

CAPIZZI LAW OFFICES

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January 29, 2026

Revised Plan Submittal for the Public Hearing of February 10, 2026

Via Hand Delivery

Jane Wondergem – Secretary
Ridgewood Zoning Board of Adjustment
131 N Maple Avenue
Ridgewood, NJ 07450

Re: Rayabarapu/Nomula – Ridgewood ZBA (the “Applicant”)
370 Upper Boulevard; Block 1910, Lot 3 (the “Property”)

Dear Ms. Wondergem:

As you are aware, this office represents the above-referenced Applicant in connection with their application before the Ridgewood Zoning Board of Adjustment (the “Board”) seeking to renovate and expand the existing single-family dwelling by 1) constructing a second-story addition above the existing first floor, 2) constructing a two-story addition on the left (northerly) side of the dwelling, 3) adding a covered porch along Upper Boulevard, and 4) expanding the driveway.

The Applicant was before the Board on December 9, 2025, during which the Board asked the Applicant to consider making certain modifications to the proposed improvements. Therefore, the Applicant’s Professionals revised their respective plans to address comments raised at the Board’s December 9, 2025 hearing. To that end, enclosed please find the following for consideration during the February 10, 2026 hearing:

1. Site Plan prepared by McClellan Engineering consisting of one (1) sheet dated March 12, 2025 and last revised as of January 19, 2026 (5 copies);
2. Retaining Walls Construction Drawings prepared by Onello Engineering consisting of seven (7) sheets dated June 16, 2025 and last revised as of January 26, 2026 (5 copies);
3. Schematic Landscape Plan prepared by Christopher L. Karach consisting of one (1) sheet dated July 17, 2025 and last revised as of January 23, 2026 (5 copies); and
4. Architectural Plan prepared by Jordan Rosenberg Architects & Associates consisting of three (3) sheets dated December 10, 2025 and last revised as of January 26, 2026 (5 copies).

Jane Wondergem - Secretary

January 29, 2026

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This letter shall also confirm this matter is scheduled to be heard before the Ridgewood Zoning Board of Adjustment on February 10, 2026, at 7:30pm.

Thank you.

Very truly yours,

Gloria Duby

Gloria Duby, Paralegal

MGC/gd
Enclosures

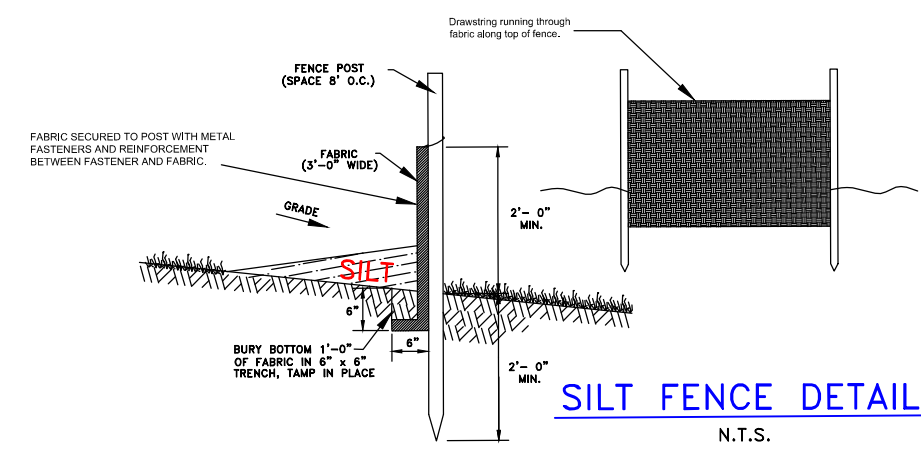
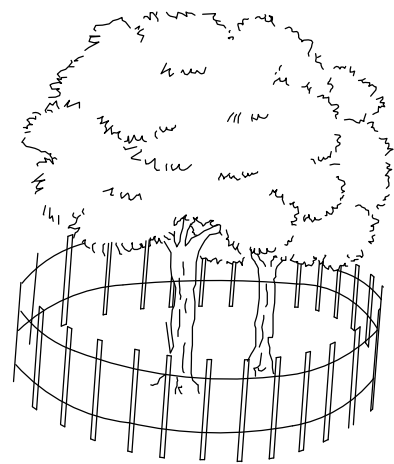
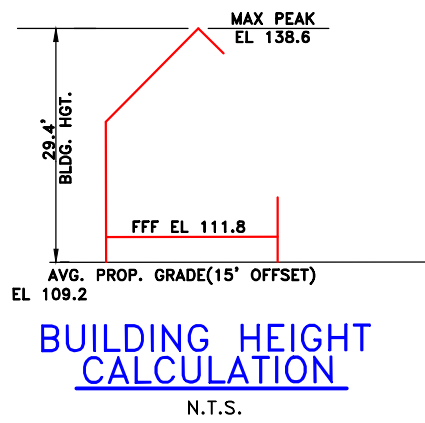
Residence R-2 Zone				
	Required	Existing	Proposed	Variance Required
Lot Area	14,700 sf	9,372 sf	9,372 sf	No*
Lot Area within 140 ft	14,700 sf	9,372 sf	9,372 sf	No*
Lot Width at Front Setback	75 ft	80.42 ft	80.42 ft	No
Lot Depth	120 ft	116.76 ft	116.76 ft	No*
Setbacks				
Front Yard(Upper)	40 ft	38.0 ft	38.0 ft/35.0 ft	Yes*/Yes+
Front Yard(Glen)	40 ft	48.6 ft	48.6 ft	No
Side Yard	10 ft	16.0 ft	16.0 ft	No
Combined Side Yard	33% lot width(26.5 ft)	NA	NA	No
Rear Yard	30 ft	19.8 ft	11.0 ft	Yes*
No. of Stories	2 1/2 Story	1 Story	2 Story	No
Building Height	30 ft	18.1 ft	29.4 ft	No*
Coverage by Above Grade Structures	20%	1368 sf/14.6%	1544 sf/16.5%	No
Gross Building Area**	Lesser of 34%/3360 sf	1134 sf/12.1%	2838 sf/30.3%	No
Coverage by Improvements	Lesser of 45%/5600 sf	2110 sf/22.5%	2598 sf/27.7%	No

* Existing non-conformance.
 ** See Architectural plans.
 + Front yard setback to covered porch
 Additional Variance:
 Retaining Wall Plus Fence Height 11 ft Proposed vs. 4 ft Allowed

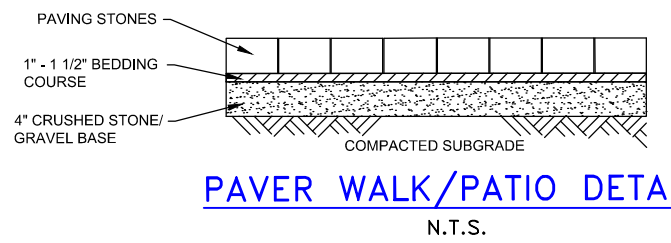
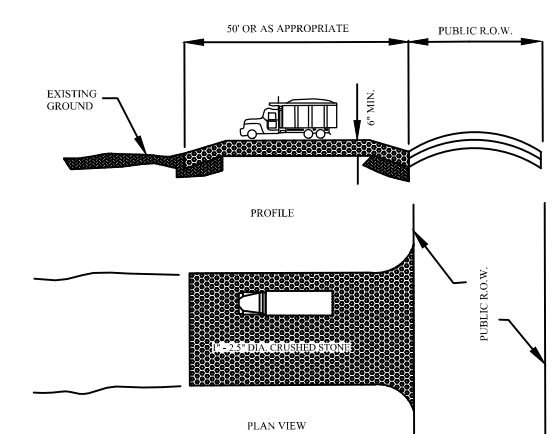
LOT COVERAGE CALCULATIONS

EXISTING	PROPOSED
DWELLING 1166 sf	DWELLING 1478 sf
PORCH 202	COVERED PORCH 66
TOTAL BUILDING 1368 sf = 14.6%	TOTAL BUILDING 1544 sf = 16.5%
WALKS/STEPS 276	WALKS/STEPS 200
MECH. PADS 6	MECH. PADS 16
DRIVEWAY 2,110 sf = 22.5%	REAR STEPS 18
	DRIVEWAY 820
	TOTAL 2,598 sf = 27.7%

