLET FILTER
  - SAN. MAN HOLE
  - ELECTRIC LINE
  - GAS LINE
  - WATER LINE
  - PROPOSED SANITARY LINE
  - DRAINAGE LINE (UNDER 15")
  - DRAINAGE LINE (15" & UP)
  - SAWCUT LINE
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONTOUR LINE
  - MEET EXISTING GRADE
  - EXISTING TO REMAIN
  - HP HIGH POINT
  - TRAFFIC SIGN
  - AREA LIGHT

- ### SOIL EROSION NOTES
1. SEE SHEET C2.1 FOR BERGEN COUNTY SOIL CONSERVATION NOTES AND SEQUENCE OF CONSTRUCTION.

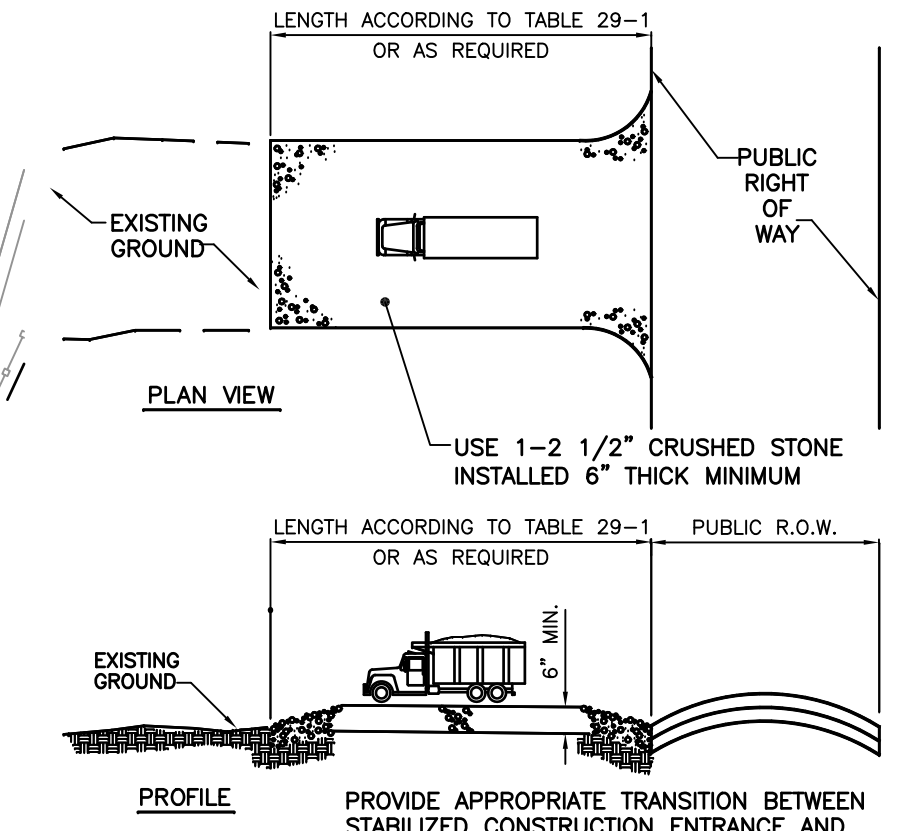
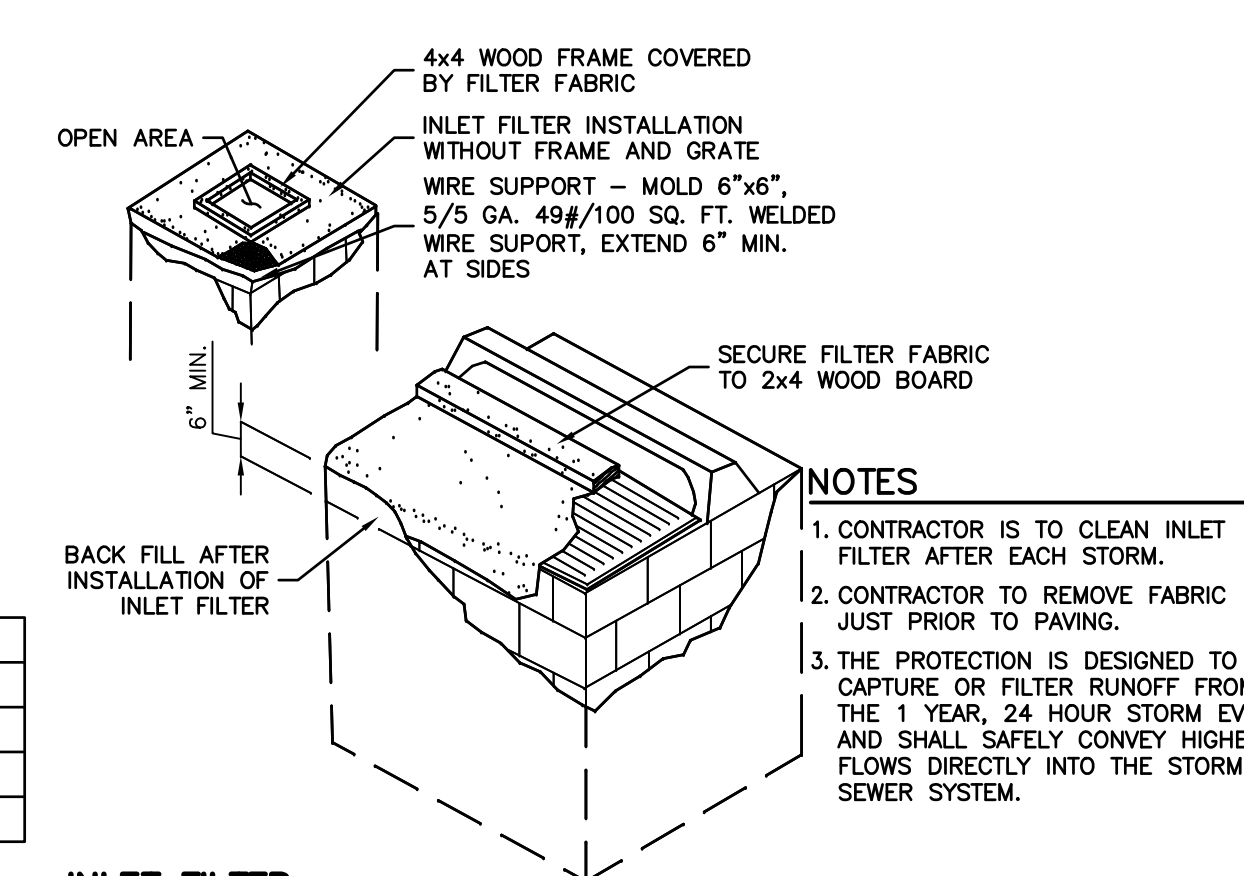


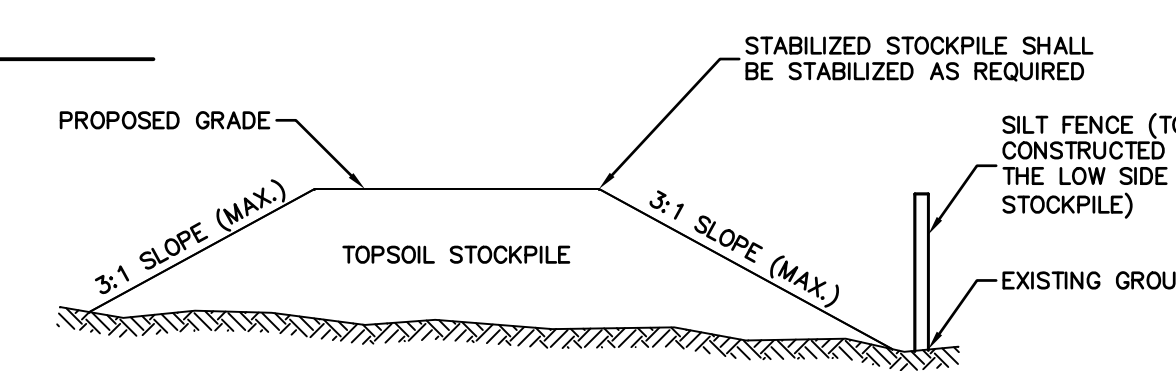
TABLE 29-1: LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

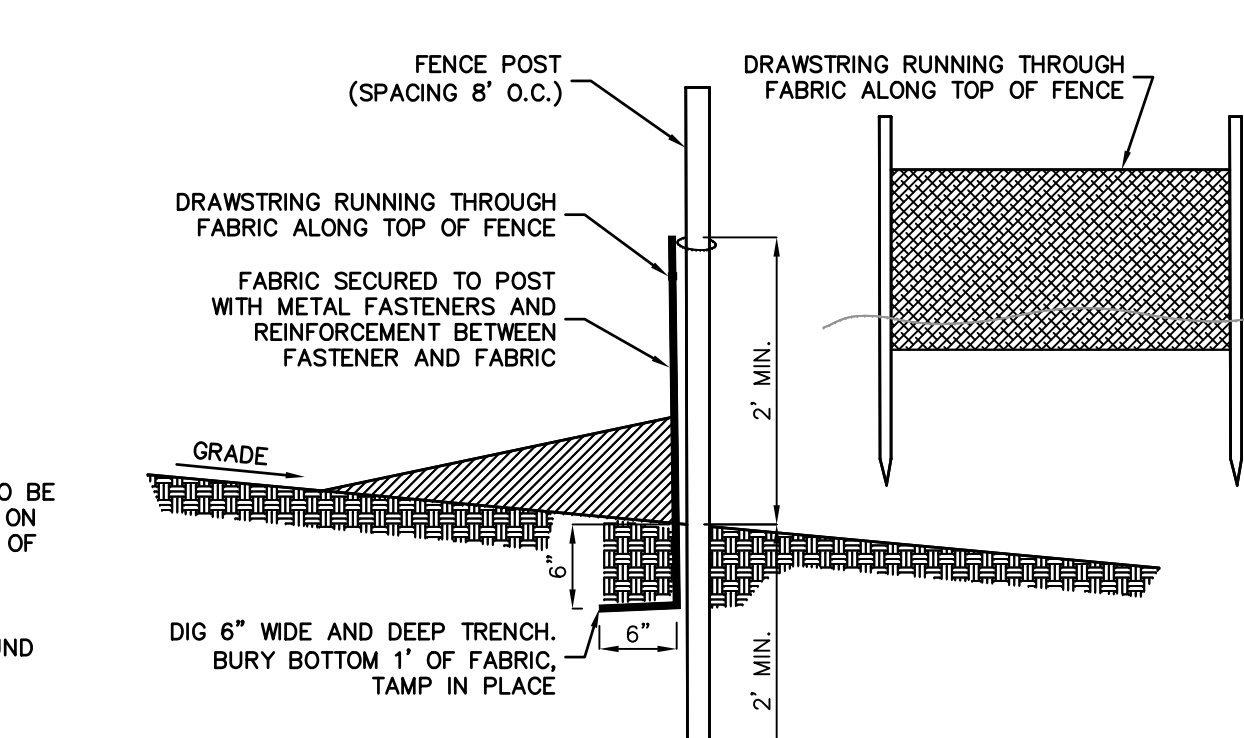


STABILIZED CONSTRUCTION ACCESS NOT TO SCALE

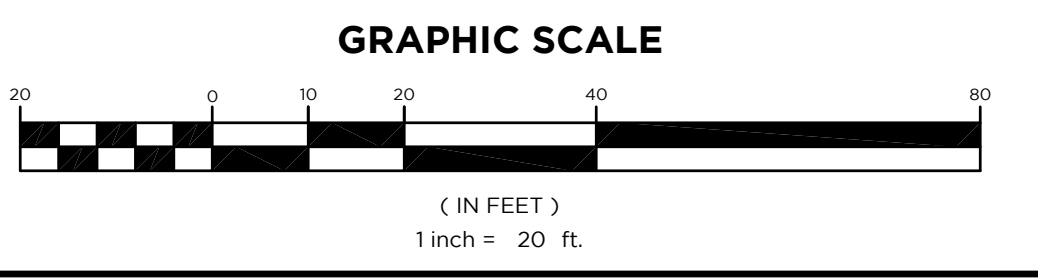
INLET FILTER NOT TO SCALE



TOPSOIL STOCKPILE DETAIL NOT TO SCALE



SILT FENCE NOT TO SCALE



# BERTIN ENGINEERING

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MA LIC. NO. 40595 NY LIC. NO. 60022  
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# SHAN-PEI FANCHIANG, P.E.

PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

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NO.	DATE	REVISION
1	10-20-22	ADD MONUMENT SIGN WITH PLANNING BED
2	2-11-23	ADJUST WATER TREATMENT UNIT LOCATION AND GRADING
3	5-8-23	UPDATE PLAN PER SITE LAYOUT CHANGE
4	2-8-24	ADD INLET FILTER AND DETAIL
5	11-11-24	UPDATE PER SITE LAYOUT CHANGE
6	12-25-25	ADD FRONT YARD BERM
7	5-29-25	REVISE WATER NOTES PER WATER DEPARTMENT / UPDATE RETAINING WALL

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DRAWING TITLE: **GRADING UTILITY & SOIL EROSION CONTROL PLAN**

PROJECT: **MOUNTAIN VIEW AUTO BODY**  
 BLOCK 3905, LOTS 12, 13 & 14  
 246-264 SOUTH BROAD STREET  
 VILLAGE OF RIDGEWOOD  
 BERGEN COUNTY, NEW JERSEY

CLIENT: **MOUNTAIN VIEW AUTO**  
 96 NEWARK POMPTON TURNPIKE  
 WAYNE, N.J. 07470

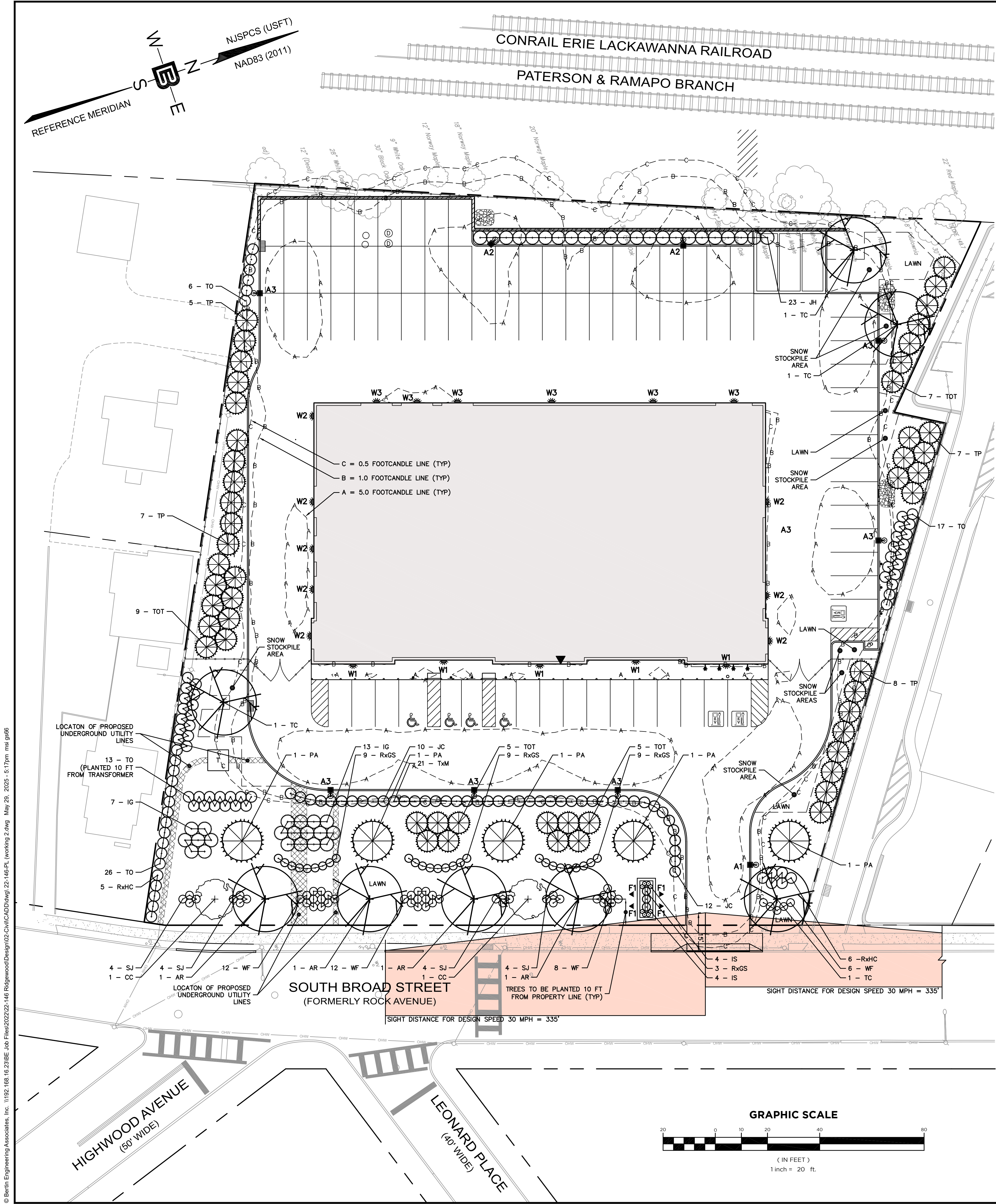
CERTIFICATE OF AUTHORIZATION: 24GA28068900 / 21MH00002800

DRAWN BY: M.B.L. CHECKED BY: S.P.F.