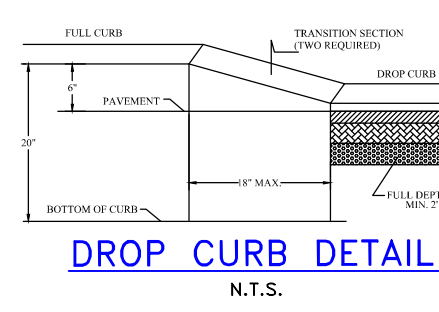
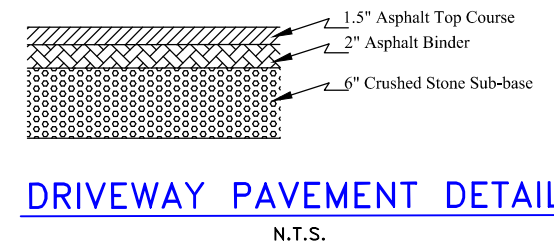
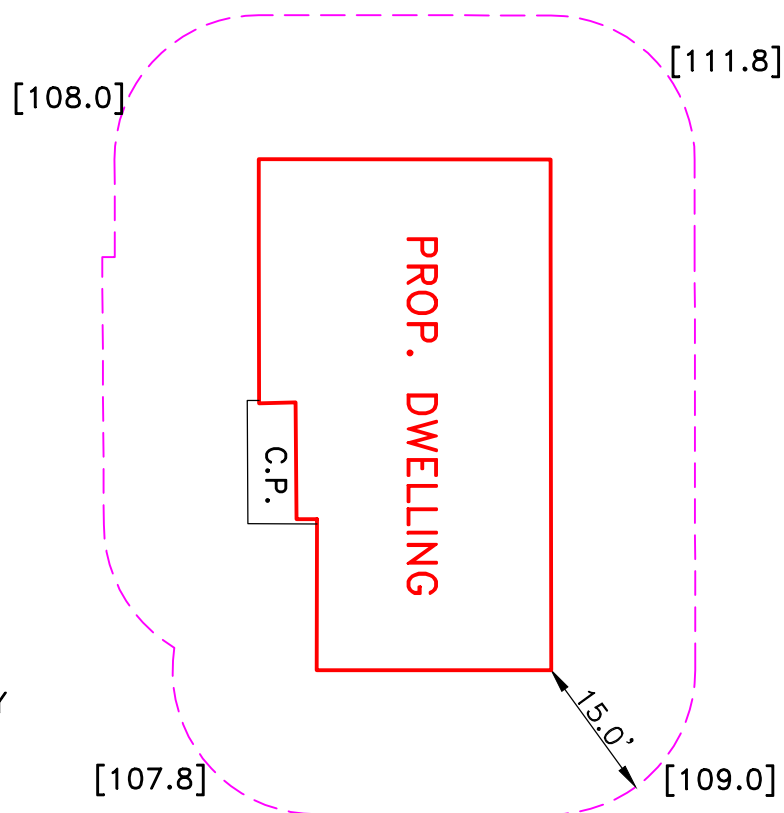
Prop. Ground Elev.
108.0
111.8
109.0
107.8
Avg. Elev. 15' from Fnd. - 109.2



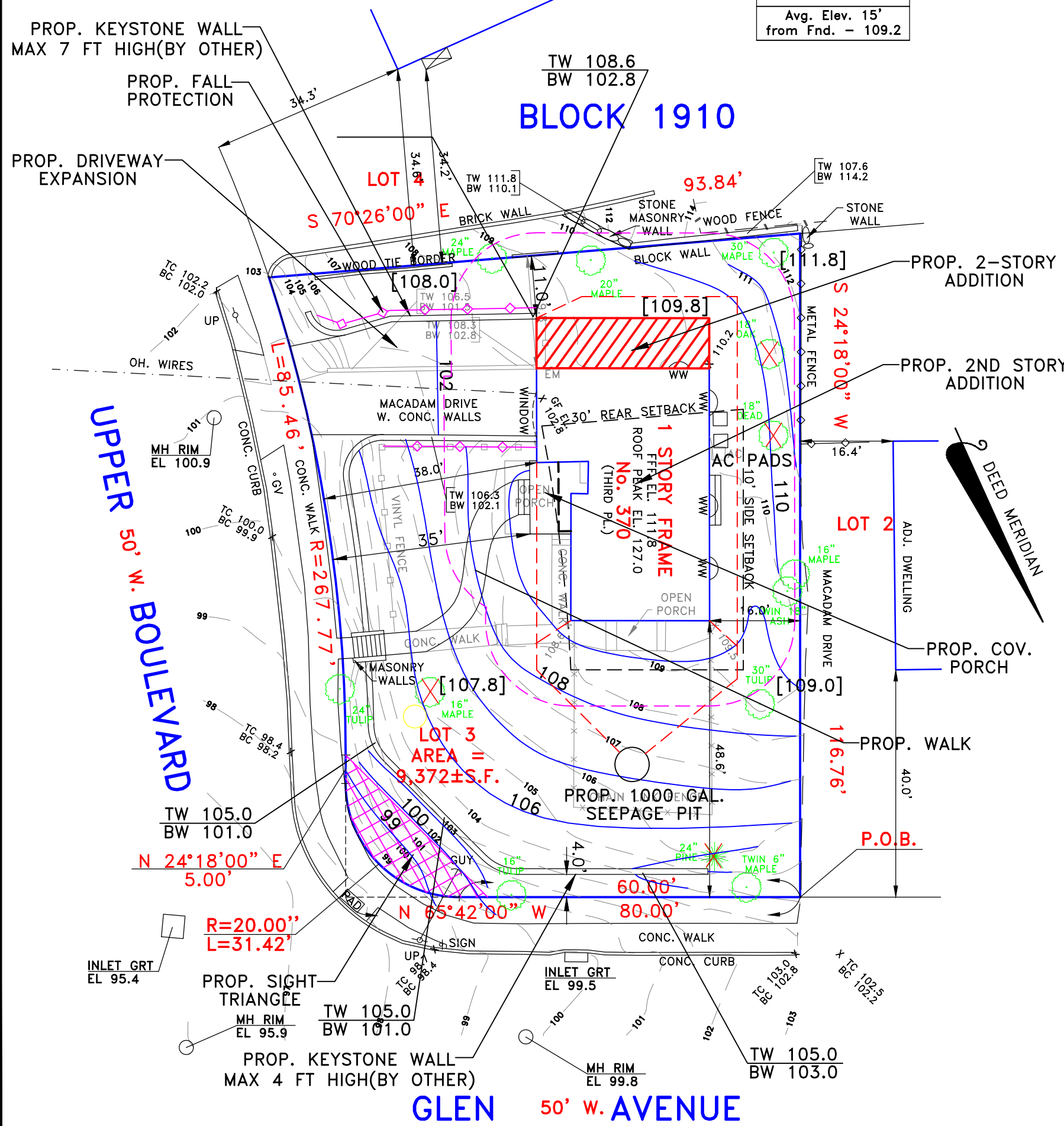
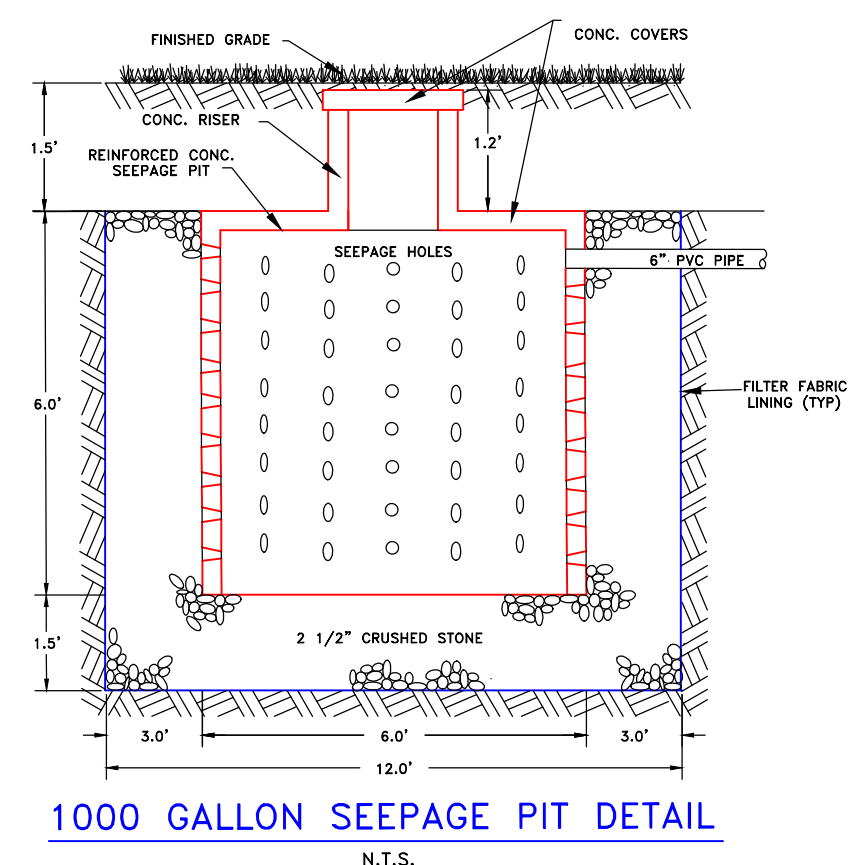
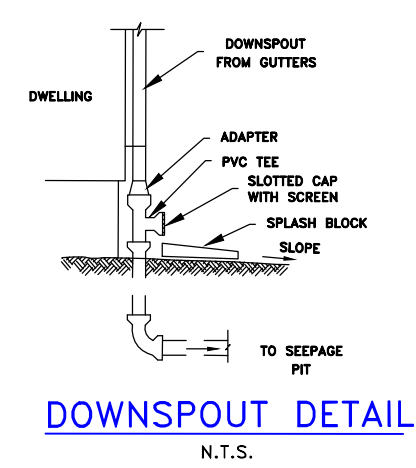
Soil Moving Requirements	
Basement	
Area = 268 sf	Area w/1.5' overdig = 346 sf
Avg. Cut = 7.0 ft	
Cut = (346 sf)(7.0 ft) = 90	
Total Cut = 90	90 yds cut
Backfill = (346-268)(7.0)	20 yds fill
Driveway - 360 sf x 5 ft	
67 yds cut	
Front - 3000 sf x 1.5 ft	
166 yds fill	
Seepage Pits	
48 yds cut	
8 yds fill	
Total Cut	205 yds cut
Total Fill	194 yds fill
Net Soil Exported from Site	11 yds



- NOTES:
1. Applicant: Pavan Rayabarapu
 2. Property address: 370 Upper Boulevard Ridgewood, New Jersey.
 3. Property known as Block 1910, Lot 3 in accordance with the Tax Assessment Map of the Village of Ridgewood.
 4. Property is located in the Residence R-2 zone.
 5. Elevations based on an assumed datum.
 6. Existing spot elevations indicated with an X. Proposed spot elevations in [].
 7. Underground utility locations to be verified and marked-out in the field prior to commencement of construction activities.
 8. Existing utility connections from previous structure are to be inspected. If same are not in acceptable condition, new service connections shall be installed in accordance with Borough specifications.
 9. Roof leaders shall be connected to proposed seepage pits as shown.
 10. The applicant shall be responsible for the replacement of any curbing or pavement damaged or destroyed as a result of construction activities or in disrepair as determined by the Village Engineer. The applicant shall be responsible to immediately remove any soil tracked or washed onto the street.
 11. Survey and Topography performed on September 7, 2024 by Lantelme, Kurens & Associates.



DRAINAGE CALCULATIONS (3 Inch Rainfall Event)	
Roofed Areas	1,544 sf
1,544 sf x 144 in/sf =	222,336 si
Storage Required = 222,336 si x 3 in =	667,008 ei
	= 2,887 gal
Storage Provided 1 x 3,030 gal =	3,030 gal



REVISED I-19-26 RETAINING WALL; ADJACENT DWELLINGS; FENCE

McClellan Engineering

84 Gettysburg Way Lincoln Park, New Jersey (862) 668-1160

SCALE: 1"=20' DATE: MARCH 12, 2025 PREPARED BY: SPM	SITE PLAN FOR PAVAN RAYABARAPU Lot 3 Block 1910 370 Upper Boulevard Village of Ridgewood, Bergen County, N.J.	Sean P. McClellan P.E. 45194
Lot No. 3 Block No. 1910 File No. SP370UPPER	PROPERTY SITUATED IN THE VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY.	

CONTRACTOR NOTES

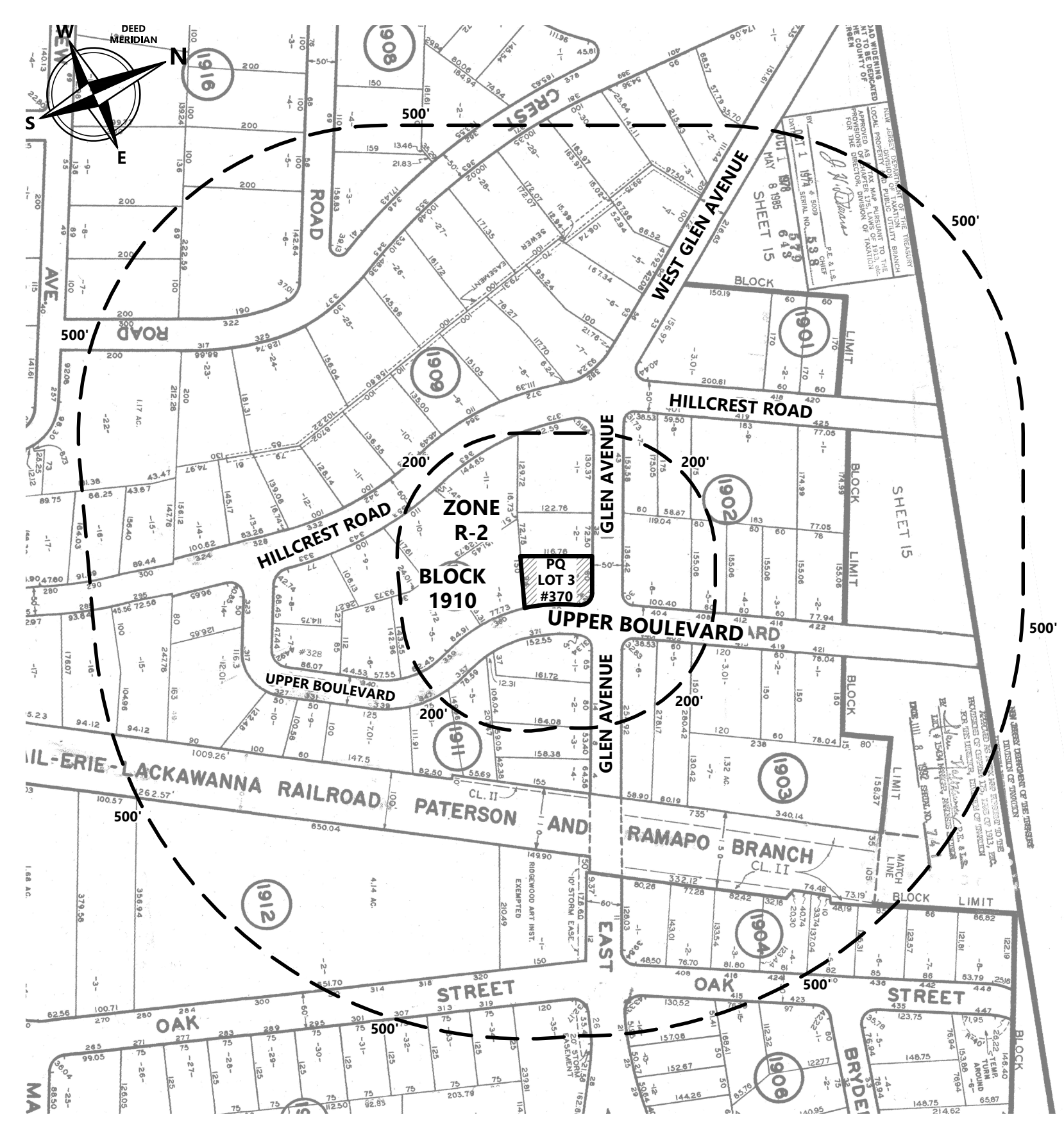
- 1. PRIOR TO ANY SITE WORK BEING PERFORMED AS PER THIS CONSTRUCTION DESIGN PLAN SET: THE OWNER, GENERAL CONTRACTOR, AND/OR SUB-CONTRACTOR(S) ASSOCIATED WITH ANY WORK AS PER THIS CONSTRUCTION DESIGN PLAN SET SHALL PROVIDE ONELLO ENGINEERING FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO SCHEDULE A PRE-CONSTRUCTION MEETING... 2. FIVE (5) BUSINESS DAYS ADVANCE NOTIFICATION TO ONELLO ENGINEERING IS REQUIRED PRIOR TO THE START OF ANY ADDITIONAL WORK PHASES AS SITE CONDITIONS MAY OR MAY NOT HAVE CHANGED DURING CONSTRUCTION ACTIVITY... 3. CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING TO VERIFY SITE ELEVATION BENCH-MARK(S) AND ANY PERMANENT OBJECT(S) USED AS A BASIS FOR MEASUREMENTS TO SET LOCATIONS FOR THE INSTALLATION OF ANY IMPROVEMENTS... 4. CONTRACTOR SHALL IMMEDIATELY NOTIFY ONELLO ENGINEERING SHOULD ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, WHICH MAY AFFECT THE VERTICAL AND/OR HORIZONTAL POSITION OF ANY PROPOSED STRUCTURES AND IMPROVEMENTS... 5. ALL CONSTRUCTION ACTIVITY AND EQUIPMENT STAGING SHALL BE CONFINED WITHIN THE LIMIT OF DISTURBANCE AS SPECIFIED WITHIN THE APPROVED SOIL EROSION CONTROL PLAN... 6. EXCAVATION CONTRACTOR TO CALL FOR UTILITY MARK-OUT PRIOR TO ANY EXCAVATION. OWNER & GENERAL CONTRACTOR SHALL CONFIRM... 7. CONTRACTOR SHALL VERIFY ALL UTILITY(S) LOCATIONS AND CONNECTIONS FOR ALL EXISTING AND PROPOSED SERVICE FACILITIES, RETROFITS, AND/OR NEW CONNECTIONS... 8. AS PER LOCAL PUBLIC SERVICE UTILITY(S) COMPANY(S), THERE IS A POSSIBILITY FOR AN EXISTING BLANKET EASEMENT TO UTILIZE LAND ALONG RIGHT-OF-WAY FRONTAGE AND/OR OTHER PORTIONS OF THE SUBJECT PROPERTY(S), WHICH MAY OR MAY NOT HAVE EFFECTS TO THIS APPLICATION... 9. PENDING UTILITY MARK-OUT AND VERIFICATION(S) OF THE SAME, OWNER & CONTRACTOR SHALL COORDINATE ANY MODIFICATIONS WITH THE UTILITY(S) COMPANY(S)... 10. ANY ENCOUNTERED UNDERGROUND STORAGE TANKS 'UST' (STORING PETROLEUM OR HAZARDOUS SUBSTANCES), SUB-SURFACE SEPTIC SYSTEMS, AND/OR WELLS SHALL BE ABANDONED AS PER STATE OF NEW JERSEY STANDARDS & PROCEDURES... 11. ON-SITE SEEPAGE PITS FOR DRAINAGE DRYWELL OR SANITARY SEPTIC AND/OR OTHER SUB-SURFACE CHAMBERS MAY EXIST, WHICH MAY NOT CONFORM TO TRAFFIC-LOADING REQUIREMENTS... 12. CONTRACTOR SHALL SUBMIT MATERIAL SHOP DRAWINGS AND PRODUCT DATA TO ONELLO ENGINEERING FOR REVIEW IN-COMPARISON WITH DESIGN SPECIFICATIONS... 13. CONTRACTOR SHALL REQUEST ANY CHANGE-ORDERS VIA OWNER TO ONELLO ENGINEERING FOR REVIEW AND CONFIRMATION... 14. ONELLO ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY WORK PERFORMED, WHICH IS NOT IN CONFORMANCE WITH THE DESIGN IMPROVEMENTS AS SPECIFIED WITHIN THIS PLAN SET