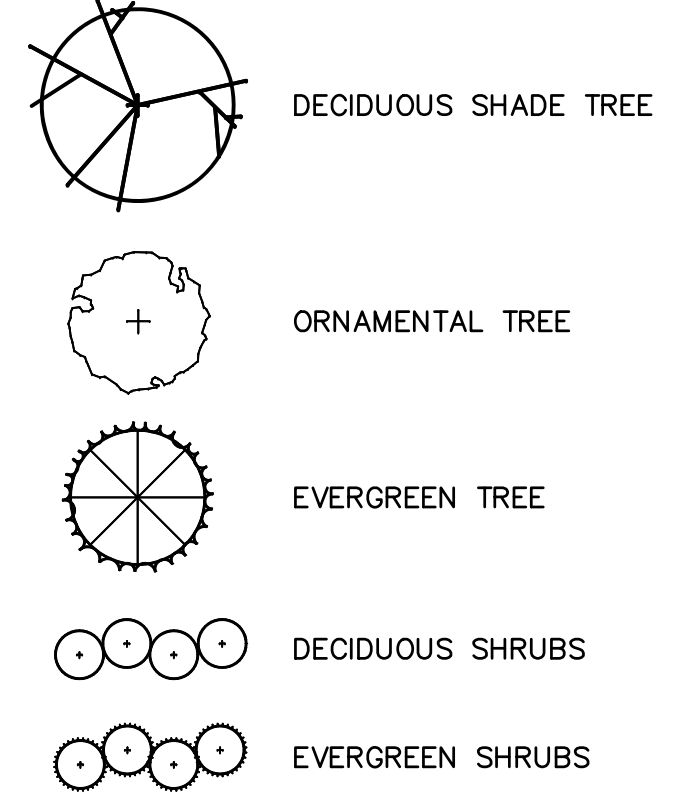
SCALE: 1"=20' PROJECT NO: 22-146

DATE: 6-13-22 REVISION NO: 7

DRAWING NO: **C2.3**



**LANDSCAPE KEY**



**PLANT LIST**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE		MATURE SIZE		SPACING
				HEIGHT	ROOT	HEIGHT	SPREAD	
<b>DECIDUOUS SHADE TREES</b>								
AR	4	ACER RUBRUM	RED MAPLE	10' - 12'	B&B	40'-50'	30'-40'	40' O.C.
TC	4	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LINDEN	10' - 12'	B&B	40'-50'	30'-35'	40' O.C.
<b>ORNAMENTAL TREES</b>								
CC	2	CERCIS CANADENSIS	EASTERN REDBUD	4' - 6'	B&B	20'-30'	20'-30'	40' O.C.
<b>EVERGREEN TREES</b>								
PA	5	PICEA ABIES	NORWAY SPRUCE	6' MIN.	B&B	40'-60'	25'-30'	50' O.C.
TOT	26	THUJA OCCIDENTALIS "TECHNY"	TECHNY ARBORVITAE	5' MIN.	CONT.	12'-15'	8'-10'	8' O.C.
TP	27	THUJA PLICATA X STANDISHII "GREEN GIANT"	THUJA GREEN GIANT	5' MIN.	B&B	40'-60'	10'-15'	8' O.C.
<b>DECIDUOUS SHRUBS</b>								
SJ	16	SPIRAEA JAPONICA "LITTLE PRINCESS"	LITTLE PRINCESS JAPANESE SPIREA	15' - 18"	CONT.	2'-3"	3'-4"	3' O.C.
WF	38	WEIGELA FLORIDA "BOKRASPIW"	SPILLED WINE WEIGELA	15' - 18"	CONT.	2'-3"	2'-4"	3' O.C.
<b>EVERGREEN SHRUBS</b>								
IG	20	ILEX GLABRA "PRINCETON COMPACT"	PRINCETON COMPACT INKBERRY	18" - 24"	CONT.	5'-6"	25'-30"	5' O.C.
JC	22	JUNIPERUS CHINENSIS "SEA GREEN"	SEA GREEN JUNIPER	24" - 36"	3 GAL.	4'-5"	4'-5"	4' O.C.
JH	23	JUNIPERUS HORIZONTALIS "BAR HARBOR"	BAR HARBOR JUNIPER	6"-9"	CONT.	9"-12"	5'-6"	4' O.C.
PG	14	PICEA GLAUCA "CONICA"	DWARF ALBERTA SPRUCE	4' - 6'	B&B	6'-10'	5'-8"	6' O.C.
RxGS	30	RHODODENDON X "GARDEN STATE"	GARDEN STATE GLOW AZALEA	15" - 18"	CONT.	3"	3"	3' O.C.
RxHC	11	RHODODENDON X "HINO-CRIMSON"	HINO-CRIMSON AZALEA	15" - 18"	CONT.	3'-5"	3'-5"	4' O.C.
TO	62	THUJA OCCIDENTALIS "SMARAGD"	EMERALD GREEN ARBORVITAE	5' MIN.	CONT.	10'-15'	3'-5"	4' O.C.
TxM	21	TAXUS X MEDIA "DENSIFORMIS"	DENSIFORMIS ANGLIJAP YEW	18" - 24"	2 GAL.	4'-5"	8'-10"	4' O.C.
<b>GROUNDCOVERS</b>								
IS	8	IBERIS SEMPERVIRENS "ALEXANDER WHITE"	ALEXANDER WHITE CANDYTUFT	4" - 8"	CONT.	9"-12"	18"-30"	18" O.C.

B&B = BALLED AND BURLAPPED  
CONT. = CONTAINER

**LANDSCAPE MAINTENANCE NOTES**

- PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.
- TREES AND SHRUBS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.
- GROUND COVER AND PLANTS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
- THOSE PERFORMING SUCH WORK BE PROFESSIONALS CERTIFIED IN SUCH WORK. (ISA CERTIFIED, CERTIFIED TREE EXPERT CERTIFICATION AND/OR SHOW PROOF OF NOT LESS THAN 5 YEARS EXPERIENCE IN SUCH HORTICULTURAL WORK HAS BEEN OBTAINED).
- MAINTENANCE PERIOD: 24 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE BOROUGH'S LANDSCAPE ARCHITECT AND/OR BOROUGH OFFICIAL HAVING JURISDICTION.
- NORMAL MAINTENANCE AND CARE OF ALL PLANT MATERIAL, (WATERING, ETC.) SHALL TAKE PLACE PRIOR TO THE DETERMINATION OF SUBSTANTIAL COMPLETION AS WELL IN ORDER TO PLANTED MATERIAL HEALTHY.

**LANDSCAPE NOTES**

- ALL LANDSCAPED AREAS TO RECEIVE A TWELVE INCH (12") LAYER OF COMPACTED TOPSOIL.
- ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. 2 601-1969.
- SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
- TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
- IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- IF THE CONTRACTOR FINDS QUESTIONABLE SUBGRADE MATERIAL/SOIL CONDITIONS THAT ARE DELETERIOUS TO PLANT SURVIVAL AND GROWTH OR INHIBIT DRAINAGE HE SHALL NOTIFY THE BOROUGH LANDSCAPE ARCHITECT AND OWNER'S LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIALS UPON FINDINGS OF SUCH QUESTIONABLE MATERIAL.
- PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOO PRIOR TO SUBMITTING BID.
- CONTRACTOR SHALL REVIEW THE "PROTECTION AGAINST AND REMEDIATION OF EXCESS SOIL COMPACTION".
- CONTRACTOR SHALL REVIEW AND COORDINATE HIS WORK WITH THAT OF THE WORK SHOWN ON THE LANDSCAPING PLAN DEVELOPED BY THE APPLICANT'S LANDSCAPE ARCHITECT.
- UTILITIES/STRUCTURES, CONDUITS ARE TO BE PLACED ALONG THE INSIDE OF CURBING, BOTH EXISTING AND PROPOSED TO ENSURE THAT THEY DO NOT INTERFERE WITH THE INSTALLATION/PLANTING OF PROPOSED CANOPY TREES, EVERGREEN TREES, SHRUBS AND GROUND COVER. ANY CONDUITS, LINES, STRUCTURES FOUND TO BE IN INTERFERENCE OF PROPOSED PLANTINGS SHALL BE REARRANGED, REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- AT ALL AREAS PROPOSED FOR PLANTINGS AND LANDSCAPING THE CONTRACTOR SHALL REMOVE ALL EXISTING DRIVEWAY/ASPHALT PAVEMENT AND STRUCTURE MATERIALS TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL. SUBGRADE SHALL BE TILLED/RIPPED TO SUFFICIENT SUBGRADE. ENTIRE AREA SHALL BE BACK FILLED WITH UP TO NOT LESS THAN 12" OF TOPSOIL.
- FURNISH AN IRRIGATION SYSTEM AT ALL LANDSCAPED AREAS. IRRIGATION SYSTEM TO BE DESIGNED BY A PERSON LICENSED IN THE STATE OF NEW JERSEY.

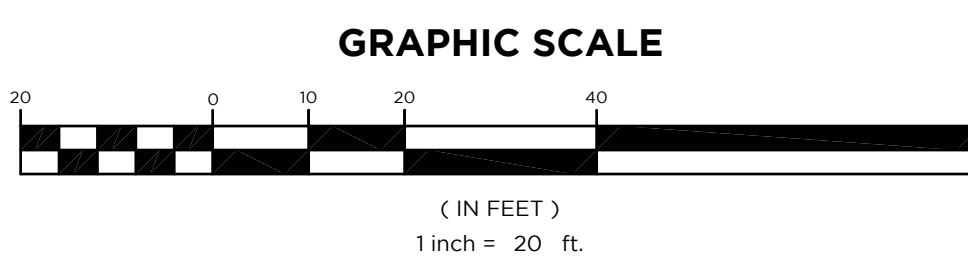
**LIGHTING NOTES**

- ALL AREA LIGHTS ARE TO BE DIMMABLE, EQUIPPED WITH MOTION SENSORS, AND ARE TO BE ON A TIMING DEVICE.
- TIMING DEVICE FOR AREA LIGHTS ARE TO BE SET TO TURN LIGHTS ON AT DUSK AND TURN OFF LIGHTS 1 HOUR AFTER CLOSE OF BUSINESS.
- MOTION SENSORS ON AREA LIGHTS TO BE SET TO TURN ON LIGHTS AT 50% POWER DURING NON-OPERATING HOURS. LIGHTS ARE TO REMAIN ON WHILE MOTION IS DETECTED AND THEN TURN OFF.
- WALL LIGHTS AND FLOOD LIGHTS ARE TO BE DIMMABLE AND ARE TO BE ON A TIMING DEVICE.
- TIMING DEVICE FOR WALL LIGHTS AND FLOOD LIGHTS AT TO BE SET TO TURN LIGHTS ON AT DUSK AND OFF AT DAWN. LIGHTS ARE TO BE SET TO DIM TO 50% AT 9 PM.

**LIGHTING SCHEDULE**

CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50

TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/HALLIST	LLF	QTY
A1	☉	LSI INDUSTRIES (1) SLM-LED-09L-SIL-FIT-UNV-DIM-40-70CRI-ALMBR1LR-IL	(1) LEDs	6460	12 FT., 4000K Neutral White LEDs, Forward Throw Distribution with Integral Lenses	0.85	1
A2	☉	LSI INDUSTRIES (1) SLM-LED-18L-SIL-FIT-UNV-DIM-40-70CRI-ALMBR1LR	(1) LEDs	19300	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution	0.85	2
A3	☉	LSI INDUSTRIES (1) SLM-LED-18L-SIL-FIT-UNV-DIM-40-70CRI-ALMBR1LR-IL	(1) LEDs	12649	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution with Integral Lenses	0.85	7
W1	☉	LSI INDUSTRIES (1) XPWS3-WF-LED-28-450-NW-UE-DIM	(1) LEDs	3574	12 FT., 4000K Neutral White LEDs, Wide Throw Distribution	0.85	5
W2	☉	LSI INDUSTRIES (1) XPWS3-WF-LED-28-450-NW-UE-DIM	(1) LEDs	3574	16 FT., 4000K Neutral White LEDs, Wide Throw Distribution	0.85	8
W3	☉	LSI INDUSTRIES (1) XPWS3-FI-LED-28-450-NW-UE-DIM	(1) LEDs	3536	16 FT., 4000K Neutral White LEDs, Forward Throw Distribution	0.85	6
F1	☉	RAB LIGHTING (1) HLED-13-N-B-/D10	(1) LEDs	1987	Ground Mounted, 4000K Neutral White LEDs, Flood Light	0.85	4



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PROFESSIONAL ENGINEER  
NJ LIC. NO. 12950 NY LIC. NO. 28845  
MA LIC. NO. 40595 RI LIC. NO. 60022  
NH LIC. NO. 9368 CT LIC. NO. 6694

SHAN-PEI FANCHIANG, P.E.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED AND ADJUST PROPOSED PLANTING
2	11-11-24	REVISE FENCES, PARKING LAYOUT, ADD RANDOM PARKING
3	5-8-25	REVISE LANDSCAPING ALONG NORTH AND SOUTH LOT LINES
4	11-11-24	UPDATE PER SITE LAYOUT CHANGE
5	2-26-25	UPDATE LANDSCAPING LAYOUT
6	5-29-25	REVISE LANDSCAPING IN FRONT YARD / ADD SHORT TRIANGLE

DRAWING TITLE  
**LANDSCAPE & LIGHTING PLAN**

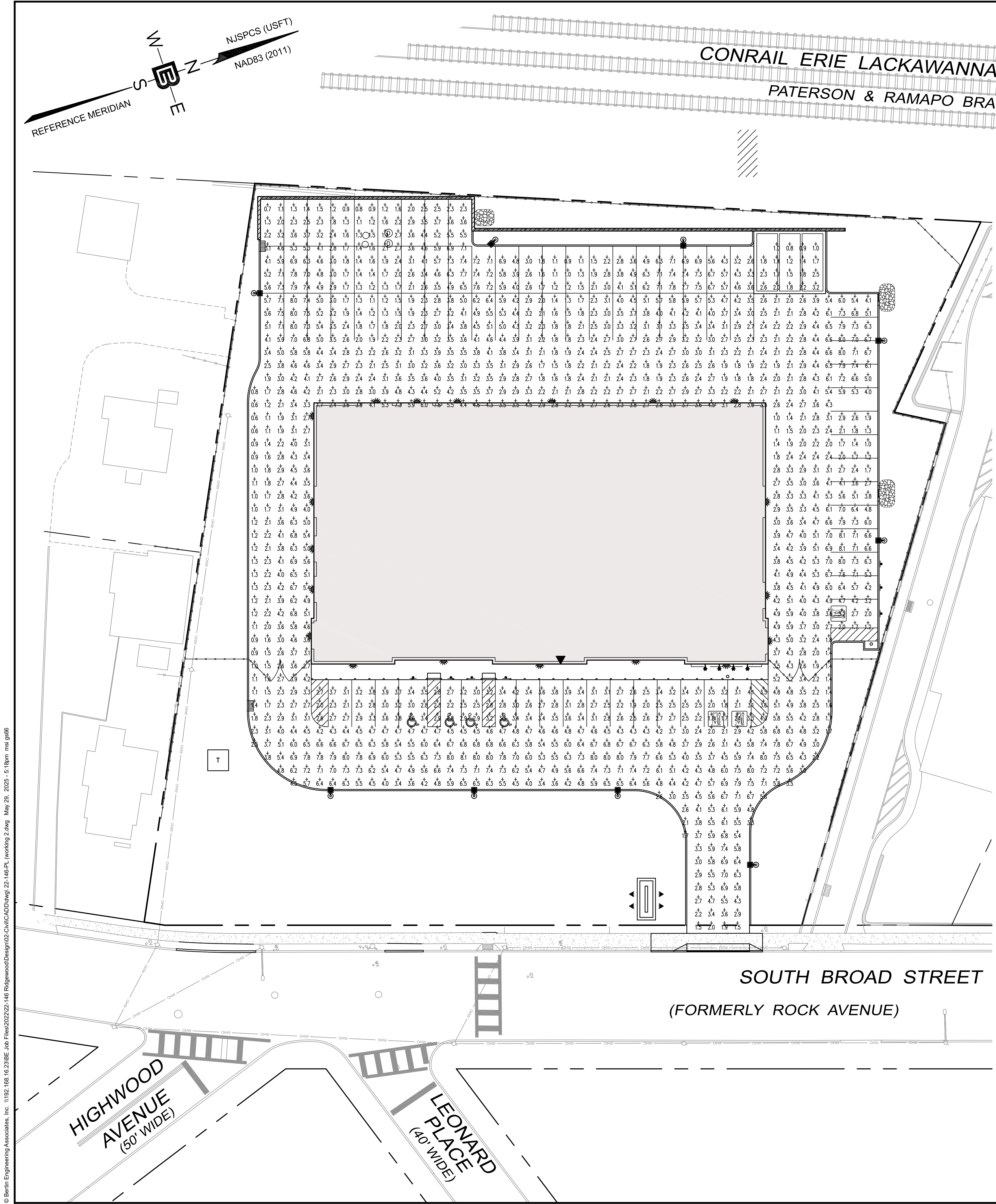
PROJECT  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGWOOD  
BERGEN COUNTY, NEW JERSEY

CLIENT  
**MOUNTAIN VIEW AUTO**  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION  
24GA28068900 / 21MH00002800

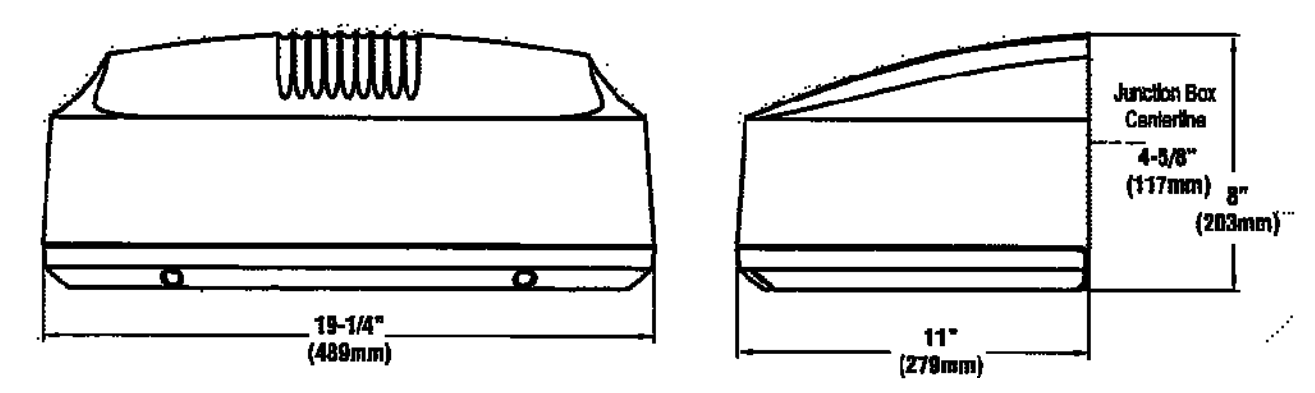
DRAWN BY: M.B.L. CHECKED BY: S.P.F.  
SCALE: 1"=20' PROJECT NO.: 22-146  
DATE: 6-13-22 REVISION NO.: 6  
DRAWING NO.: C2.4

© Bertin Engineering Associates, Inc. 1192.168.16.2186 Job Files\2022\22-146 RidgeWood\Design\Civil\CADD\Drawings\22-146-PL (working 2.dwg) May 29, 2025 - 5:17pm ms.gis66



**SUMMARY OF LIGHTING INTENSITIES IN PARKING LOT**

CALCULATION SUMMARY		GRID / TYPE	F. PTS	SPAC	GROUP	AVE.	MAX	MIN	MAX/MIN	AVE./MIN
AREA	500.00x400.00FT	6x12 P / H-H	1281	5.00	<+>	3.83	8.06	0.56	14.33	6.82



"PATRIOT WALL SCONCE (XFW53)" LED WALL LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