PROPOSED IMPROVEMENTS SEQUENCE OF INSTALLATION & VERIFICATIONS

THIS NOTES SECTION SHALL BE APPLICABLE TO ALL PROPOSED CONDITIONS, INCLUDING, BUT NOT LIMITED TO: BUILDING(S), POOLS(S), & ANY HARDSCAPE IMPROVEMENTS TO BE INSTALLED AS PER THESE DESIGN PLANS

- 1. PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: 'CONTRACTOR NOTES'
2. CONTRACTOR SHALL RETAIN NEW JERSEY LICENSED SURVEYOR VIA ONELLO ENGINEERING TO PROVIDE THE FOLLOWING CONSTRUCTION SEQUENTIAL TASK-ITEM CONSTRUCTION SERVICES
3. SITE ELEVATION BENCH-MARK(S) SHALL BE SET, ESTABLISHED, CONFIRMED, AND VERIFIED FOR CONTINUAL USE THROUGHOUT CONSTRUCTION...
4. IF SITE ELEVATION BENCH-MARK IS COMPROMISED, IMMEDIATELY CONTACT ONELLO ENGINEERING AND PROJECT SURVEYOR FOR A NEW SITE ELEVATION BENCH MARK TO BE SET...
5. STAKE-OUT BUILDING AND HARDSCAPE LOCATIONS AND PROVIDE A LAYOUT MAP WITH STAKE BACK-SHOT LOCATIONS AND ELEVATIONS (AT GRADE LEVEL) FOR REVIEW AND USE BY CONTRACTOR AND ENGINEER
6. IF NO FOOTINGS ARE REQUIRED FOR FOUNDATION BUILDING WALL OR HARDSCAPE COMPONENTS TO BE INSTALLED UPON...
7. IF DESIGN PLANS CALL FOR FOUNDATION FOOTINGS, AFTER FOUNDATION FOOTINGS FORMS ARE INSTALLED, PERFORM FOOTING AS-BUILT PRIOR TO CONCRETE INSTALLATION TO VERIFY HORIZONTAL ALIGNMENT AND VERTICAL ELEVATIONS
8. AFTER FOUNDATION FOOTINGS ARE CURED, FOUNDATION WALL AND/OR HARDSCAPE WALL CORNERS & MID-POINTS SHALL BE PINNED, AND SUBSEQUENTLY, THE TOP OF FOOTING ELEVATION SHALL BE VERIFIED...
9. IF MASONRY WALL IS TO BE 'CAST-IN-PLACE' (STEEL REINFORCED CONCRETE), AFTER FORMS HAVE BEEN SET, A WALL FORM AS-BUILT SURVEY SHALL BE PROVIDED...
10. AFTER FORMS HAVE BEEN POURED AND CURED, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED...
11. IF FOUNDATION WALLS ARE CONSTRUCTED WITH INDIVIDUAL CONCRETE MASONRY UNITS (CMU WALL), AFTER COMPLETION, A WALL LOCATION AS-BUILT SURVEY SHALL BE PROVIDED...
12. IF FOUNDATION WALLS ARE PRE-CASTED AND INSTALLED ON-SITE, AFTER COMPLETION, A FOUNDATION LOCATION AS-BUILT SURVEY SHALL BE PROVIDED...
13. INTERIM AS-BUILT LOCATION AND ELEVATION VERIFICATION TASK ITEMS MAY BE OMITTED / WAIVED BY THE OWNER AND THE GENERAL CONTRACTOR PROVIDING NOTICE TO ONELLO ENGINEERING WITH FULL ACKNOWLEDGMENT BY ALL PARTIES...
14. A FOUNDATION LOCATION AS-BUILT SURVEY IS REQUIRED TO BE PROVIDED TO THE MUNICIPAL BUILDING DEPARTMENT PRIOR TO THE RELEASE OF A FRAMING PERMIT...
15. CONTRACTOR RESPONSIBLE FOR PROVIDING SURVEY FIELD-CREW WITH PEDESTRIAN ACCESS TO TOP-OF-FOUNDATION LOCATIONS FOR AS-BUILT SURVEY REQUIREMENTS...
16. PRIOR TO FOUNDATION BACK-FILL, ALL SUB-GRADE FOUNDATION SURFACES SHALL BE WATERPROOFED AS PER STANDARDS WITHIN THESE DESIGN PLANS AND/OR AS PER THE STANDARDS ENTAILED WITHIN THE APPROVED ARCHITECTURAL DRAWINGS
17. REGARDLESS OF ARCHITECTURAL REQUIREMENTS, THE FOUNDATION SHALL BE WATERPROOFED WITH COATED SEALANT AND DRAINAGE DIMPLE-BOARD LEADING TO A VIABLE AND APPROVED DRAINAGE DISCHARGE OR CONVEYANCE LOCATION
18. EXPOSED FOUNDATION WINDOW WELLS & CASINGS SHALL BE WATER-PROOFED; INSET WINDOW-WELL GRADE SURFACE SHALL BE MINIMUM 4" THICKNESS CLEAN-CRUSHED STONE (OVER GEOTEXTILE FABRIC) AND SET 8" BELOW THE WINDOW'S MASONRY SILL WITH AN INTERNAL DRAIN LEADING TO FOUNDATION DRAIN AND/OR SUMP-PUMP...
19. A FULLY OPERATIONAL MECHANICAL 'SUMP-PUMP' SHALL BE INSTALLED WITHIN A CHAMBER WITHIN THE FOUNDATION BASEMENT FLOOR WITH AN EMERGENCY BATTERY BACK-UP AND ALARM...
20. ONELLO ENGINEERING ACCEPTS NO RESPONSIBILITY TO ANY FOUNDATION DAMAGES RESULTING FROM THE OCCURRENCE OF GROUNDWATER...
21. IT IS THE RESPONSIBILITY OF THE OWNER & ARCHITECT TO PROVIDE FOR THE SAFEGUARD OF BUILDING FOUNDATIONS AGAINST GROUNDWATER CONDITIONS...
22. ANY WAIVERS OF REQUIRED WATER-PROOFING COMPONENTS ARE THE RESPONSIBILITY OF THE OWNER & CONTRACTOR
23. ALL ASSOCIATED FEES AS PER THE ABOVE LISTED CRITERIA AND TASK-ITEM SERVICES ARE THE RESPONSIBILITY OF THE OWNER AND/OR GENERAL CONTRACTOR
24. IF NECESSARY, OWNER & CONTRACTOR(S) SHALL CONTACT ONELLO ENGINEERING FOR FURTHER CLARIFICATION, DIRECTION, AND VERIFICATIONS

RETAINING WALLS FOR RAYABARAPU #370 UPPER BOULEVARD LOT 3 - BLOCK 1910 VILLAGE OF RIDGEWOOD BERGEN COUNTY, NEW JERSEY



VILLAGE OF RIDGEWOOD ORDINANCE REFERENCES

- 1910-124 SPECIAL REGULATIONS FOR CERTAIN USES AND STRUCTURES
F - FENCES, FREESTANDING WALLS, AND RETAINING WALLS
(3) MAXIMUM HEIGHT
(a) IN DETERMINING THE HEIGHT OF FENCES, FREESTANDING WALLS AND RETAINING WALLS, THE FOLLOWING SHALL APPLY:
[1] FOR FENCES AND WALLS THAT ARE NOT UNIFORM IN HEIGHT ALONG THE TOP OF THE FENCE, THE HEIGHT SHALL BE MEASURED TO THE HIGHEST POINT OF THE FENCE, EXCEPT AS PROVIDED OTHERWISE HEREIN
[2] NOTWITHSTANDING THE MAXIMUM HEIGHT LIMITATIONS APPLICABLE TO FENCES AND WALLS HEREIN, FENCE POSTS AND GATES MAY EXCEED THE MAXIMUM PERMITTED FENCE HEIGHT BY UP TO ONE FOOT
[3] FOR FENCES AND WALLS LOCATED ON SLOPING GROUND, THE HEIGHT SHALL BE MEASURED FROM THE GROUND DIRECTLY BELOW THE POINT OF MEASUREMENT
[4] THE HEIGHT OF FENCES AND FREESTANDING WALLS SHALL BE MEASURED AS SET FORTH IN S 190-119(D)
[5] IN THE CASE OF FENCES, GUARD RAILS OR OTHER BARRIERS LOCATED AT THE TOP OF RETAINING WALLS, THE COMBINED HEIGHT OF THE BARRIER AND THE RETAINING WALL SHALL NOT EXCEED THE PERMITTED HEIGHT FOR EITHER FENCES OR WALLS, UNLESS THE BARRIER AND WALL ARE SEPARATED AS PROVIDED IN SUBSECTION [S190-124] F(2)(D)

GENERAL PLAN NOTES

- 1. SUBJECT PROPERTY KNOWN AS: LOT 3 IN BLOCK 1910 ON MUNICIPAL TAX MAP #19, #370 UPPER BOULEVARD, VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, STATE OF NEW JERSEY 07450
2. DEED BOOK #80364, PAGE #TBD, DATED AUGUST 28, 2008, RECORDED AUGUST 28, 2008
3. PROPERTY LOCATED IN THE R-2 ZONE, SINGLE-FAMILY DISTRICT. BULK ZONING AS PER VILLAGE OF RIDGEWOOD CODE SECTIONS 1910 LAND USE AND DEVELOPMENT
4. EXISTING CONDITIONS ARE REPRESENTATIVE WITHIN THIS PLAN SET AS PER THE REFERENCED PROPERTY SURVEY
5. THERE ARE NO KNOWN COVENANTS AND/OR DEED RESTRICTIONS AFFECTING THE SITE, WHICH HAVE BEEN DISCLOSED TO ONELLO ENGINEERING. OWNER SHALL VALIDATE IF REQUIRED BY REVIEW AGENCY(S)
6. OWNER AND/OR CONTRACTOR SHALL OBTAIN ALL APPLICABLE AND REQUIRED APPROVALS, CERTIFICATIONS, AND PERMITS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY
7. PRE-CONSTRUCTION MEETING REQUIRED, AS LISTED WITHIN THE PLAN SET SECTION ENTITLED: 'CONTRACTOR NOTES'
8. CONTRACTOR SHALL RETAIN AN OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON-SITE AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION ACTIVITIES
9. ALL REMOVED MATERIALS DURING DEMOLITION AND CONSTRUCTION SHALL BE DISCARDED AND/OR RECYCLED AS PER SUITABLE STANDARDS OF THE VILLAGE OF RIDGEWOOD, COUNTY OF BERGEN, STATE OF NEW JERSEY, AND FEDERAL INTER-STATE
10. NO WORK SHALL BE PERFORMED NOR DISTURB ADJACENT PROPERTIES (WHICH ARE NOT UNDER COMMON OWNERSHIP) WITHOUT AUTHORIZED WRITTEN CONSENT OF ADJACENT PROPERTY OWNER(S); GRADING AND DRAINAGE PATTERNS SHALL NOT ADVERSELY IMPACT ADJACENT PROPERTIES
11. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGES TO EXISTING IMPROVEMENTS, WHICH ARE SPECIFIED TO REMAIN, AT ITS EXPENSE AND TO THE SATISFACTION OF THE OWNER AND/OR VILLAGE OF RIDGEWOOD
12. ALL CONTRACTORS SHALL INDEMNIFY AND HOLD HARMLESS ONELLO ENGINEERING AND ITS SUB-CONSULTANTS (TO THE FULLEST EXTENT PERMITTED BY LAW) AGAINST ANY DAMAGES AND LIABILITIES (INCLUSIVE OF ATTORNEY'S FEES) ARISING FROM CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S) IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE
13. UPPER BOULEVARD IS A VILLAGE OF RIDGEWOOD ROADWAY AND GLEN AVENUE IS A COUNTY OF BERGEN ROADWAY, EACH WITHIN A RIGHT-OF-WAY. ALL CONTRACTORS AND PERSONS ASSOCIATED WITH THE PROJECT SHALL ABIDE BY THE SPEED LIMIT OF ALL ROADWAYS. CONTRACTOR IS RESPONSIBLE FOR ROAD OPENING PERMITS(S). ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