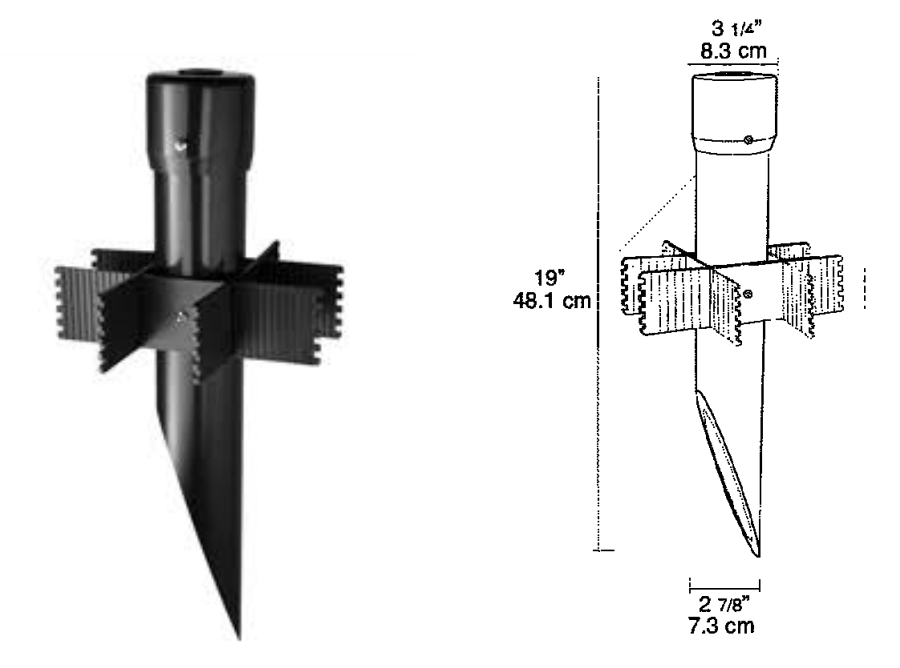
**WALL LIGHT FIXTURE DETAIL**

NOT TO SCALE



LED BULLET FLOODLIGHT, MANUFACTURED BY RAB LIGHTING. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

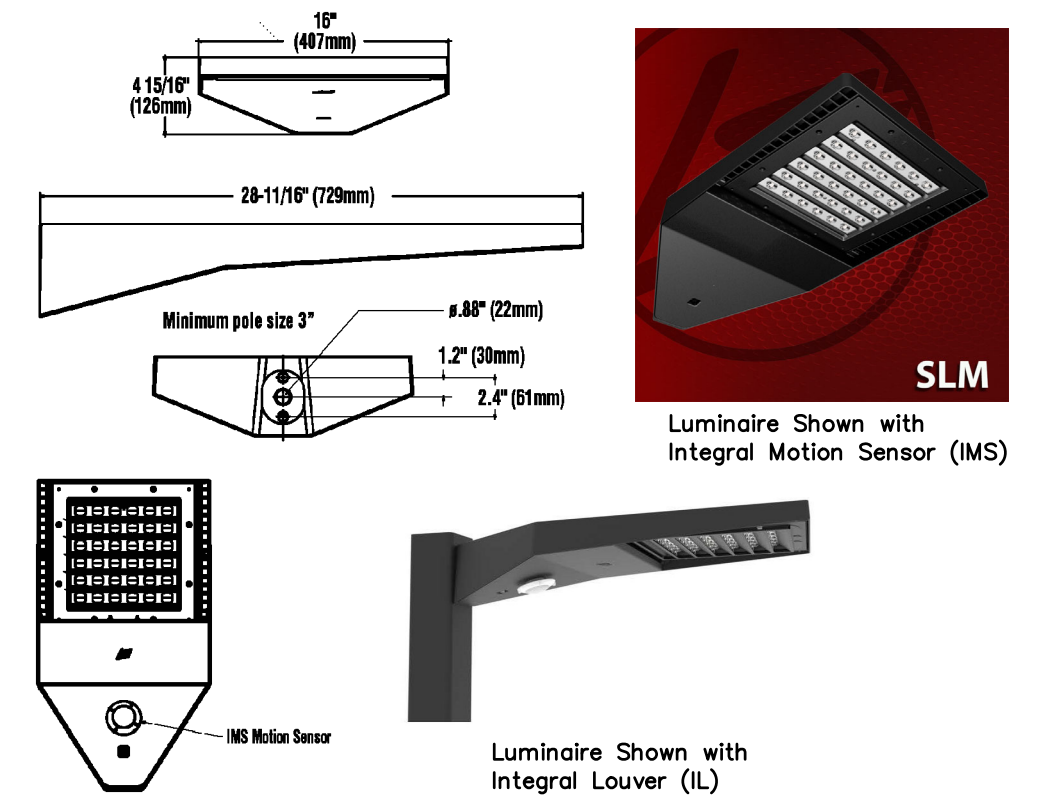
**FLOOD LIGHT FIXTURE DETAIL**



"MIGHTY POST", MANUFACTURED BY RAB LIGHTING. MODEL NO. MP198

NOTE: FLOODLIGHTS TO BE GROUND MOUNTED USING RAB LIGHTING "MIGHTY POST" AND SET A MINIMUM OF 6 FT FROM SIGN FACE (SEE SITE PLANS). AIM FLOODLIGHTS TO ILLUMINATE SIGN FACE AS EVENLY AS POSSIBLE.

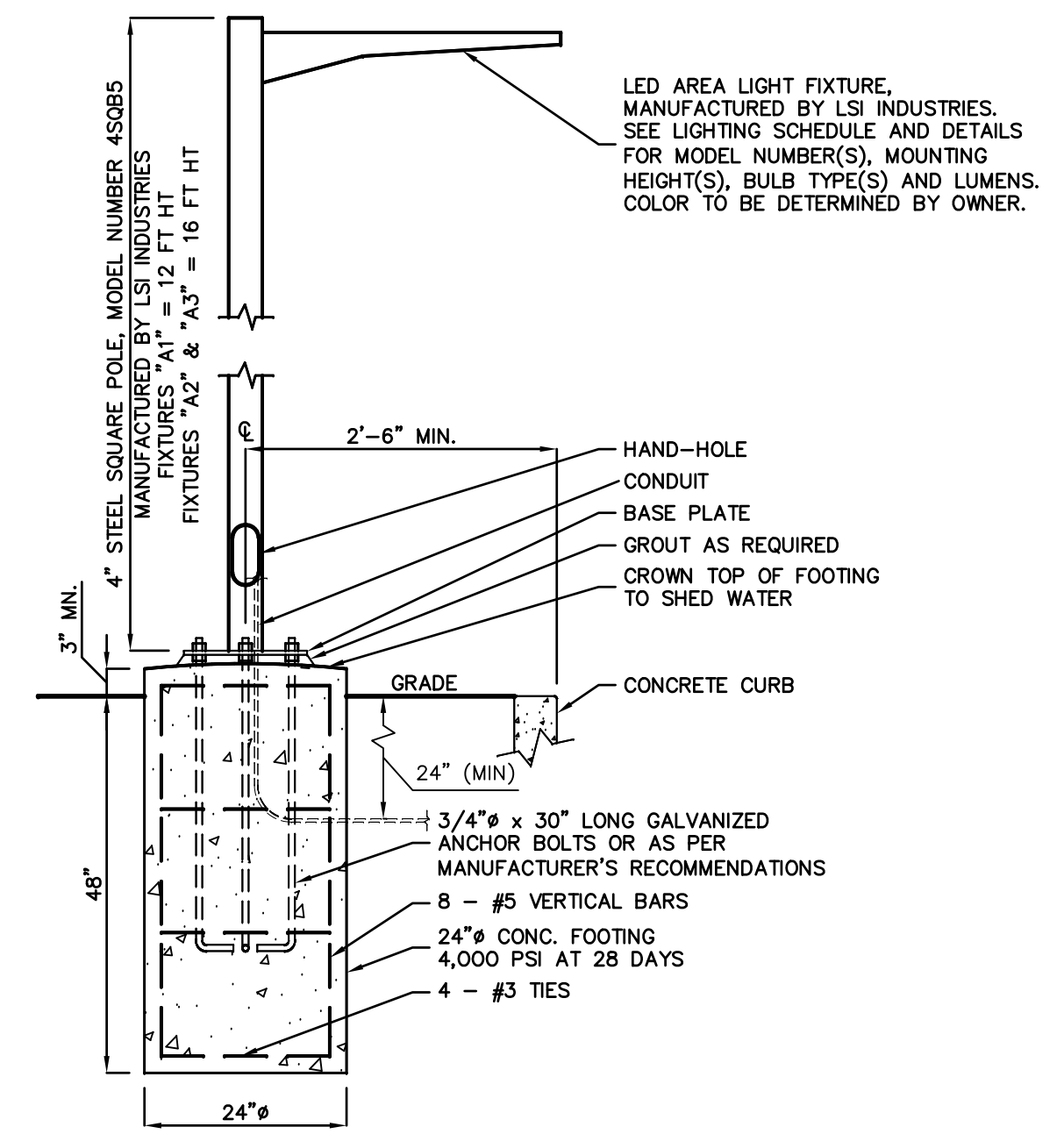
NOT TO SCALE



"SLICE MEDIUM - SLM" OUTDOOR LED AREA LIGHT, MANUFACTURED BY LSI INDUSTRIES. SEE LIGHTING SCHEDULE FOR MODEL NUMBER(S), MOUNTING HEIGHT(S), AND LUMENS.

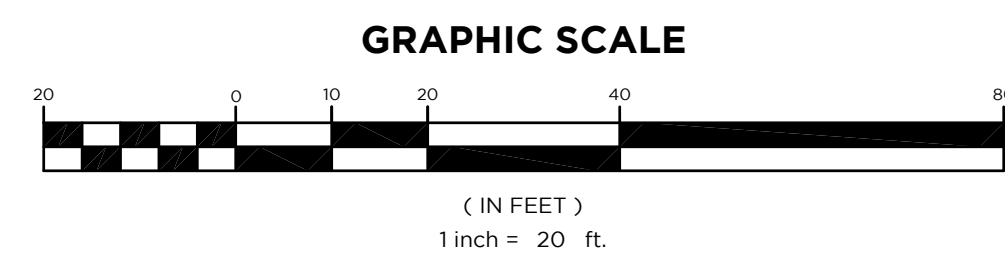
**AREA LIGHT FIXTURE DETAIL**

NOT TO SCALE



**AREA LIGHT & FOOTING DETAIL**

NOT TO SCALE



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---

**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

---

NO.	DATE	REVISION
1	10-20-22	ADD MONUMENT SIGN WITH PLANTING BED
2	2-11-23	REVISE FENCES, PARKING LAYOUT, ADD TANDUM PARKING
3	5-8-23	UPDATE PLAN PER SITE LAYOUT CHANGE
4	11-11-24	UPDATE PLAN PER SITE LAYOUT CHANGE
5	5-29-25	REVISE FLOOD LIGHT DETAIL

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**DRAWING TITLE**  
**LIGHTING INTENSITIES PLAN**

---

**PROJECT**  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGWOOD  
BERGEN COUNTY, NEW JERSEY

---

**CLIENT**  
**MOUNTAIN VIEW AUTO**  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

---

CERTIFICATE OF AUTHORIZATION:  
24GA28068900 / 21MH00002800

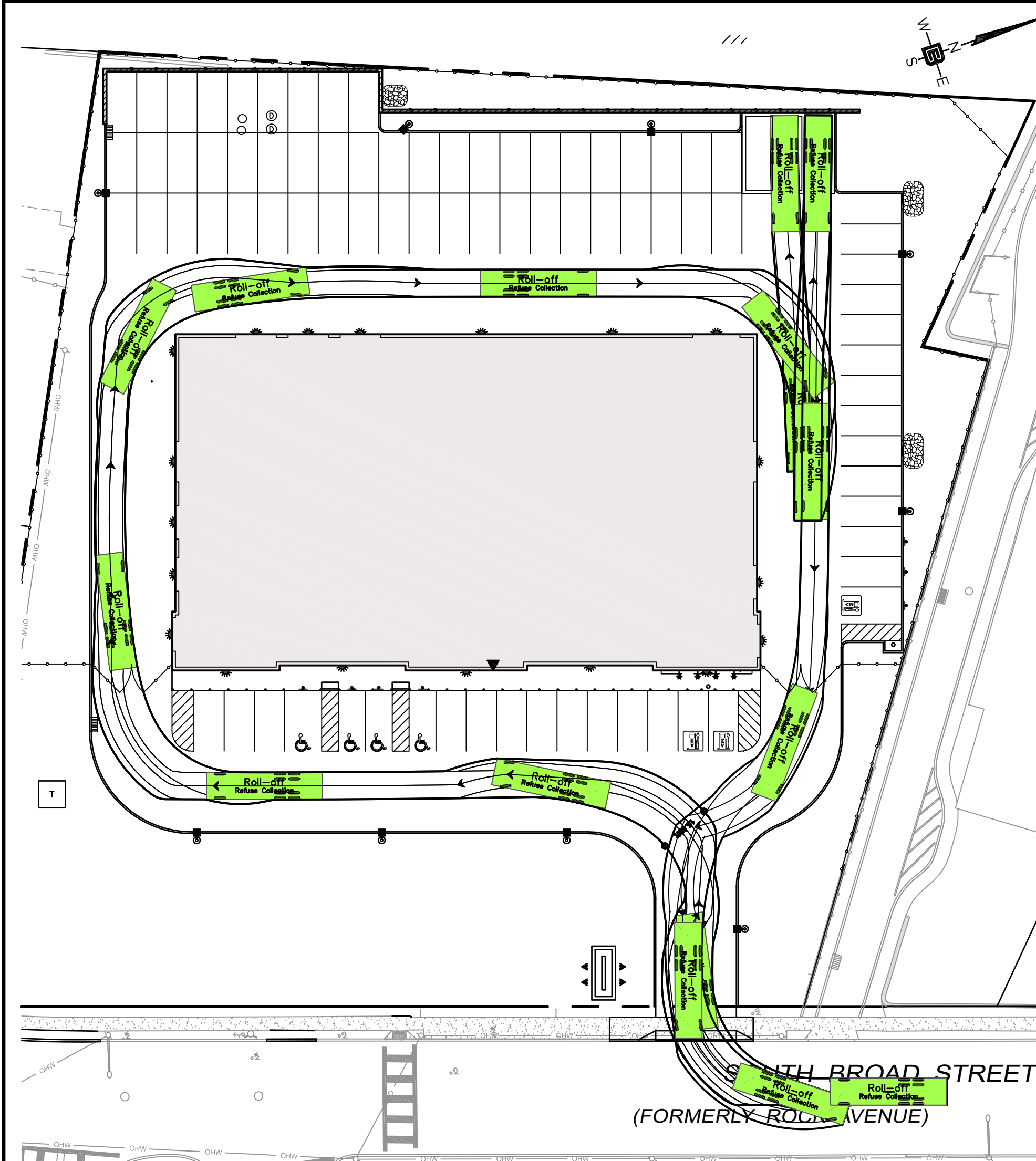
DRAWN BY: M.B.L.	CHECKED BY: S.P.F.
SCALE: 1"=20'	PROJECT NO.: 22-146
DATE: 6-13-22	REVISION NO.: 5

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C2.5

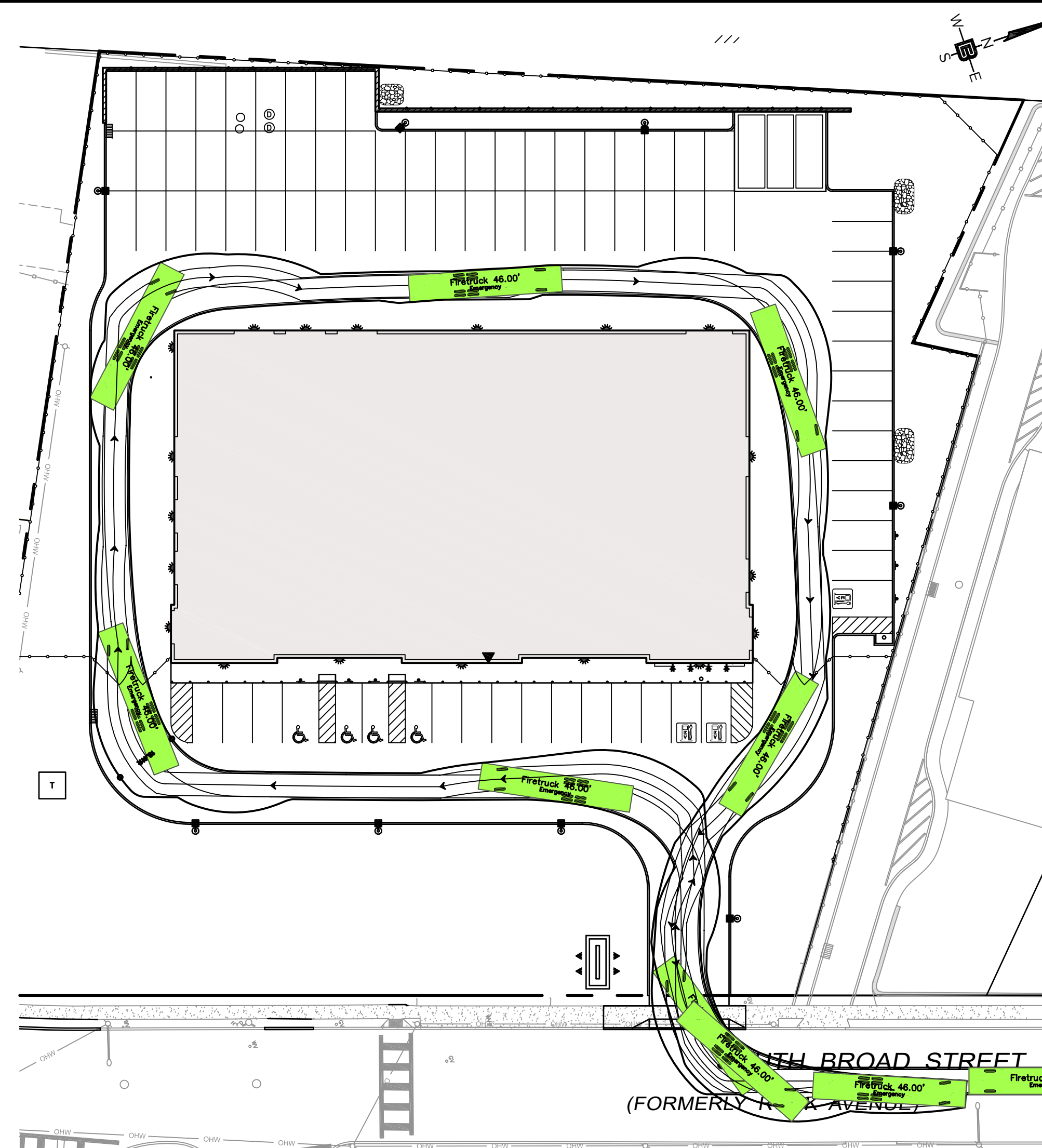
© Bertin Engineering Associates, Inc. 1192.168.16.218E Job Files\2022\22-146-PL (working 2.dwg) May 29, 2025 - 5:18pm ms pg68

© Bertin Engineering Associates, Inc. 1192.188.16.218E Job Files\2022\22-146 RidgeWood\Design\25-Civil\CAD\Drawg\22-146-PL (working 2.dwg) May 29, 2025 - 5:19pm ms g566