- 14. EXISTING DRIVEWAY AND/OR ALTERNATE CONSTRUCTION ACCESS LOCATION (AS PER PLAN) SHALL BE USED FOR CONSTRUCTION ACCESS. INSTALL CONSTRUCTION ACCESS WHEEL BLANKET AS PER PLAN OR IF AND WHERE DIRECTED BY VILLAGE OF RIDGEWOOD ENGINEER / OFFICIAL AND/OR SOIL CONSERVATION DISTRICT OFFICIAL (AS NECESSARY)
15. ALL LIMIT OF DISTURBANCE FENCING, SILT FENCING AND TREE PROTECTION (AND OTHER APPLICABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES) MUST BE INSTALLED AND INSPECTED PRIOR TO RELEASE OF PERMITS. CONTRACTOR SHALL ABIDE BY ANY VILLAGE OF RIDGEWOOD ORDINANCES STIPULATING AREAS OF NO DISTURBANCE
16. ANY SOILS TRACKED ONTO THE STREET (ROADWAY) MUST BE IMMEDIATELY REMOVED. IF TRACKED SOIL REMAINS OVERNIGHT, THE VILLAGE OF RIDGEWOOD DEPARTMENT OF PUBLIC WORKS SHALL REMOVE IT AND ASSESS THE OWNER FOR THOSE COSTS. THE VILLAGE OF RIDGEWOOD WILL NOT TOLERATE ANY OFFSITE SILT AND SOIL TRACKING. ANY BREACH OF SILT CONTROLS WILL RESULT IN AN IMMEDIATE STOP WORK ORDER BEING ISSUED UNTIL ALL SOIL EROSION CONTROLS ARE REPAIRED AND REPLACED
17. THE APPLICANT SHALL BE RESPONSIBLE FOR THE IN-KIND REPLACEMENT OF ANY CURB, SIDEWALK, ROADWAY SECTIONS, STORMWATER DRAINAGE FACILITIES, SANITARY SEWER FACILITIES, (AND/OR OTHER UTILITIES, FACILITIES, & IMPROVEMENTS, ET CETERA), REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY, TO THE STANDARDS & SATISFACTION OF THE VILLAGE OF RIDGEWOOD
18. EXISTING ON-SITE SINGLE-FAMILY RESIDENCE BUILDING IS CONSIDERED TO BE A LEGALLY EXISTING STRUCTURE WITH A VALID CERTIFICATE OF OCCUPANCY FOR THE ENTIRETY OF THE PREMISES ON-FILE WITH THE VILLAGE OF RIDGEWOOD
19. THE APPLICANT SHALL APPLY SEPARATELY TO THE VILLAGE OF RIDGEWOOD FOR ALL NECESSARY TREE REMOVALS AND SHALL PROVIDE REPLACEMENT TREES & LANDSCAPE MITIGATION AS REQUIRED
20. A COPY OF THE APPROVED AND AUTHORIZED SOIL EROSION & SEDIMENT CONTROL PLAN IN DIRECT RELATION TO THE ASSOCIATED CERTIFICATION THEREOF SHALL REMAIN AT THE SITE ACCESSIBLE TO VILLAGE OF RIDGEWOOD (AND SOIL CONSERVATION DISTRICT OFFICIALS, IF APPLICABLE) AT ALL TIMES THROUGHOUT CONSTRUCTION UNTIL COMPLETION OF THE PROJECT
21. THIS PLAN-SET SHALL ONLY BE CONSIDERED A COMPLETE PLAN SET IF ALL SHEETS ARE INCLUSIVE AS PER THE SHEET INDEX PROVIDED ON DRAWING SHEET #1. ALL PLAN SHEETS SHALL MATCH THE EXACT AND CONSISTENT REVISION DATE THROUGHOUT. ALL PLAN SHEETS SHALL BE SIGNED AND SEALED BY THE ORIGINAL DESIGN ENGINEER FROM ONELLO ENGINEERING
22. OWNER & CONTRACTOR SHALL CONFIRM THE LAST REVISED PLAN-SET DATE WITH ONELLO ENGINEERING PRIOR TO THE IMPLEMENTATION OR INSTALLMENT

APPLICANT REPRESENTATION

APPLICANT & OWNER
LOT 3 - BLOCK 1910
RAYABARAPU, PAVAN & RAJANI NOMULA
370 UPPER BOULEVARD, RIDGEWOOD, NEW JERSEY 07450
RAJPAV2000@GMAIL.COM

PROJECT ENGINEER
MCELLELLAN ENGINEERING
SEAN P MCELLELLAN PE
84 GETTYSBURG WAY, LINCOLN PARK, NEW JERSEY 07035
862-668-1160, R. VENTURA, 23@YAHOO.COM

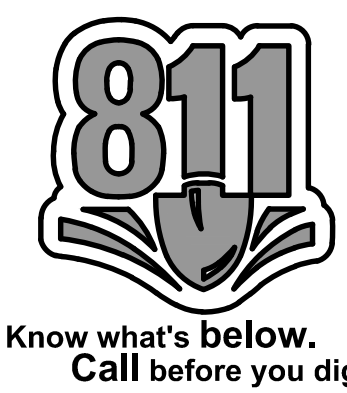
RETAINING WALLS ENGINEER
ONELLO ENGINEERING
ANGELO ONELLO PE
5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642
201-774-1444, ANGELO@ONELLO.ENG.COM

ARCHITECT
JORDAN ROSENBERG ARCHITECTS & ASSOCIATES
JORDAN ROSENBERG RA
27 NORTH BROAD STREET, RIDGEWOOD, NEW JERSEY 07450
201-669-8614, JRRARCHITECT@GMAIL.COM

SURVEYOR
LANTELME, KUBENS & ASSOCIATES P.C.
CHRISTOPHER J LANTELME NJ PLS #39580
101 WEST STREET, SUITE #9, HILLSDALE, NEW JERSEY 07642
201-666-2450, C111@VERIZON.NET

SHEET SET INDEX

Table with 2 columns: DWG # and DESCRIPTION. Rows include: #1 PROJECT INFORMATION & NOTES, #2 EXISTING SITE CONDITIONS, #3 DESIGN LAYOUT & BULK ZONING ANALYSIS, #4 GRADE ELEVATIONS & DRAINAGE, #5 SECTION LINE LOCATIONS 'A' - 'H', #6 SOIL EROSION CONTROL, #7 CONSTRUCTION DETAILS & WALL SECTIONS



NEW JERSEY

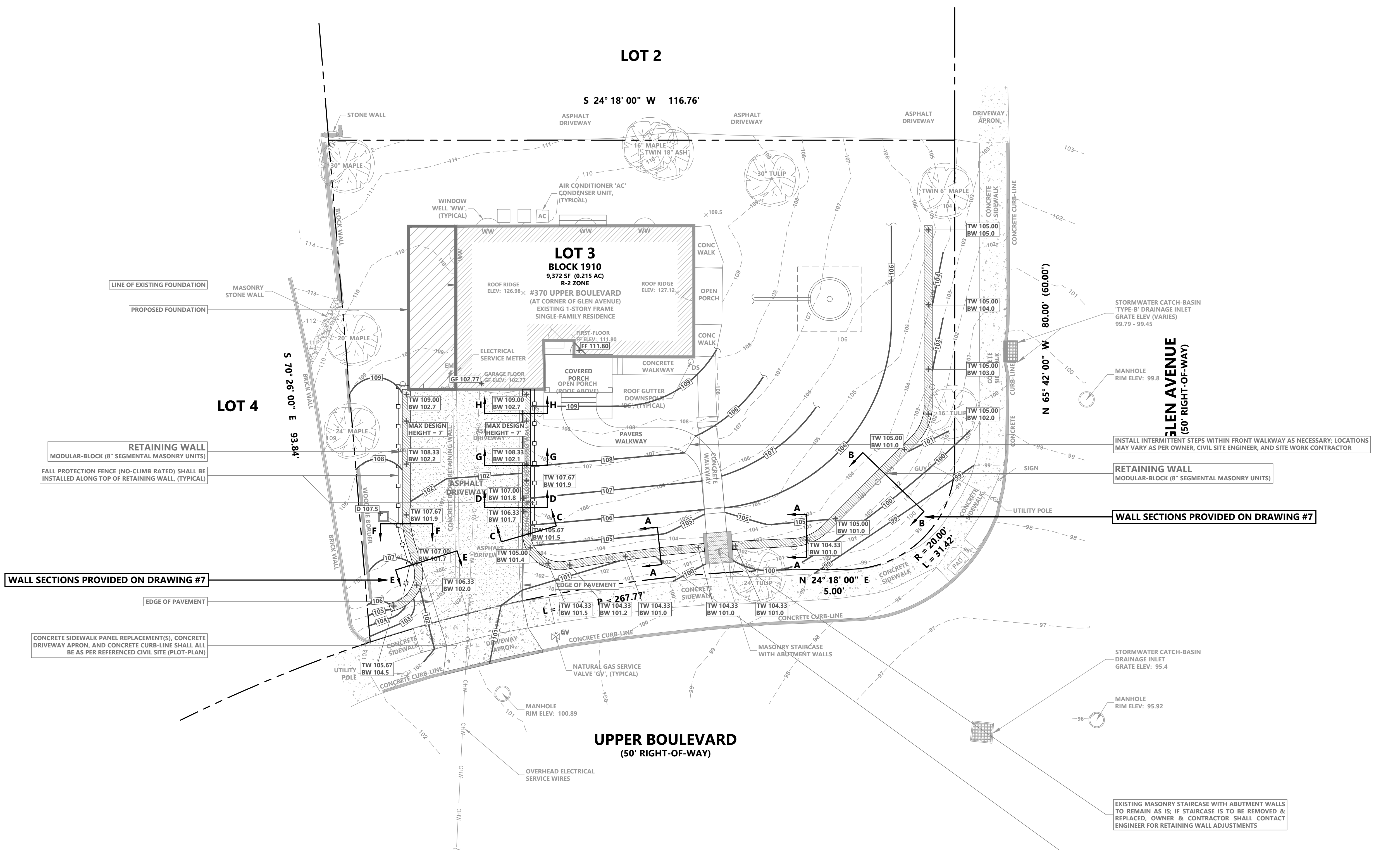
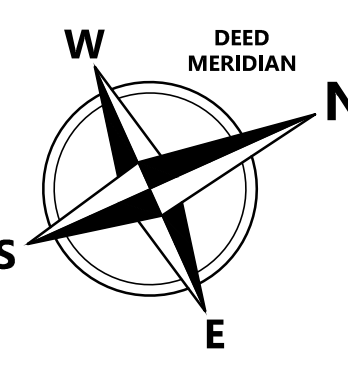