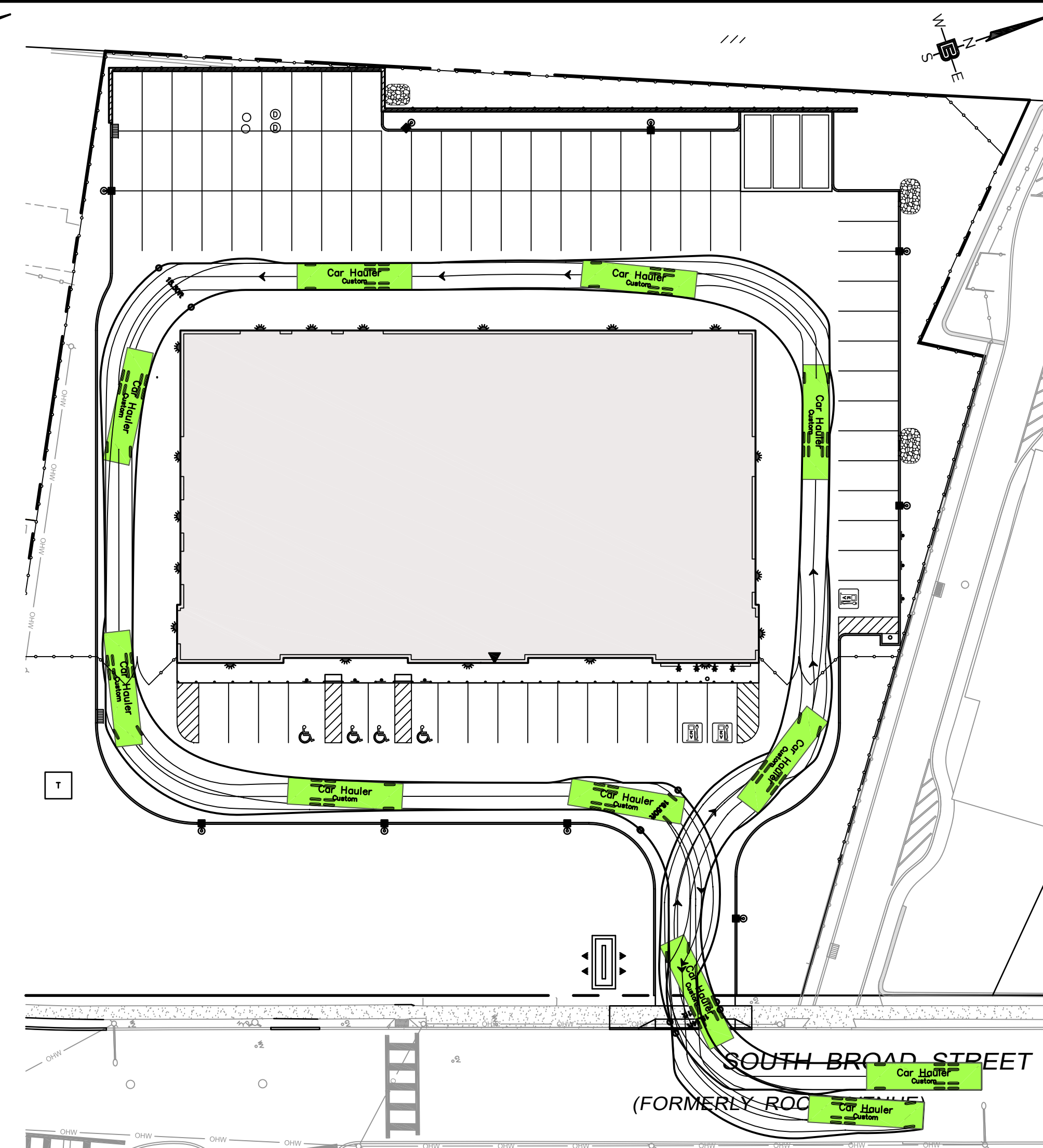
**ROLL-OFF DUMPSTER TRUCK CIRCULATION PATH**

SCALE: 1" = 30'



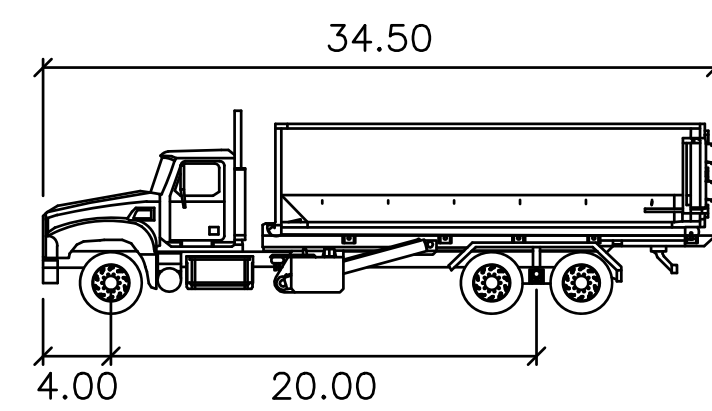
**FIRETRUCK CIRCULATION PATH**

SCALE: 1" = 30'



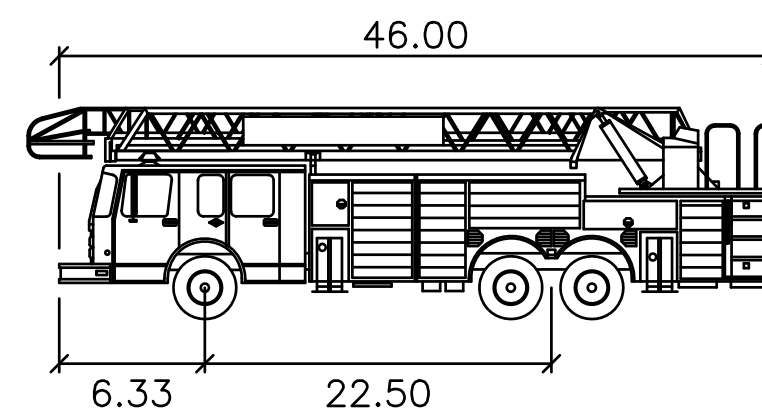
**FLATBED CAR HAULER CIRCULATION PATH**

SCALE: 1" = 30'



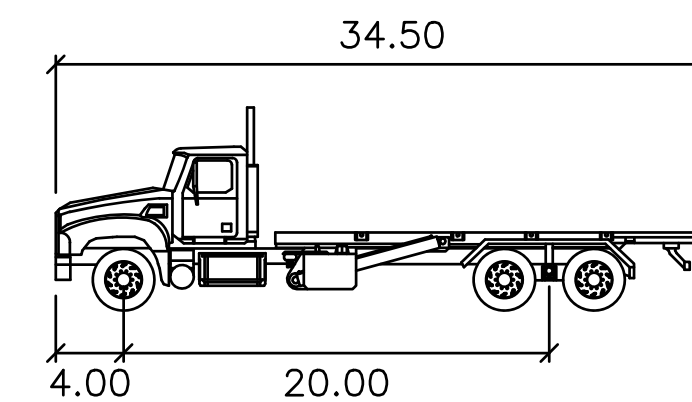
**Roll-off**

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



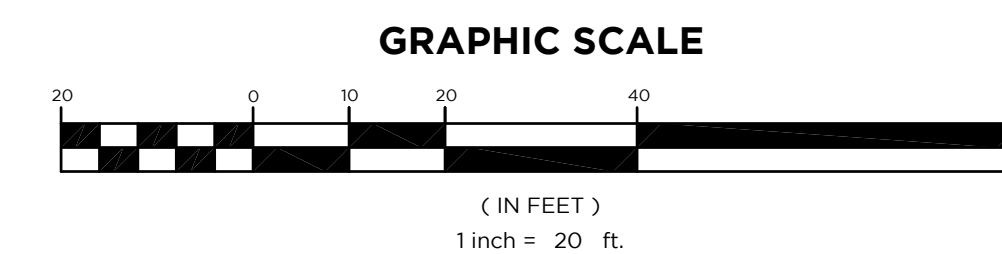
**Firetruck 46.00'**

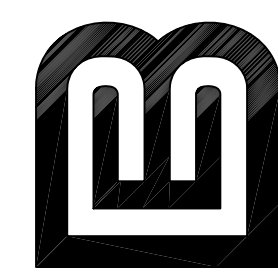
	feet
Width	: 7.99
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 40.0



**Car Hauler**

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8





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 NH LIC. NO. 9368 RI LIC. NO. 6694

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**SHAN-PEI FANCHIANG, P.E.**  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 37073  
 NY LIC. NO. 071209

---

NO.	DATE	REVISION
2	3-29-25	ADD CAR HAULER
1	11-11-24	UPDATE PLAN PER SITE LAYOUT CHANGE

---

DRAWING TITLE  
**VEHICLE CIRCULATION PLANS**

---

PROJECT  
**MOUNTAIN VIEW AUTO BODY**  
 BLOCK 3905, LOTS 12, 13 & 14  
 246-264 SOUTH BROAD STREET  
 VILLAGE OF RIDGEWOOD  
 BERGEN COUNTY, NEW JERSEY

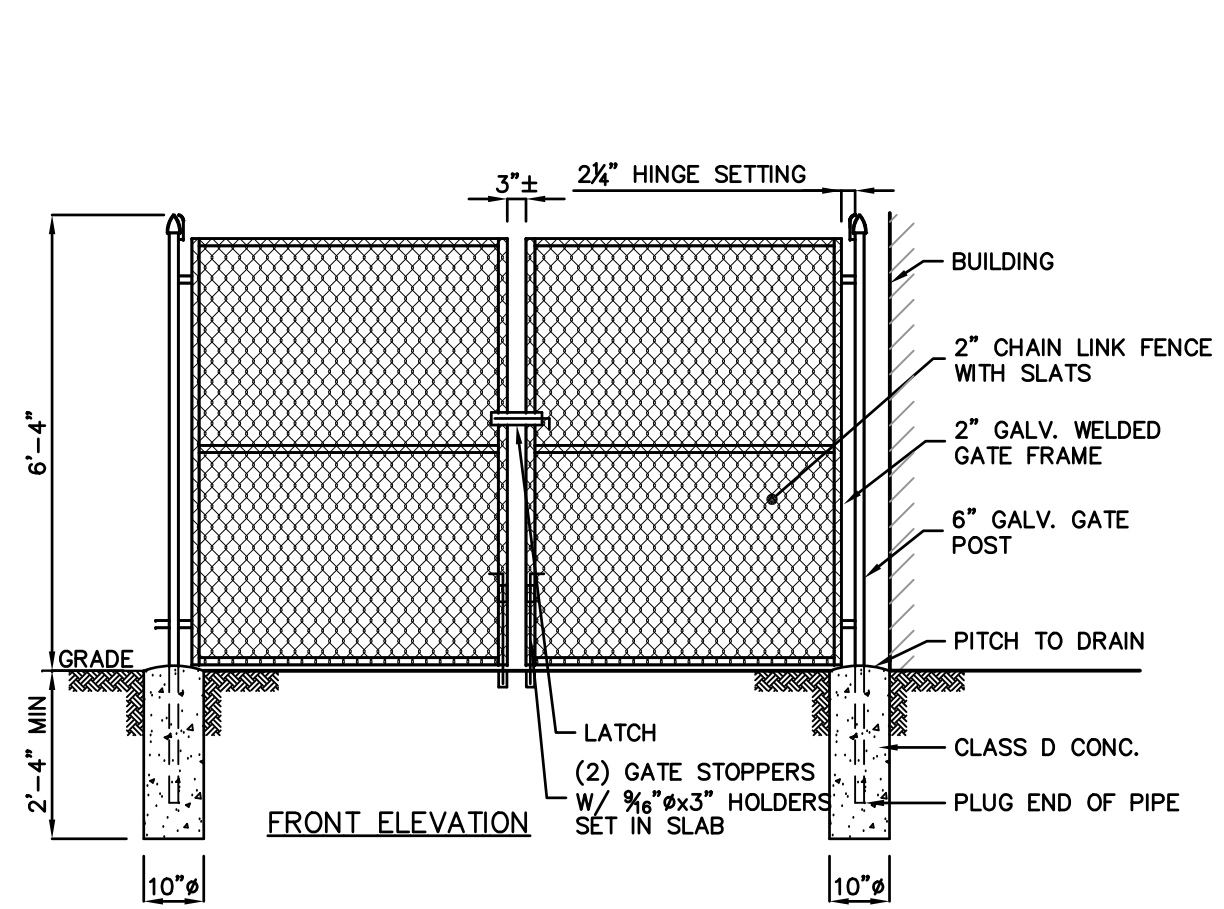
CLIENT  
**MOUNTAIN VIEW AUTO**  
 96 NEWARK POMPTON TURNPIKE  
 WAYNE, N.J. 07470

---

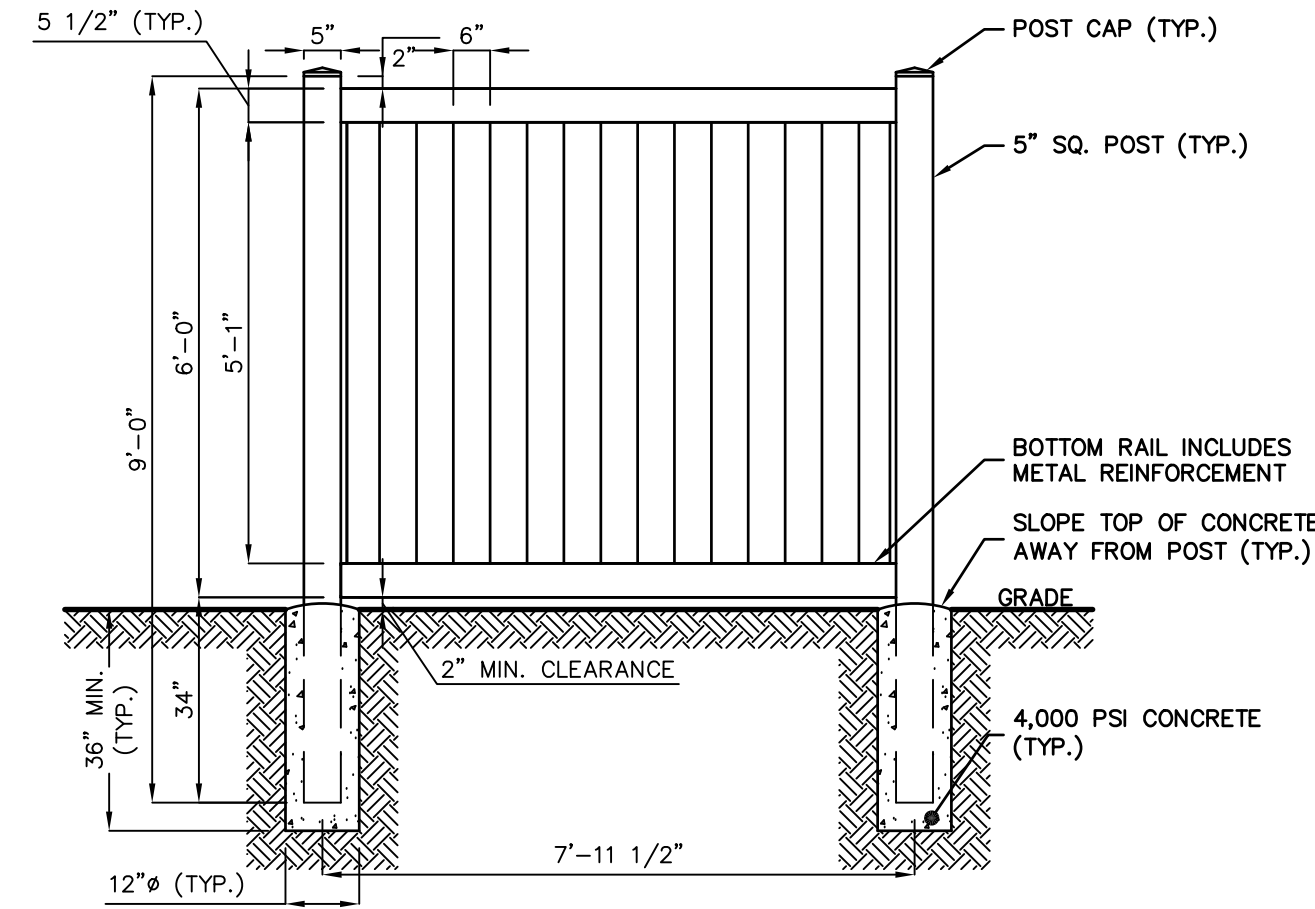
CERTIFICATE OF AUTHORIZATION:  
 24GA28068900 / 21MH00002800

DRAWN BY J.A.S.	CHECKED BY S.P.F.
SCALE 1"=20'	PROJECT NO. 22-146
DATE 7/02/24	REVISION NO. 0

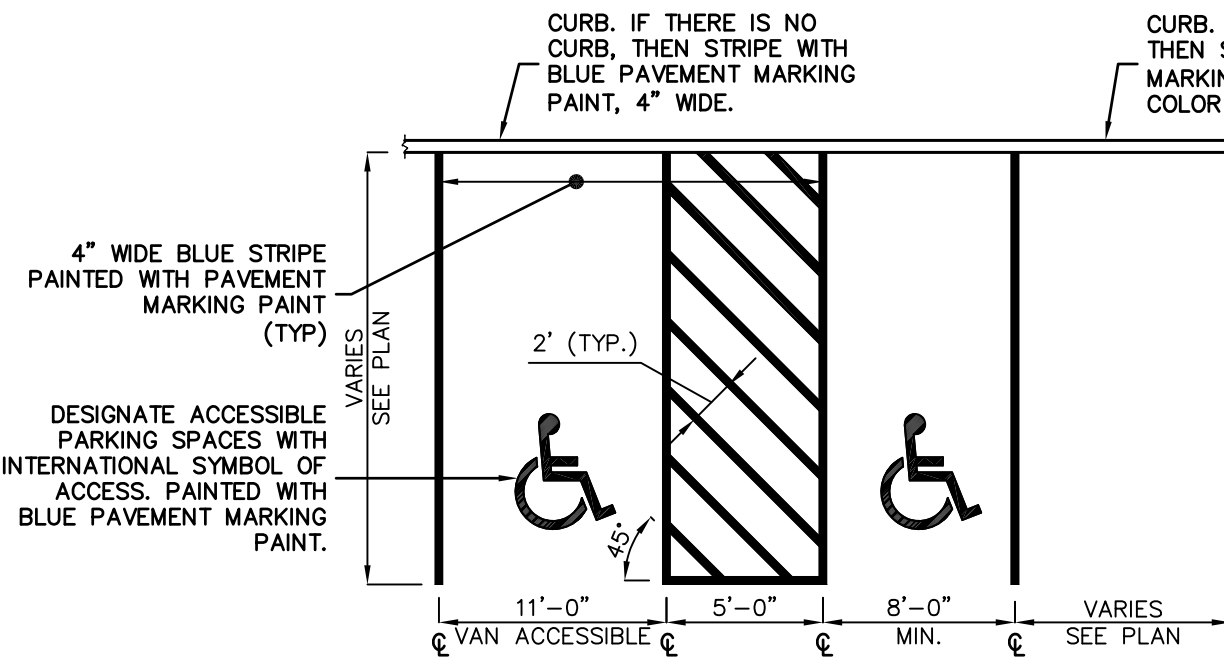
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**CP-5a**



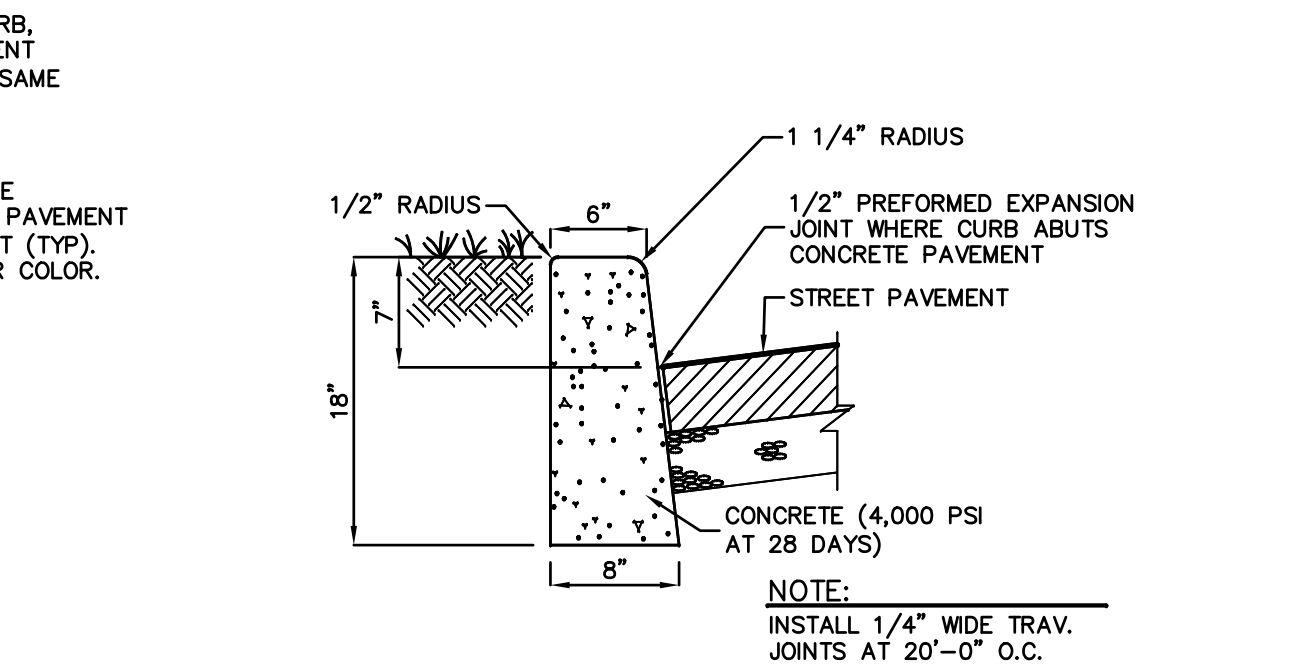
**CHAIN LINK GATE**  
NOT TO SCALE



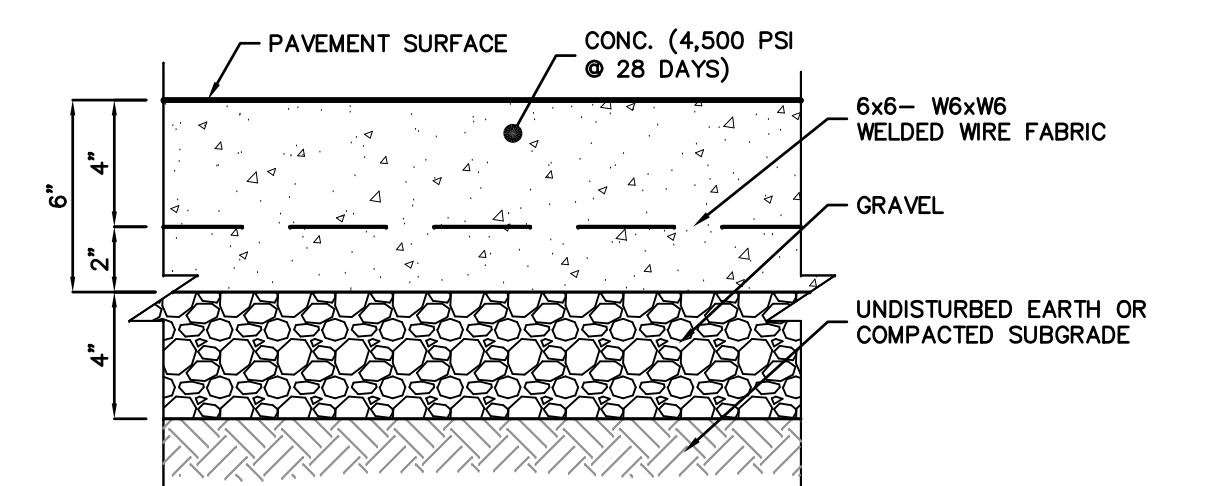
**SOLID VINYL TONGUE AND GROOVE FENCE - 6' HT.**  
NOT TO SCALE



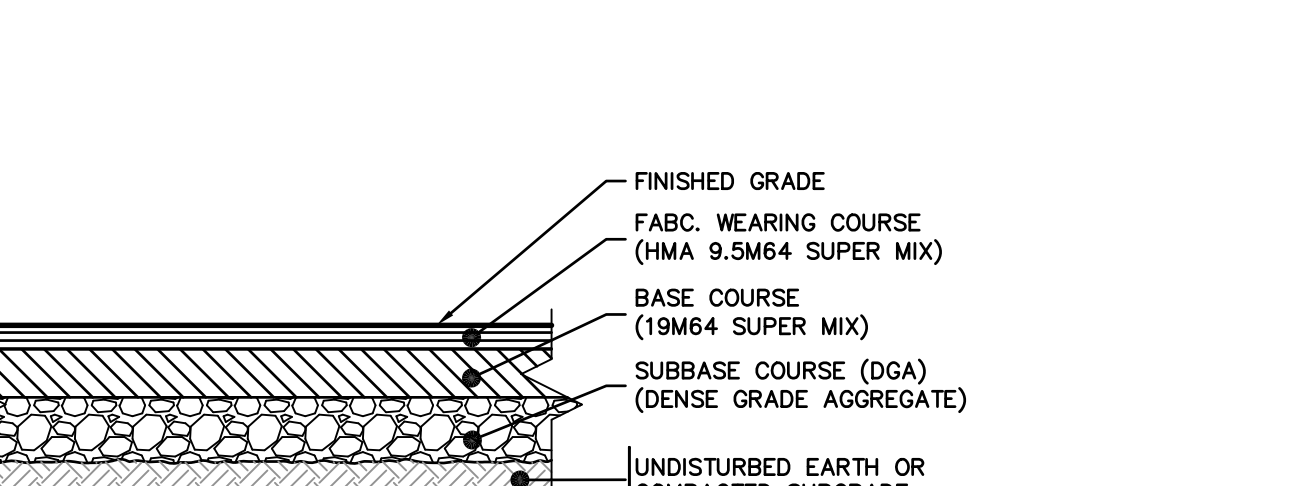
**PARKING SPACE STRIPING**  
NOT TO SCALE



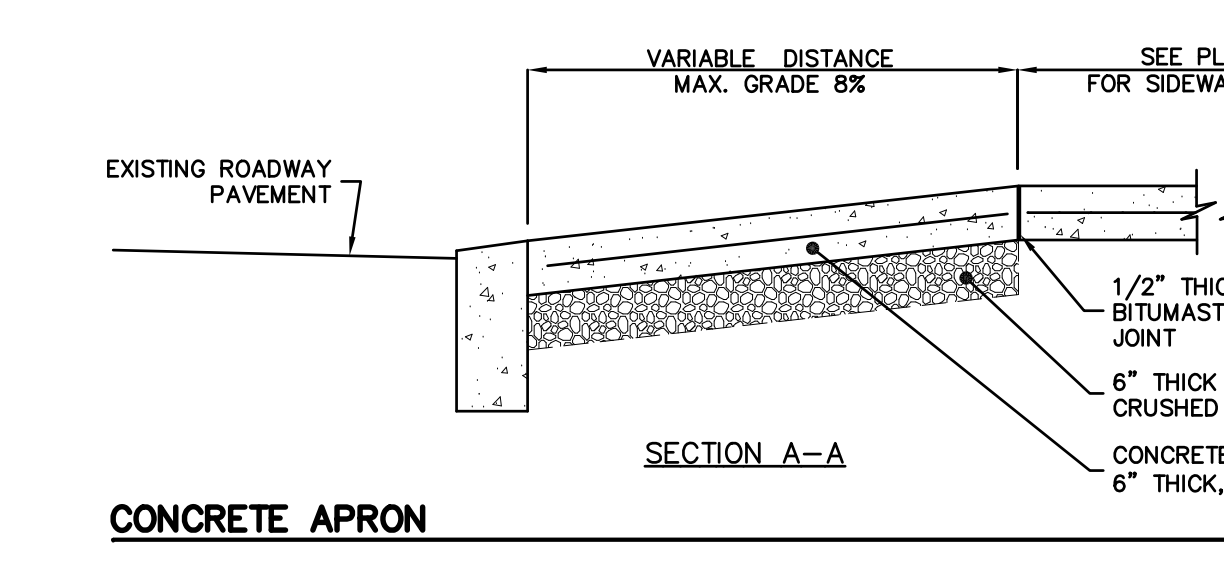
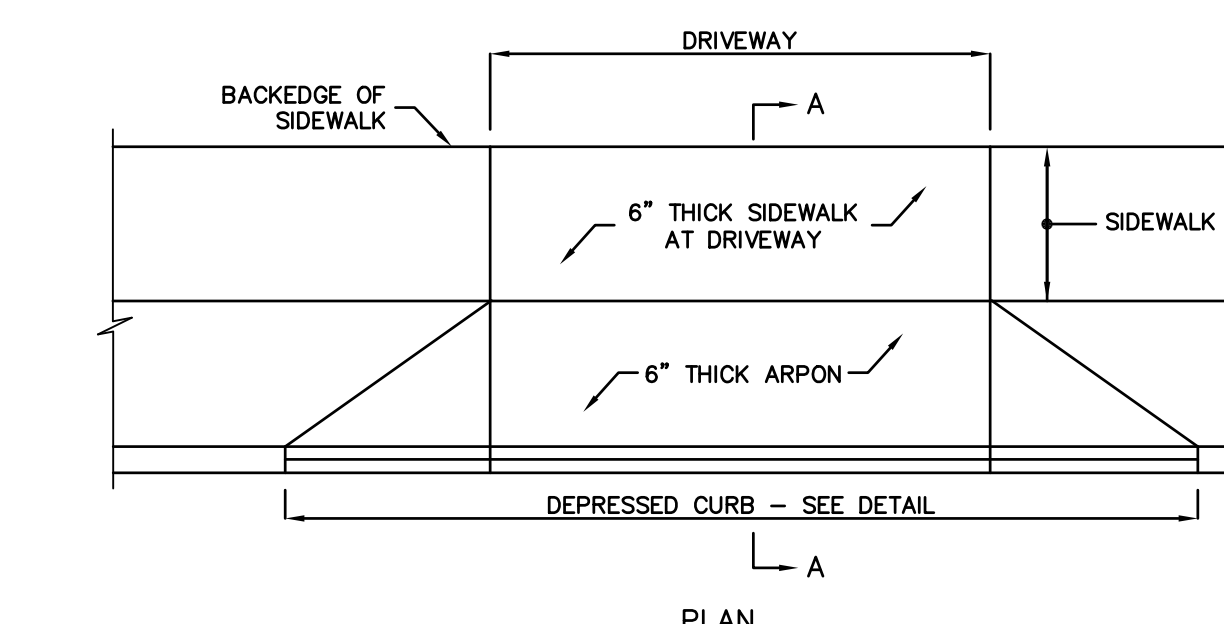
**CONCRETE CURB**  
NOT TO SCALE



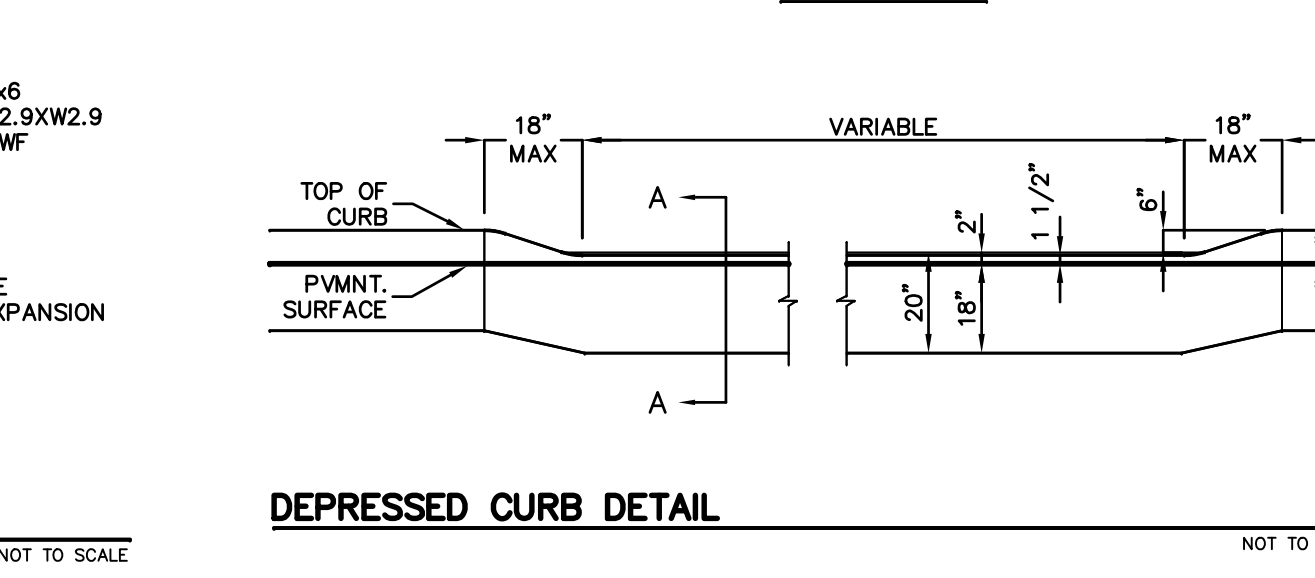
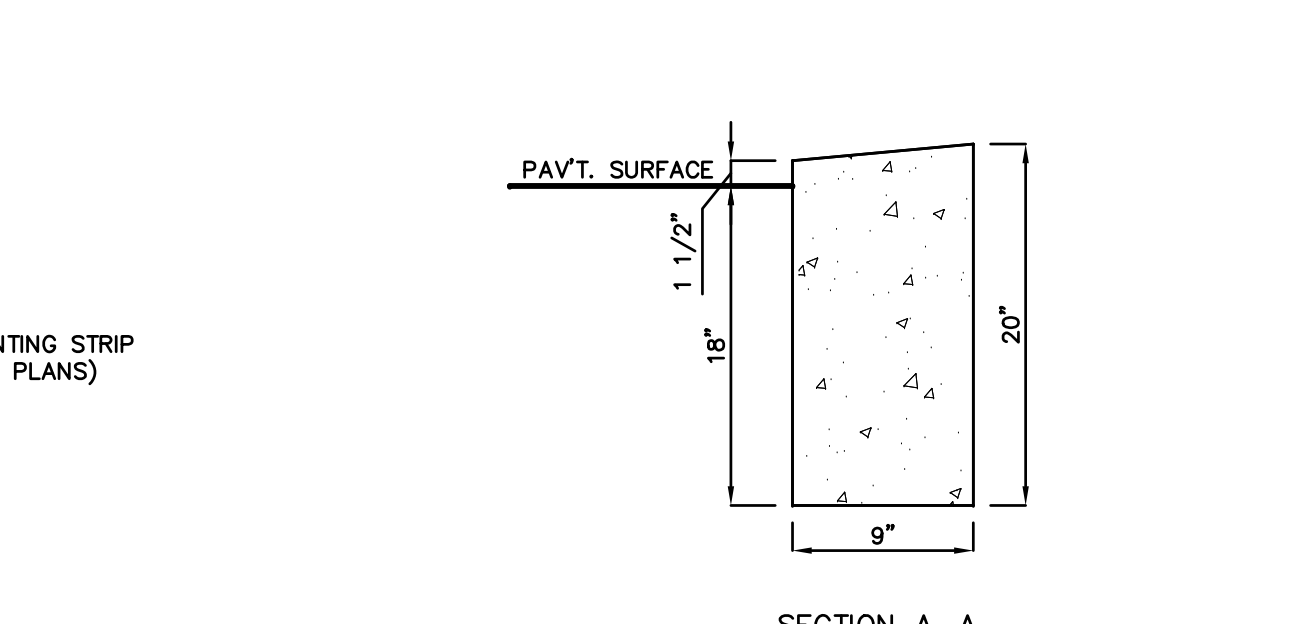
**CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE



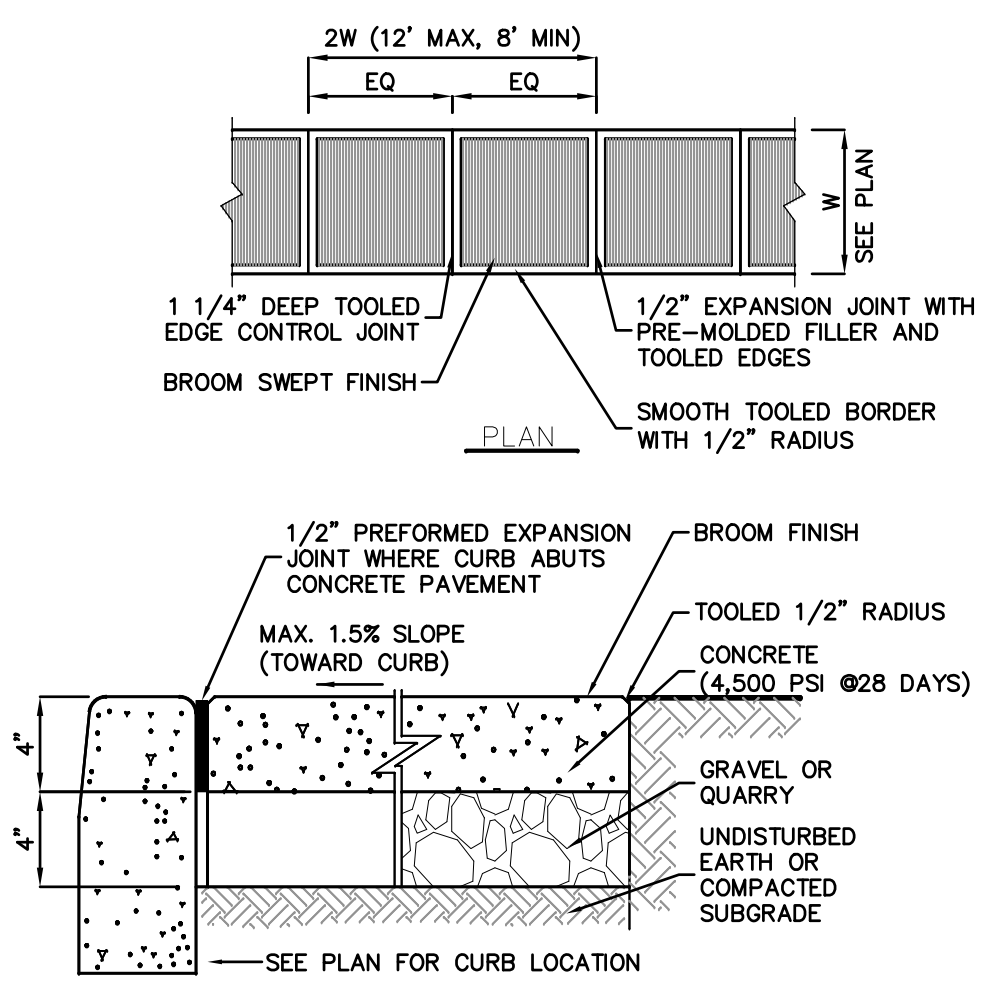
**ASPHALT PAVEMENT DETAIL**  
NOT TO SCALE