CALL BEFORE YOU DIG
1-800-272-1000
CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE REQUIREMENTS OF THE NEW JERSEY ONE-CALL DAMAGE PREVENTION SYSTEM AS IN THE "UNDERGROUND FACILITY PROTECTION ACT."

ONELLO ENGINEERING
5 BEECHNUT STREET
HILLSDALE, NEW JERSEY 07642
201-774-1444 Angelo@OnelloEng.com
NEW JERSEY CERTIFICATE OF AUTHORIZATION #246GA28215400

RETAINING WALLS CONSTRUCTION DRAWINGS
RAYABARAPU #370 UPPER BOULEVARD LOT 3 - BLOCK 1910 VILLAGE OF RIDGEWOOD BERGEN COUNTY, NEW JERSEY
ANGELO ONELLO III, P.E.
NEW JERSEY PROFESSIONAL ENGINEER LICENSE #246G04928400

Revision table with columns: DATE, DESCRIPTION, DWG #. Rows: 2025 JUNE 16 ORIGINAL PLAN DATE, 2026 JAN 26 ZONING BOARD OF ADJUSTMENT, 1 OF 7



RETAINING WALL
MODULAR-BLOCK (8" SEGMENTAL MASONRY UNITS)
FALL PROTECTION FENCE (NO-CLIMB RATED) SHALL BE
INSTALLED ALONG TOP OF RETAINING WALL, (TYPICAL)

WALL SECTIONS PROVIDED ON DRAWING #7

CONCRETE SIDEWALK PANEL REPLACEMENT(S), CONCRETE
DRIVEWAY APRON, AND CONCRETE CURB-LINE SHALL ALL
BE AS PER REFERENCED CIVIL SITE (PLOT-PLAN)

INSTALL INTERMITTENT STEPS WITHIN FRONT WALKWAY AS NECESSARY; LOCATIONS
MAY VARY AS PER OWNER, CIVIL SITE ENGINEER, AND SITE WORK CONTRACTOR

RETAINING WALL
MODULAR-BLOCK (8" SEGMENTAL MASONRY UNITS)

WALL SECTIONS PROVIDED ON DRAWING #7

STORMWATER CATCH-BASIN
DRAINAGE INLET
GRATE ELEV: 95.4

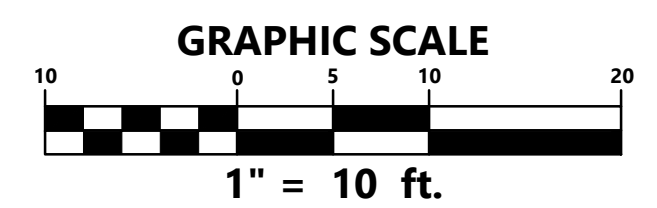
MANHOLE
RIM ELEV: 95.92

EXISTING MASONRY STAIRCASE WITH ABUTMENT WALLS
TO REMAIN AS IS; IF STAIRCASE IS TO BE REMOVED &
REPLACED, OWNER & CONTRACTOR SHALL CONTACT
ENGINEER FOR RETAINING WALL ADJUSTMENTS

RETAINING WALL
MODULAR-BLOCK (8" SEGMENTAL MASONRY UNITS)

RESIDENTIAL (CIVIL SITE) PLOT PLAN REFERENCES

1. THIS ONELLO ENGINEERING PLAN-SET SET HAS BEEN PROVIDED TO SUPPLEMENT A RESIDENTIAL (CIVIL SITE) PLOT PLAN (AS REFERENCED HEREIN BELOW) FOR THE ENGINEERING DESIGN & CONSTRUCTION RELATED TO THE NEW / PROPOSED ON-SITE RETAINING WALLS
2. THE LOCATIONS, EXTENTS, DIMENSIONS & AREAS, OF ANY AND ALL PROPOSED CONDITIONS IMPROVEMENTS (RESIDENCE ADDITIONS, PATIOS, WALKWAYS, DRIVEWAY, RETAINING WALLS, ET CETERA) SHALL BE AS PER THE RESIDENTIAL (CIVIL SITE) PLAN REFERENCED HEREIN BELOW
3. ALL PROPOSED SITE CONDITIONS FOR GRADING ELEVATIONS, STORMWATER DRAINAGE FACILITIES, & UTILITIES SERVICE CONNECTIONS, SHALL BE AS PER THE RESIDENTIAL (CIVIL SITE) PLAN REFERENCED HEREIN BELOW
4. ALL SOIL EROSION & SEDIMENT CONTROL PLAN MEASURES (WITH APPLICABLE BSCD SESC CERTIFICATION) AND TREE REMOVALS, SHALL BE AS PER THE RESIDENTIAL (CIVIL SITE) PLAN REFERENCED HEREIN BELOW
5. RESIDENTIAL (CIVIL SITE) PLOT PLAN FOR THE SINGLE-FAMILY RESIDENCE FOR BULK ZONING & SOIL MOVEMENT REQUIREMENTS, SHALL BE AS PER PLAN TITLED: "SITE PLAN FOR PAVAN RAYABARAPU, LOT 3, BLOCK 1910, 370 UPPER BOULEVARD, VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NJ, PREPARED BY MCLELLAN ENGINEERING, SEAN P MCLELLAN PE, JANUARY 12, 2024" (SIC, 2025, TBD), REVISED JANUARY 19, 2026
6. OWNER / CONTRACTOR SHALL CONFIRM LATEST & GREATEST (CIVIL SITE) PLOT PLAN IS AS PER REFERENCED ABOVE, AND IS APPROVED FOR CONSTRUCTION BY ALL APPLICABLE REVIEW AGENCIES
7. DUE TO THE POSSIBILITY OF CONTINUED PLOT PLAN REVISIONS WITH DESIGN AMENDMENTS BEYOND THE DATE OF THE ABOVE REFERENCED (CIVIL SITE) PLOT PLAN, THE OWNER / CONTRACTOR SHALL CONTACT ONELLO ENGINEERING TO REVIEW ANY UPDATED PLANS IN-RELATION TO THIS RETAINING WALL(S) CONSTRUCTION PLAN



THIS DRAWING HAS BEEN FORMATTED TO PLAN-SHEET SIZE: 24" x 36"

ONELLO ENGINEERING
 5 BEECHNUT STREET
 HILLSDALE, NEW JERSEY 07642
 201-774-1444 Angelo@OnelloEng.com
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA28215400

LEGAL NOTICE
 THIS DRAWING & ALL INFORMATION CONTAINED HEREIN IS AUTHORIZED FOR USE ONLY BY THE PARTY FOR WHOM THE WORK WAS CONTRACTED OR TO WHOM IT IS CERTIFIED. THIS DRAWING MAY NOT BE COPIED, RE-USED, DISCLOSED, DISTRIBUTED, OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONELLO ENGINEERING LLC. THIS DRAWING IS UNAUTHORIZED IF NOT DATED, SIGNED, & WITH A RAISED SEAL BY THE PRINCIPAL ENGINEER AT ONELLO ENGINEERING LLC.