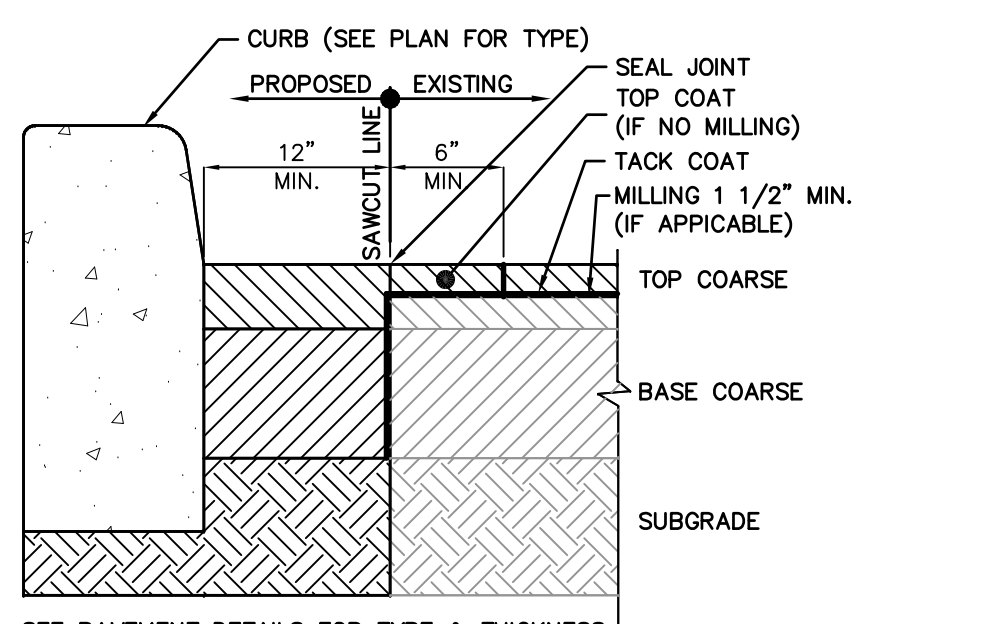
**CONCRETE APRON**  
NOT TO SCALE



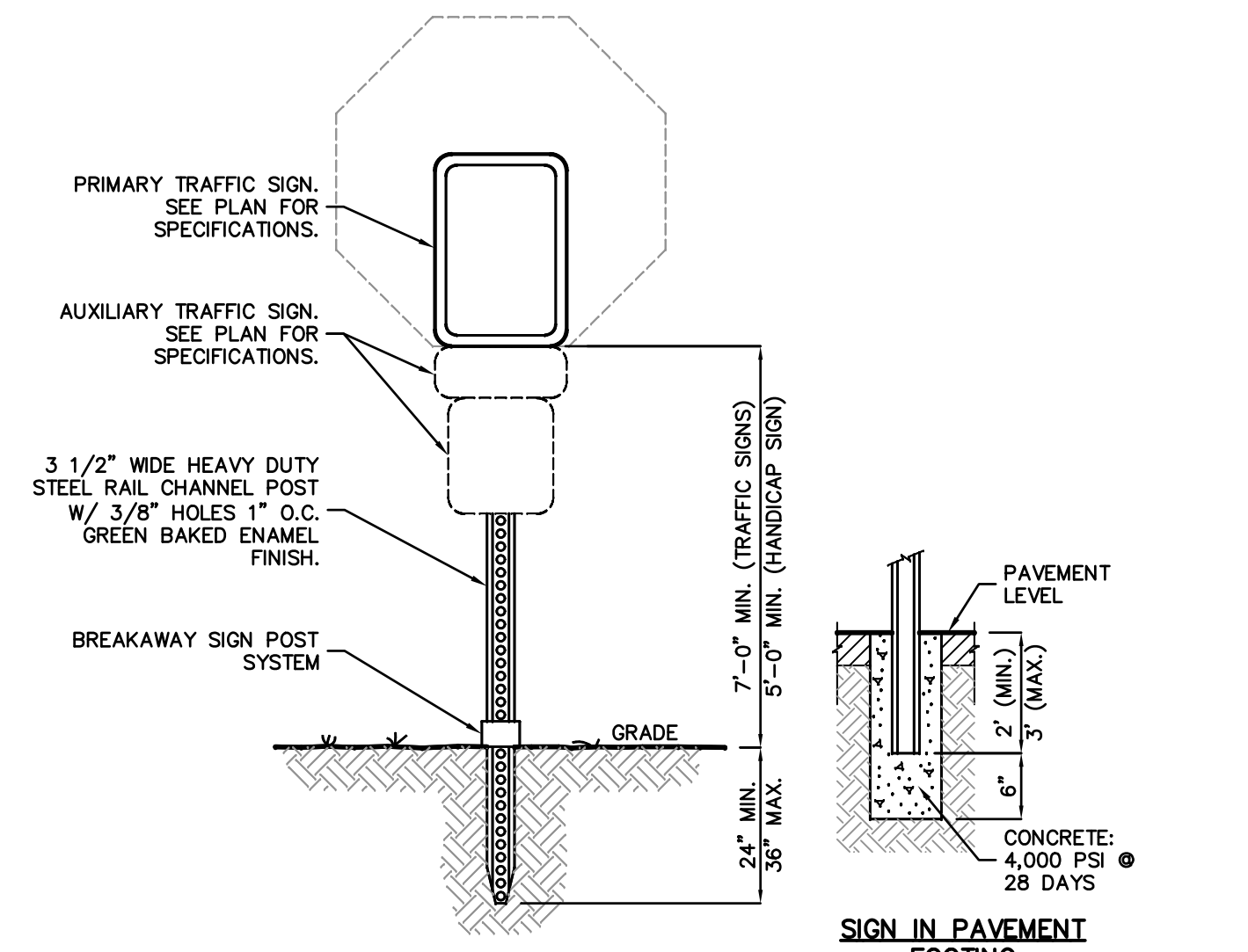
**DEPRESSED CURB DETAIL**  
NOT TO SCALE



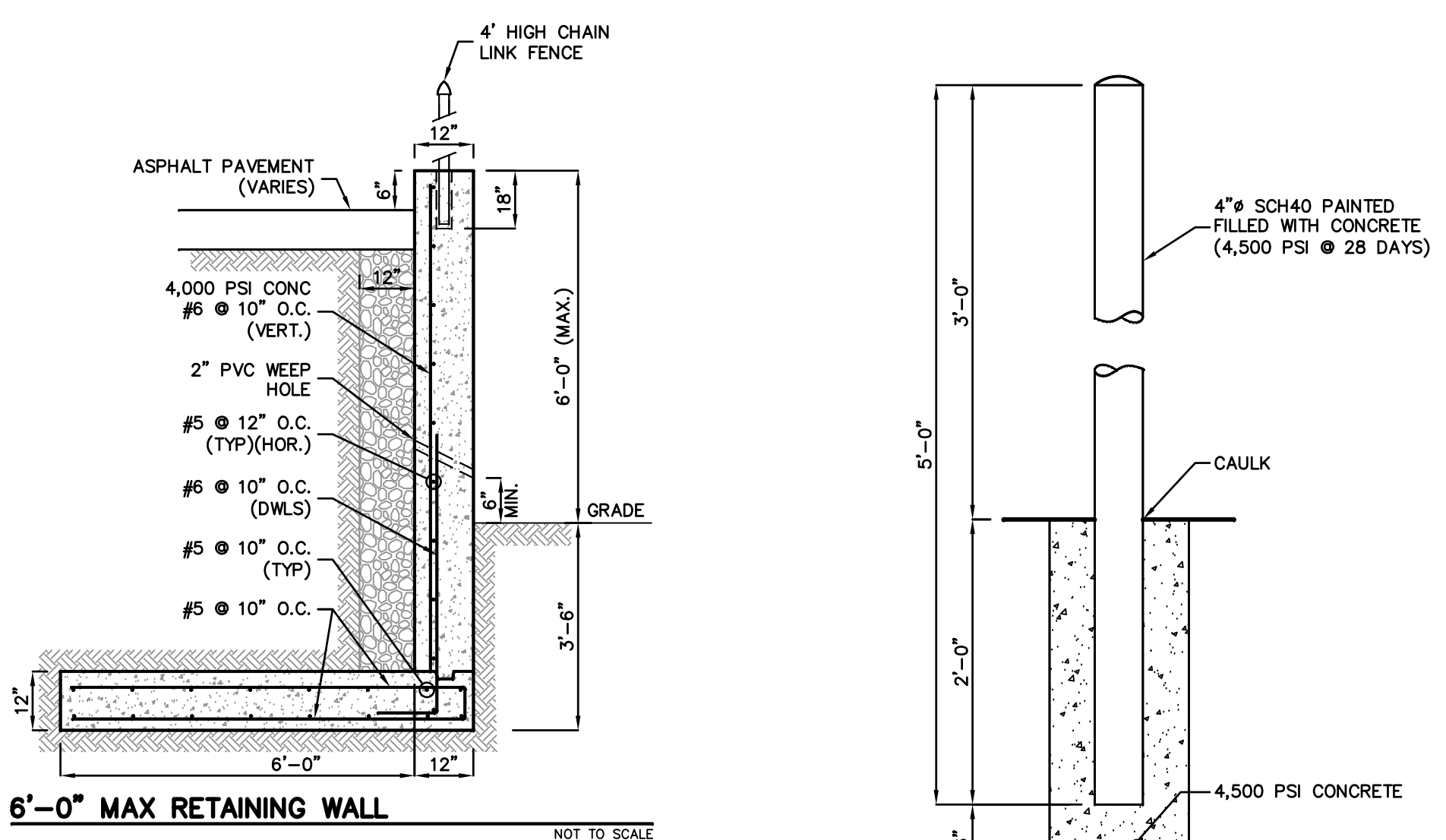
**CONCRETE SIDEWALK DETAIL**  
NOT TO SCALE



**PAVEMENT SAWCUT DETAIL FOR NEW CURB**  
NOT TO SCALE



**TRAFFIC SIGN DETAIL**  
NOT TO SCALE



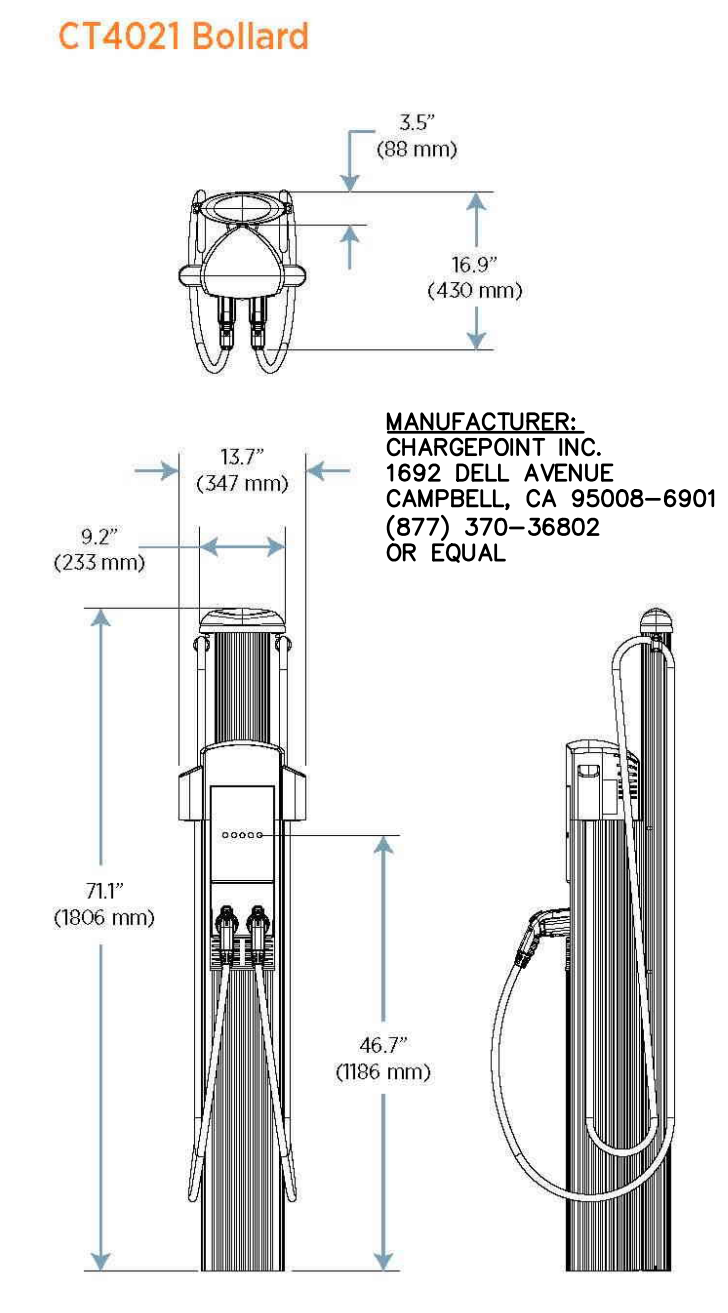
**6'-0" MAX RETAINING WALL**  
NOT TO SCALE

**PIPE BOLLARD**  
NOT TO SCALE

**CT4000 Family**  
ChargePoint® Charging Stations



The standard EV Charging Only sign is easily replaceable with your branding.  
The cap of the CT4000 family is also available for custom branding.  
The 5.7" LCD display provides full motion charging instructions in a clear and simple format. It also allows station owners to deliver advertising messaging.  
Driver interaction is supported in any weather by fine rugged, back-lit buttons with audio feedback.



**ELECTRIC VEHICLE BOLLARD CHARGE STATION - DUAL**  
NOT TO SCALE

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**SHAN-PEI FANCHIANG, P.E.**  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 37073  
NY LIC. NO. 071209

NO.	DATE	REVISION
1	10-20-22	ADD DUMPSTER WITH COVER DETAIL AND EV CHARGING STATION
2	2-11-23	REMOVE DUMPSTER WITH COVER DETAIL
3	11-11-24	REMOVE BERGEN COUNTY CURB DETAIL / UPDATE SITE DETAILS
4	5-29-25	UPDATE FENCE DETAIL / ADD GATE DETAIL

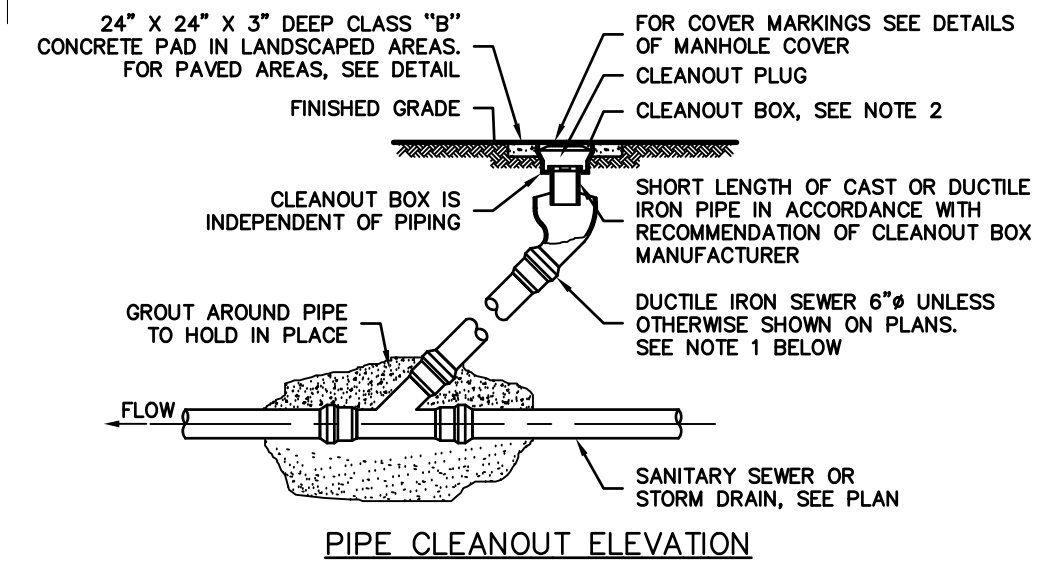
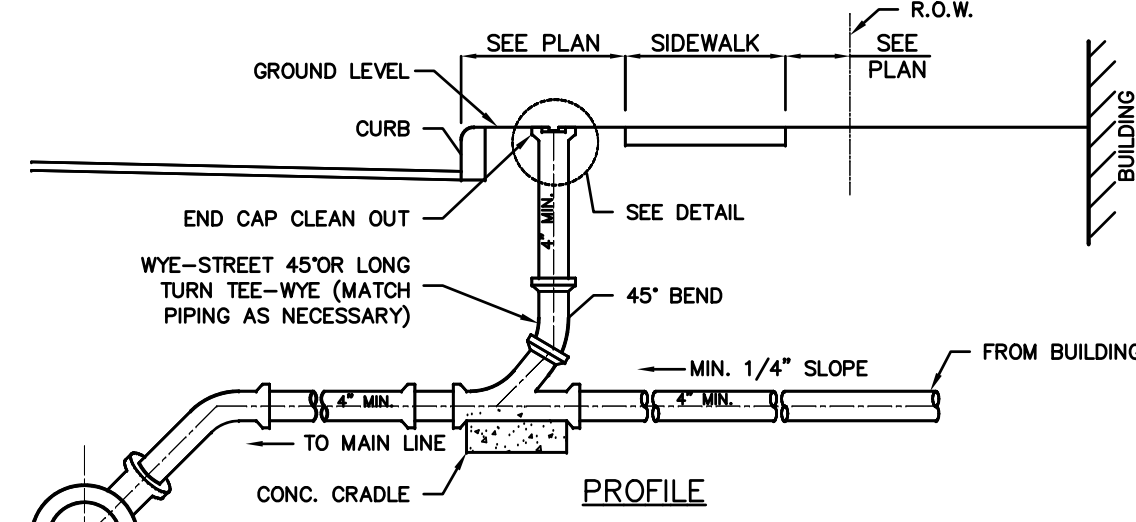
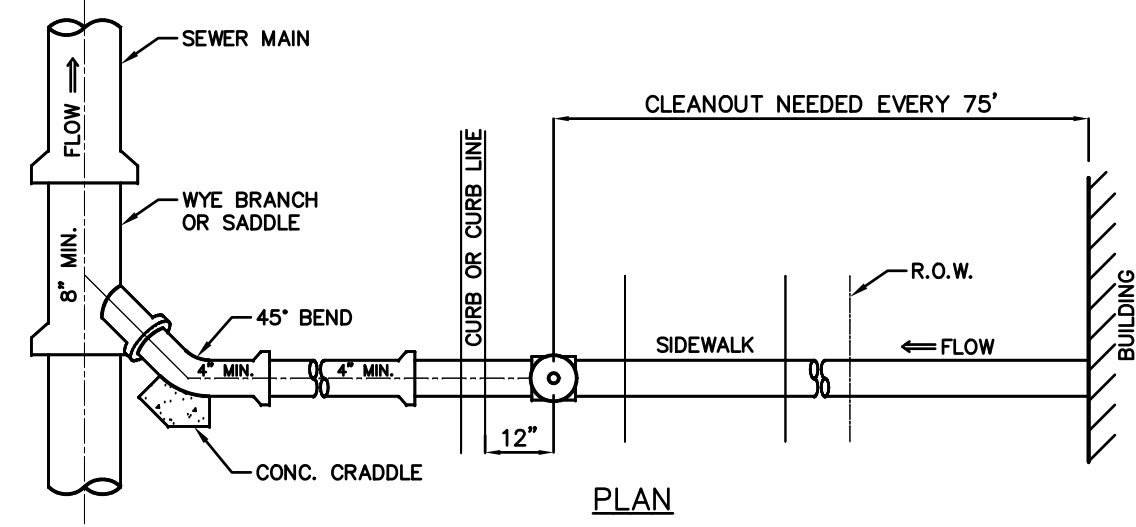
**SITE DETAILS**

**PROJECT**  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY

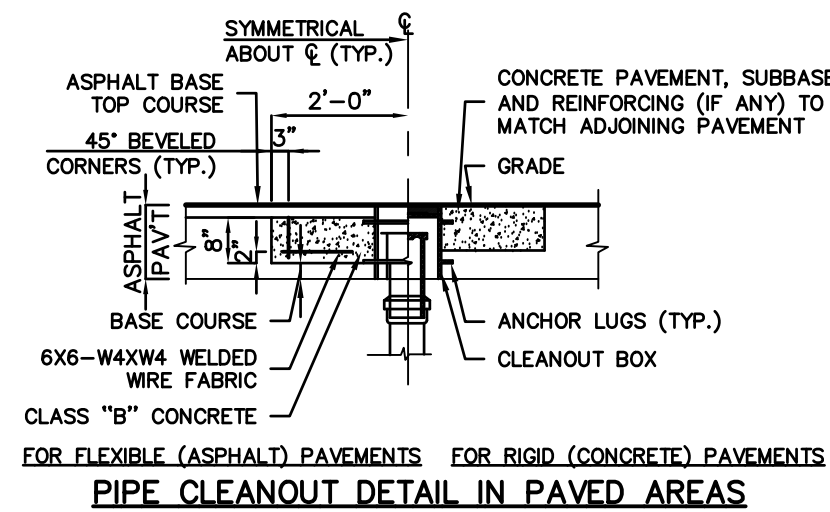
**CLIENT**  
**MOUNTAIN VIEW AUTO**  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY M.B.L.	CHECKED BY S.P.F.
SCALE AS SHOWN	PROJECT NO. 22-146
DATE 6-13-22	REVISION NO. 4
DRAWING NO.	

**C3.1**



- NOTES:
- CLEANOUT PIPING ASTM A746 CLASS 50 WITH PUSH ON, GASKETED JOINTS. CONTRACTOR SHALL PROVIDE BENDS OR OTHER SPECIAL FITTINGS FOR UNDERGROUND PIPING AS REQUIRED TO FOLLOW ALIGNMENT SHOWN ON PLAN AND TO CONNECT TO SEWER OR DRAIN.
  - HEAVY DUTY CAST IRON FRAME AND COVER DESIGNED FOR HS25 HIGHWAY LOADING. SUBMIT DETAILS FOR APPROVAL.

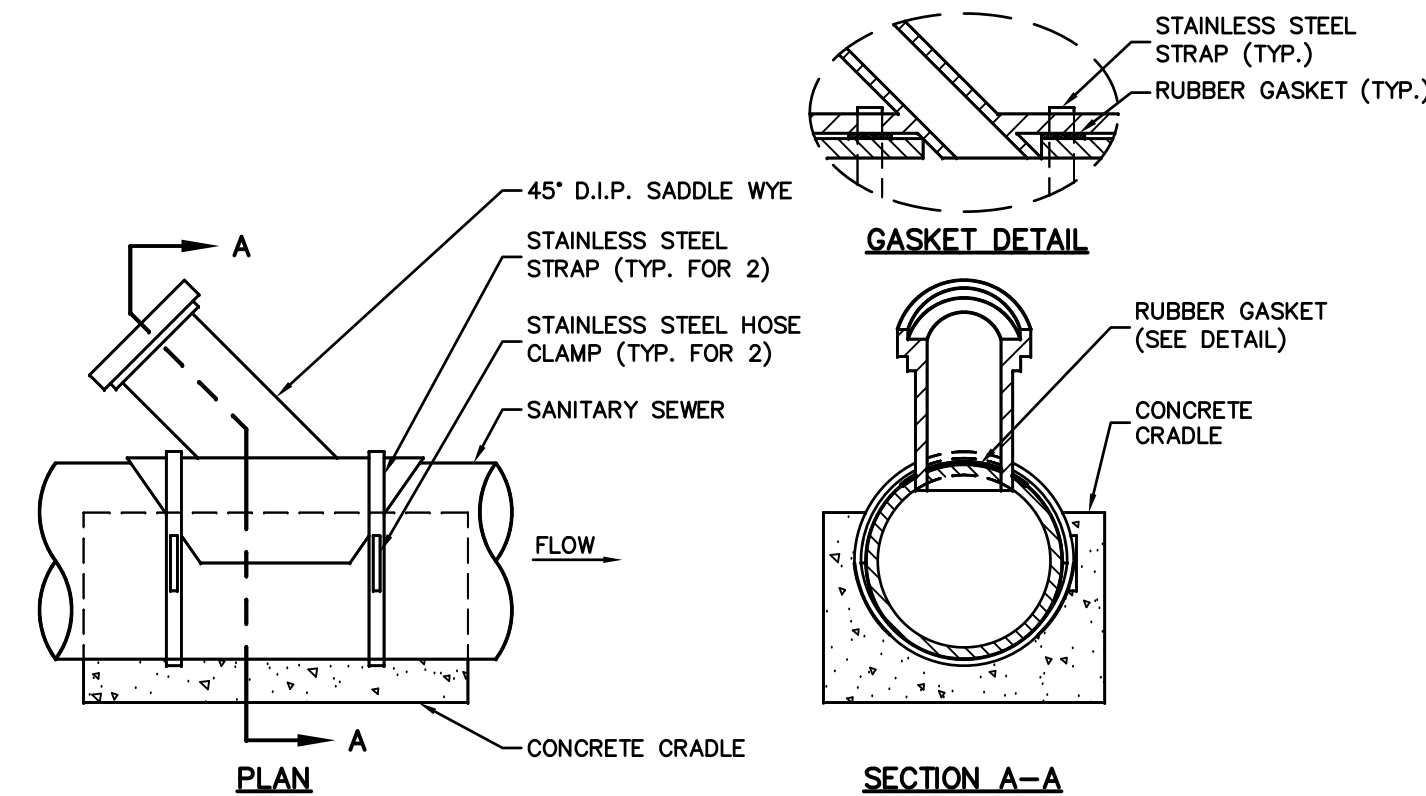


FOR FLEXIBLE (ASPHALT) PAVEMENTS FOR RIGID (CONCRETE) PAVEMENTS  
PIPE CLEANOUT DETAIL IN PAVED AREAS

- NOTES:
- SEE PLAN FOR PIPE SIZES, SLOPE AND LOCATIONS.
  - MAINTAIN 1% MIN SLOPE. USE 2% SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN.
  - CLEANOUTS TO BE AS SHOWN ON PLAN, BUT NOT GREATER THAN 75' O.C. FOR 4" LATERAL.

**BUILDING SEWER CONNECTION AND CLEANOUT DETAIL**

NOT TO SCALE



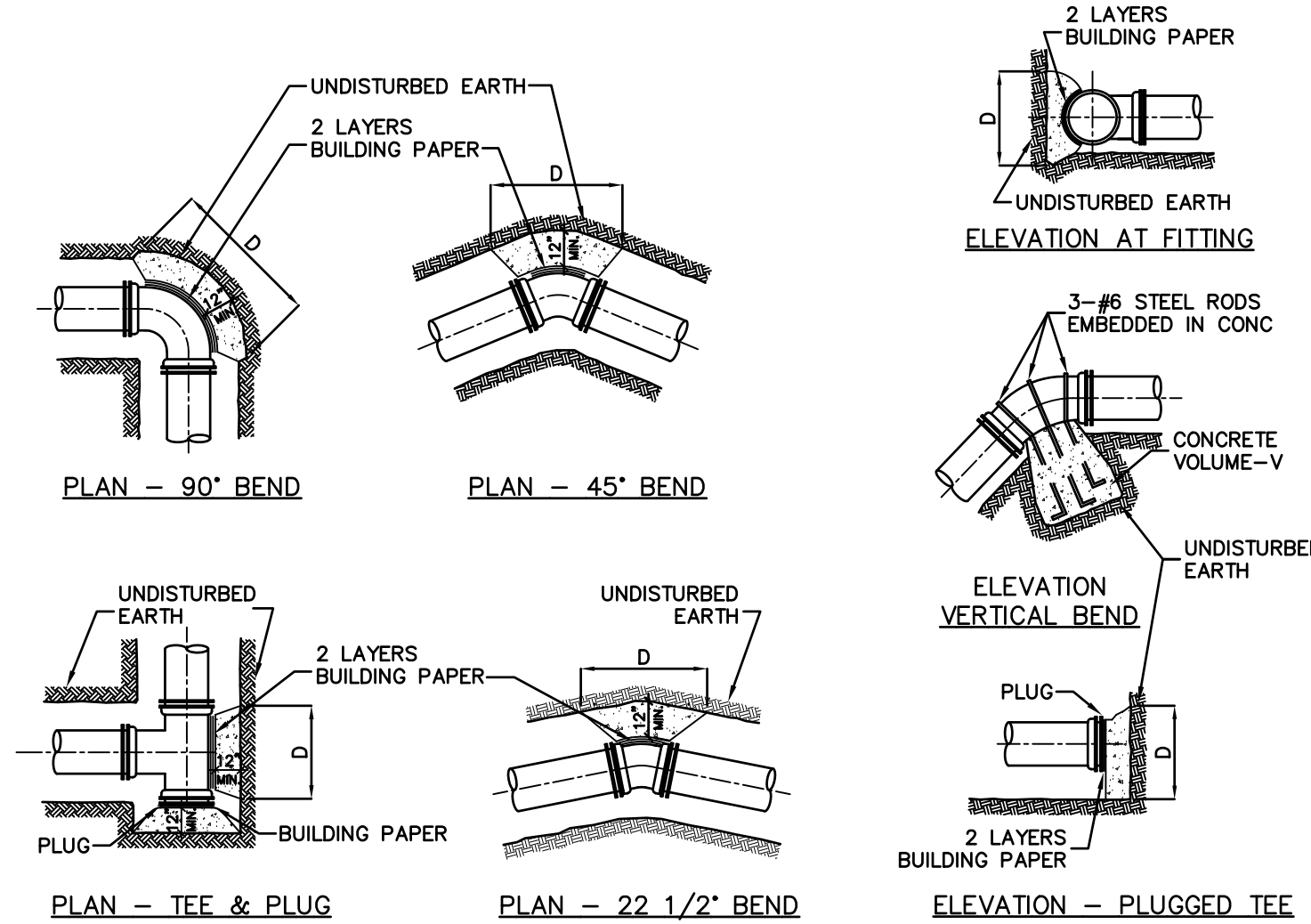
SANITARY SEWER SADDLE WYE CONNECTION

NOT TO SCALE

PIPE DIAMETER (ø)	CONTACT BEARING AREA OF BLOCK WITH EARTH, SQUARE FEET					
	5"-22.5"	23"-45"	46"-90"	TEE CONNECTION	45° WYE	PLUG
4"	0.5	1.4	2.6	1.8	2.2	2.0
6"	1.5	3.0	6.0	4.0	4.5	4.5
8"	2.5	5.0	9.5	6.5	9.5	8.0
10"	4.1	8.0	13.0	9.5	12.5	12.5
12"	5.5	11.5	19.0	13.5	16.0	18.0
16"	9.0	18.0	33.0	23.0	27.0	32.0
20"	14.0	28.0	51.0	36.0	42.0	50.5

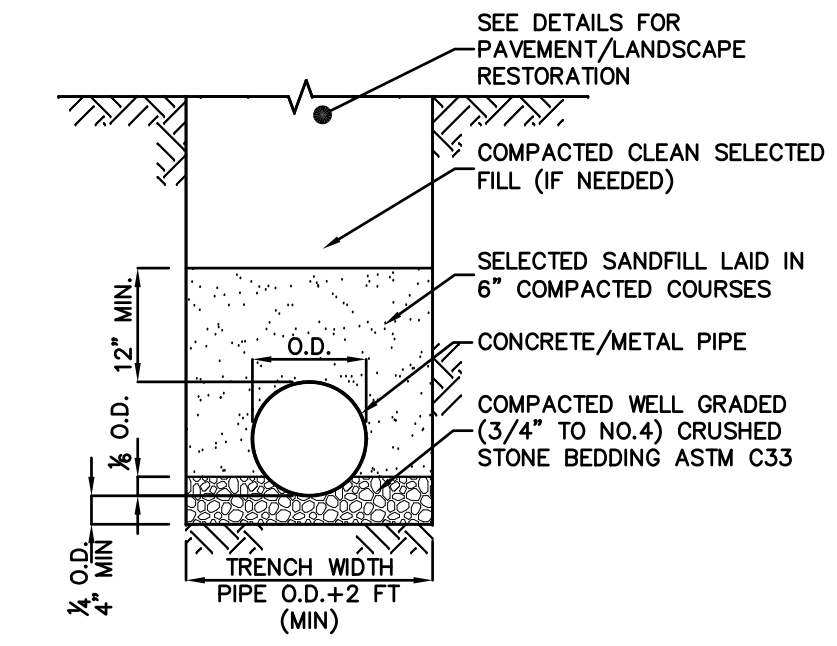
- NOTES:
- BEARING AREA ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 1,000 POUND PER SQUARE FOOT. FOR A LESSER SOIL BEARING CAPACITY THESE AREAS SHALL BE INCREASED ACCORDINGLY.
  - ALL CONCRETE THRUST BLOCKS SHALL BE CLASS "B".
  - THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.
  - NO JOINT SHALL BE COVERED WITH CONCRETE.
  - APPROVED MECHANICAL JOINT RESTRAINTS ARE REQUIRED AT ALL VERTICAL BENDS AND MAY BE USED IN LIEU OF THRUST BLOCK AT HORIZONTAL BENDS AT THE OPTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
  - A BITUMASTIC COATING SHALL BE APPLIED TO ALL BOLTS, NUTS, WASHERS, RODS, THRUST RESTRAINT BOLTS AND ALL UNCOATED HARDWARE.
  - 6 MIL POLY SHEATING SHALL BE PLACED BETWEEN FITTINGS AND CONCRETE THRUST BLOCKS.

**THRUST BLOCK SCHEDULE**



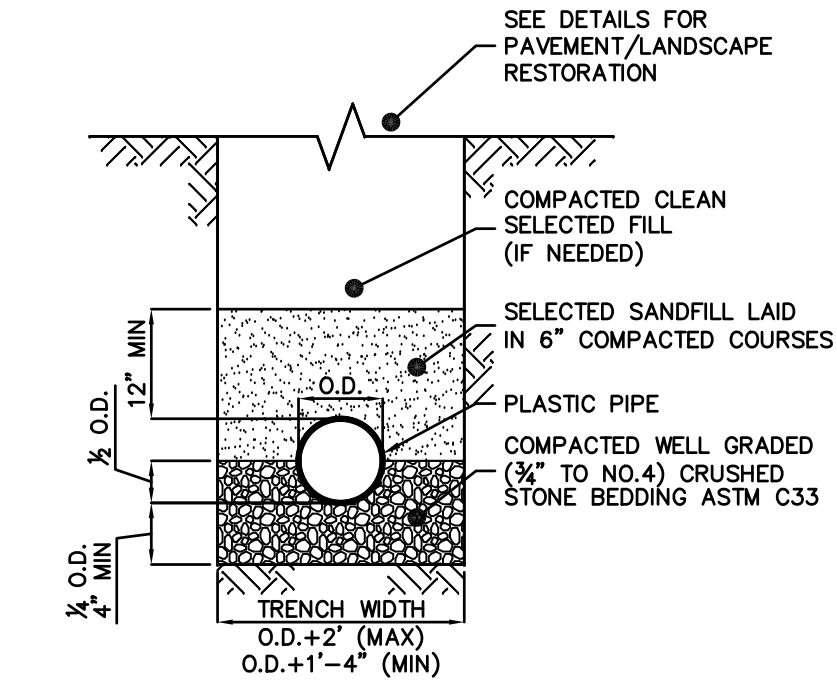
THRUST BLOCK DETAILS

NOT TO SCALE



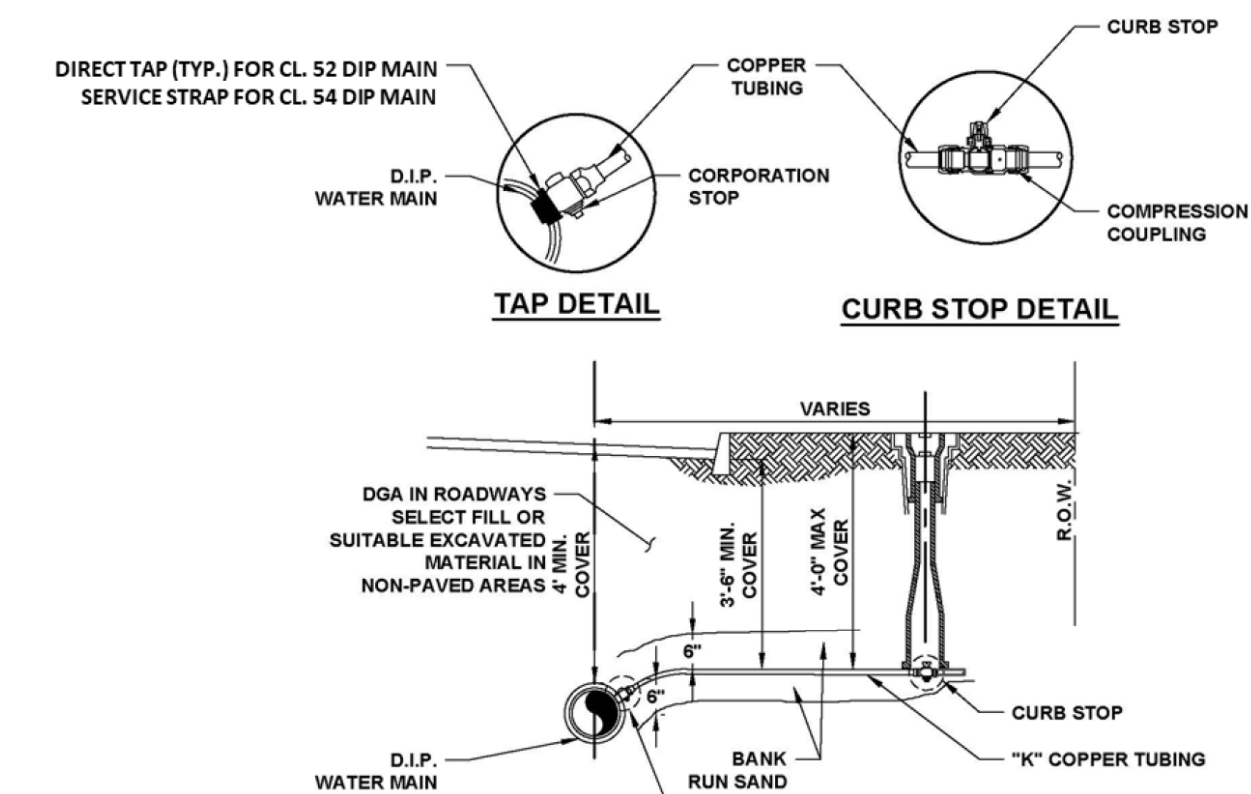
CONCRETE/METAL PIPE IN TRENCH DETAIL

NOT TO SCALE



PLASTIC PIPE IN TRENCH

NOT TO SCALE



- NOTES:
- CONNECT TO EXISTING MAIN USING APPROPRIATE SIZED MUELLER BALL CORPORATION STOP CC X COMP. MODEL B-25008.
  - CONNECT TO EXISTING SERVICE USING APPROPRIATE SIZED COMPRESSION COUPLING: MUELLER CURB STOP COMP. X COMP. MODEL H-15209.
  - SERVICE BOXES SHALL BE BINGHAM & TAYLOR 2 1/2" CURB BOX SET, SIZE 94E (40"-60"), LID MARKED "WATER".
  - UNIONS, COUPLINGS AND OTHER FITTINGS FOR COPPER TUBING SHALL BE THE COPPER SERVICE THREAD TYPE AS MANUFACTURED BY THE MUELLER COMPANY, UNLESS OTHERWISE SHOWN OR DIRECTED.
  - TAP INTO DIP WATER MAIN VIA EXISTING TAP LOCATION WHERE POSSIBLE.
  - IF NEW TAP IS REQUIRED, CLASS 52 DIP MAY BE DIRECT-TAPPED; CLASS 54 DIP MUST TAPPED USING DOUBLE STRAP SERVICE SADDLE: SMITH BLAIR DOUBLE BALE MODEL 313, STAINLESS STEEL HARDWARE, OR APPROVED EQUAL.

**DOMESTIC WATER SERVICE CONNECTION BEHIND CURBLINE (COMPLETE IN PLACE)**

NOT TO SCALE

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NO.	DATE	REVISION
1	5-29-25	ADD DOMESTIC WATER SERVICE DETAIL

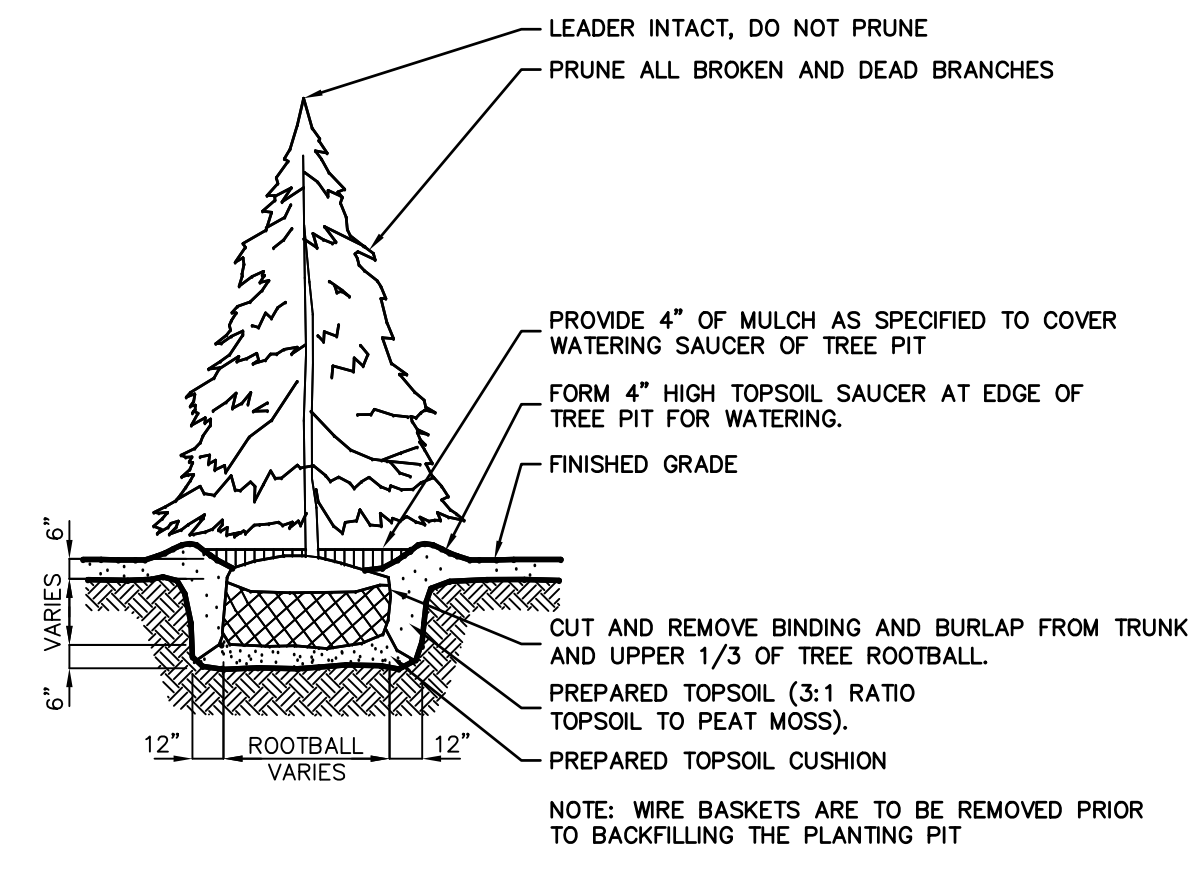
**UTILITY DETAILS**

PROJECT  
**MOUNTAIN VIEW AUTO BODY**  
BLOCK 3905, LOTS 12, 13 & 14  
246-264 SOUTH BROAD STREET  
VILLAGE OF RIDGEWOOD  
BERGEN COUNTY, NEW JERSEY  
CLIENT  
MOUNTAIN VIEW AUTO  
96 NEWARK POMPTON TURNPIKE  
WAYNE, N.J. 07470

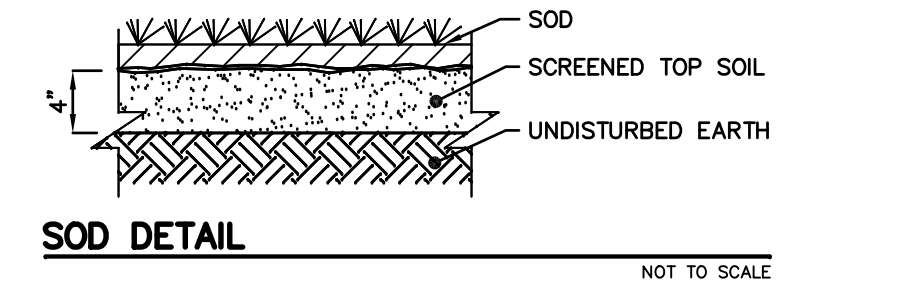
CERTIFICATE OF AUTHORIZATION 24GA28068900 / 21MH00002800	
DRAWN BY: M.B.L.	CHECKED BY: S.P.F.
SCALE: AS SHOWN	PROJECT NO: 22-146
DATE: 6-13-22	REVISION NO: 1

**C3.2**

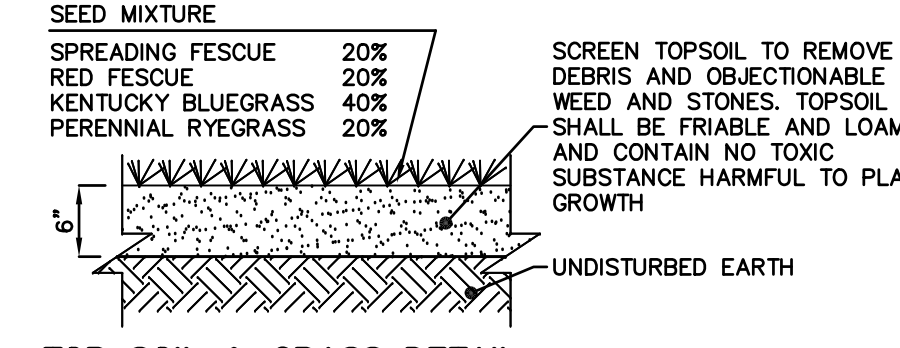




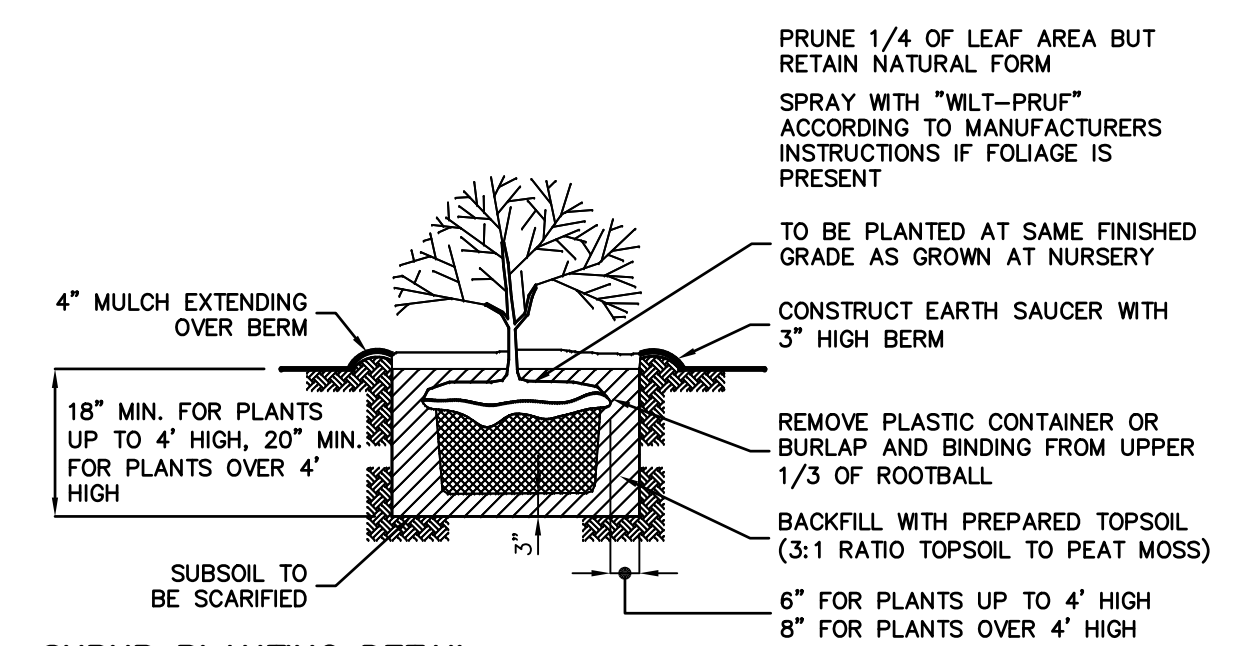
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



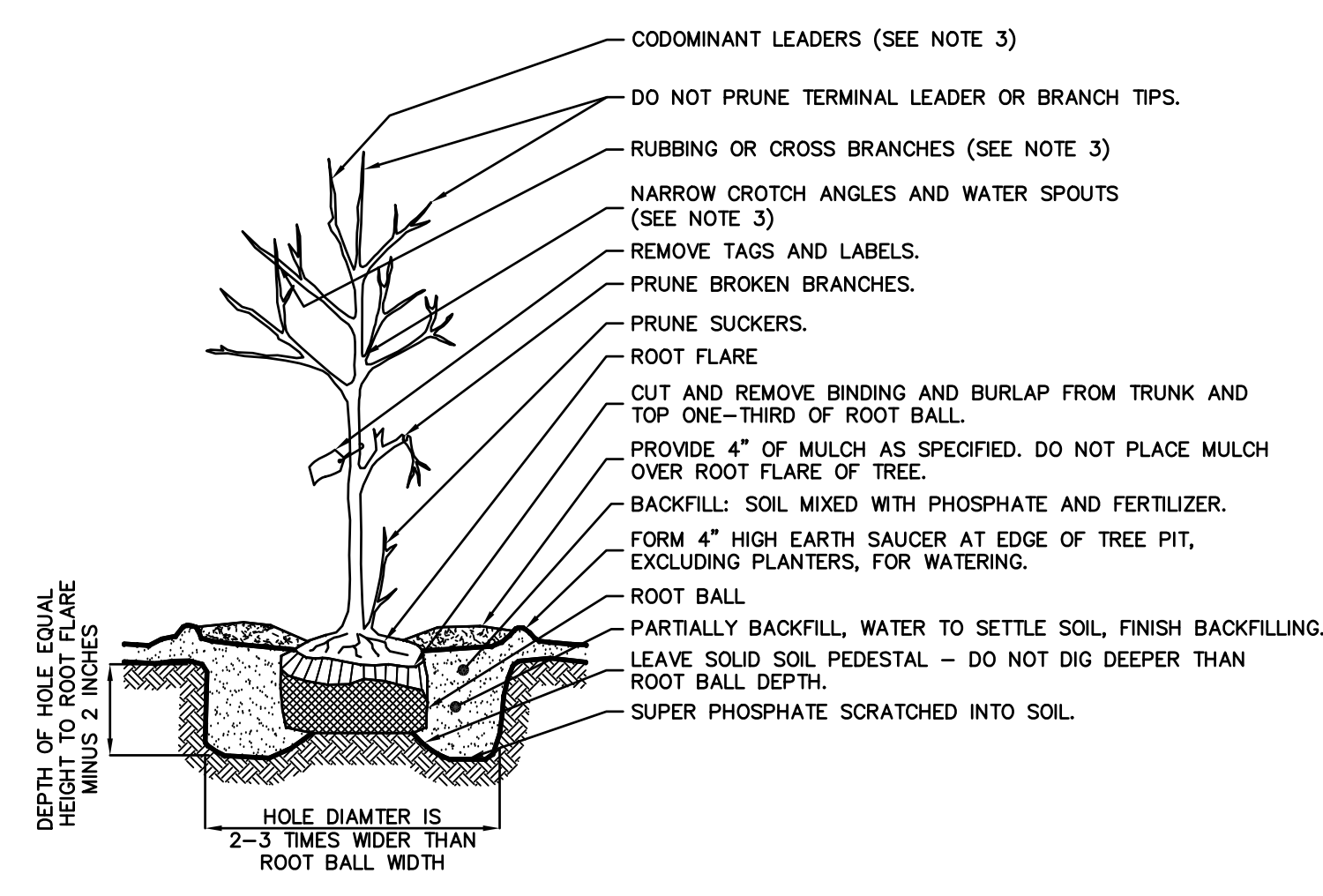
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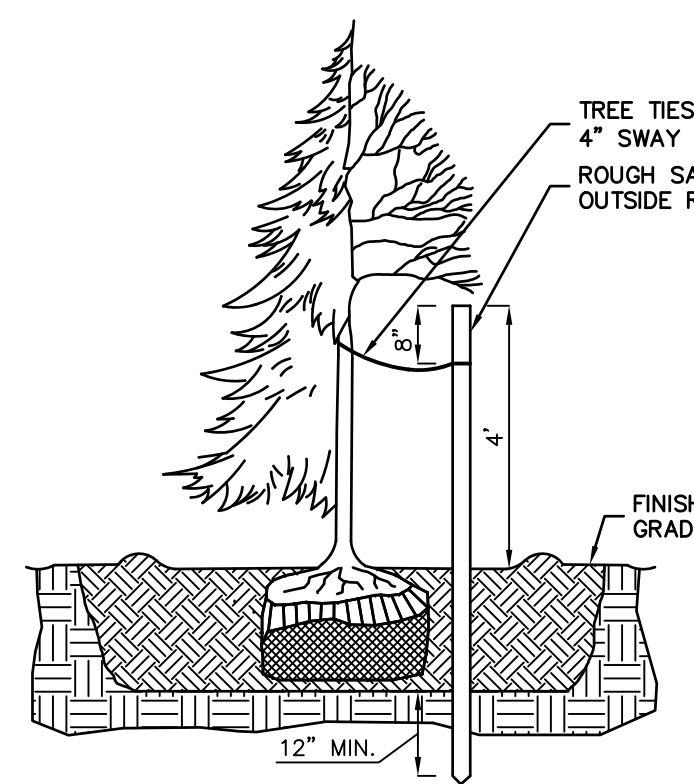
**TOP SOIL & GRASS DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE



**TREE STAKING DETAIL**  
NOT TO SCALE

- TREE STAKING NOTES:**
- STAKES TO BE CONSTRUCTION GRADE ROUGH SAWN OR FINISHED DOUGLAR FIR OR PINE. STAKE SIZE TO BE 1 1/2" X 1 1/2" BY THE FOLLOWING LENGTHS:
    - TREES 36" AND SHORTER (AT TIME OF PLANTING): USE ONE (1) 8 FT LONG (APPROX.) STAKE
    - TREES TALLER THAN 36" (AT TIME OF PLANTING): USE TWO (2) 8 FT LONG (APPROX.) STAKES
  - DRIVE STAKES VERTICALLY AND AT LEAST 12" INTO UNDISTURBED SOIL. DO NOT DRIVE STAKES THROUGH ROOT BALL. LOCATE STAKES TO BEST RESIST PREVAILING WINDS WHERE POSSIBLE.
  - TREE TIES TO BE EITHER:
    - PLASTIC CHAIN TYPE APPROX. 1" WIDTH BY 1/8" DEPTH. WHERE TWO STAKES ARE REQUIRED, CROSS THE TIES BETWEEN STAKES AND WRAP TIE ONCE AROUND TREE. FASTEN SECURELY TO STAKE.
    - 2 STRANDS OF #12 GAUGE GALV. ANNEALED STEEL WIRE TWISTED. PORTION OF WIRE THAT GOES AROUND THE TREE TO BE ENCLOSED IN NEW BLACK REINFORCED RUBBER HOSE. WIRE IS TO BE DOUBLE WRAPPED AROUND STAKE AND TWISTED TO TIGHTEN.

**LAWNS: SODDING AND SOIL PREPARATION NOTES**

- CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
- ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL. SCARIFY SOIL TO DEPTH OF 3± INCHES PRIOR TO APPLICATION.
- LAWNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF.
- WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
- FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWNS SHALL BE GUARANTEED TO HAVE A UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRIZNG MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

**LAWNS: SEEDING AND SOIL PREPARATION NOTES**

- CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
- ALL LAWN AREAS WITHIN LAWN LIMIT LINES TO RECEIVE 6" OF TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA. CONTRACTOR SHALL FULLY EXCAVATE ANY PLANTING AREA THAT IS DISTURBED AND REPLACE WITH TOPSOIL.
- HYDROSEEDING IS ACCEPTABLE. APPLY WITH APPROVED EQUIPMENT DESIGNED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
- PROVIDE FRESH, CLEAN NEW-CROP "PREMIUM" GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
  - 40% KENTUCKY BLUEGRASS
  - 30% PERENNIAL RYE GRASS
  - 30% TURF TYPE TALL FESCUE
- APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRES (4 LBS/1,000 SF).
- SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
- LAWNS SHALL BE SEEDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWNS SHALL BE FERTILIZED WITH 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 LBS/1,000 SF. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
- MULCH SEEDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1,000 SF). GRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH.
- WATER AND MAINTAIN GRASS UNTILL STAND IS ESTABLISHED AND READ FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
- FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
- FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
- ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEEDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- ALL DISTURBED LAWN AREAS SHALL BE SEEDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

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*Shan-Pei Fanchiang*

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DRAWING TITLE  
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SCALE AS SHOWN	PROJECT NO. 22-146
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DRAWING NO.  
**C3.4**