ANGELO ONELLO III, P.E.
 NEW JERSEY PROFESSIONAL ENGINEER
 LICENSE #24GE04928400

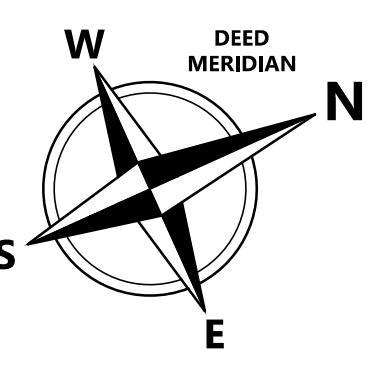
2025	JUNE 16	ORIGINAL PLAN DATE
2026	JAN 26	ZONING BOARD OF ADJUSTMENT

RETAINING WALLS
 SECTION LOCATIONS 'A' - 'H'

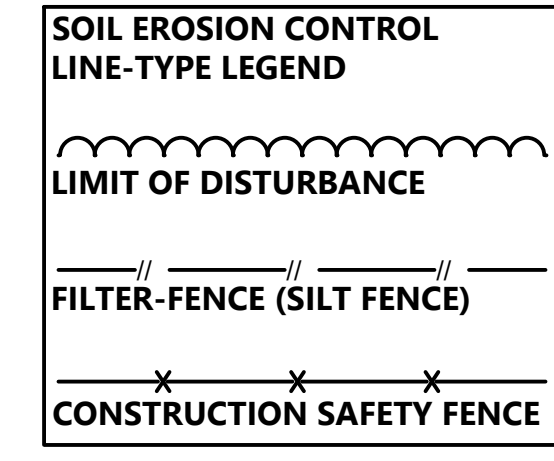
RAYABARAPU
 #370 UPPER BOULEVARD
 LOT 3 - BLOCK 1910
 VILLAGE OF RIDGEWOOD
 BERGEN COUNTY, NEW JERSEY

DWG # **5**
 OF **7**

Site Engineering.dwg



EXCAVATION CONTRACTOR SHALL USE ABSOLUTE CAUTION IN-RELATION TO THE LOCATION OF EXISTING UTILITIES (ABOVE GRADE, OVER-HEAD SUSPENDED, & UNDER-GROUND) WHEN PERFORMING WORK. UTILITY MARK-OUT SHALL BE ORDERED BY CONTRACTOR VIA (DIG-LINE) '811' & NEW JERSEY 'ONE CALL', AND SHALL VERIFIED PRIOR THE COMMENCEMENT OF ANY EXCAVATION WORK



DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

LOT 2

S 24° 18' 00" W 116.76'

ALL OPEN EXCAVATION PITS FOR BUILDING FOUNDATION(S), RETAINING WALLS, AND/OR UTILITY & DRAINAGE FACILITIES TRENCHES SHALL BE COMPLETELY SURROUNDED AND SECURED WITH TEMPORARY CONSTRUCTION SAFETY FENCING, (TYPICAL)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

BUILDING & ITS APPURTENANCES SHALL REMAIN PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY

PROPOSED STORMWATER DRYWELL
PROPOSED 1,000 GALLONS STORMWATER DRYWELL AS PER REFERENCED CIVIL SITE PLOT-PLAN

TREE PROTECTION AS NECESSARY, (TYPICAL)

TREE TO BE REMOVED, (TYPICAL)

NO CONSTRUCTION ACTIVITY, TRAFFIC, NOR MATERIALS STORAGE SHALL BE PLACED ATOP STORMWATER DRYWELL(S), TYPICAL

INSTALL SESC INLET FILTER OVER ALL CATCH-BASIN INLETS, (TYPICAL)

ALL SOIL STOCK-PILES SHALL BE SURROUNDED WITH FILTER FENCE, (TYPICAL)

INSTALL INTERMITTENT STEPS WITHIN FRONT WALKWAY AS NECESSARY; LOCATIONS MAY VARY AS PER OWNER, CIVIL SITE ENGINEER, AND SITE WORK CONTRACTOR

RETAINING WALL
MODULAR-BLOCK (8" SEGMENTAL MASONRY UNITS)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT RIGHT-OF-WAY, (TYPICAL)

RETAINING WALL DRAIN 'WD' TO DAYLIGHT, GRATE-CAP (FOR INSTANT PROTECTION) REQUIRED AT OUTLET PORT(S), TYPICAL

INSTANT CONSTRUCTION FENCE FOR FALL PROTECTION ATOP ALL RETAINING WALLS DURING CONSTRUCTION ACTIVITY, SHALL NOT BE REMOVED UNTIL TOP OF WALL IS COMPLETELY STABILIZED WITH NON-TRAVERSABLE HEAVY LANDSCAPE PLANTING VEGETATION AND/OR THE INSTALLATION OF PERMANENT FALL PROTECTION FENCE (NO-CLIMB RATED), (TYPICAL)

STORMWATER CATCH-BASIN
DRAINAGE INLET
GRATE ELEV: 95.4

FILTER FENCE SHALL BE INSTALLED ALONG ALL DOWNHILL SIDES OF LIMIT OF DISTURBANCE, (TYPICAL)

EXISTING MASONRY STAIRCASE WITH ABUTMENT WALLS TO REMAIN AS IS; IF STAIRCASE IS TO BE REMOVED & REPLACED, OWNER & CONTRACTOR SHALL CONTACT ENGINEER FOR RETAINING WALL ADJUSTMENTS

RESIDENTIAL (CIVIL SITE) PLOT PLAN REFERENCES

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DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT ADJACENT PROPERTIES, (TYPICAL)

LOT 4

S 70° 26' 00" E 93.84'

RETAINING WALL
MODULAR-BLOCK (8" SEGMENTAL MASONRY UNITS)
FALL PROTECTION FENCE (NO-CLIMB RATED) SHALL BE INSTALLED ALONG TOP OF RETAINING WALL, (TYPICAL)

STORMWATER CATCH-BASIN (CENTERED WITHIN SWALE)
18" DRAINAGE INLET
GRATE ELEV: 107.5 6" INV: 106.0

6" SDR-35 PVC @ 1.0% MIN
MATCH IN-KIND PRE-EXISTING OVERLAND DRAINAGE PATTERN
EDGE OF PAVEMENT

CONCRETE SIDEWALK PANEL REPLACEMENT(S), CONCRETE DRIVEWAY APRON, AND CONCRETE CURB-LINE SHALL ALL BE AS PER REFERENCED CIVIL SITE (PLOT-PLAN)

INSTALL SESC INLET FILTER OVER ALL CATCH-BASIN INLETS, (TYPICAL)

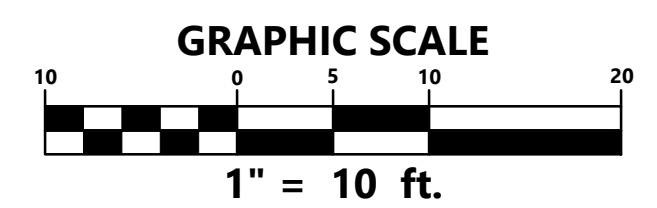
STABILIZED CONSTRUCTION ACCESS WHEEL BLANKET

ALL SERVICE UTILITIES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION ACTIVITY, (TYPICAL)

UPPER BOULEVARD
(50' RIGHT-OF-WAY)

DEMOLITION & CONSTRUCTION ACTIVITY SHALL NOT ADVERSELY AFFECT RIGHT-OF-WAY, (TYPICAL)

CONTRACTOR SHALL PROVIDE CURB & SIDEWALK PROTECTION, THE APPLICANT SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY CURB OR SIDEWALK SECTIONS REMOVED OR DAMAGED IN CONNECTION WITH CONSTRUCTION ACTIVITY TO THE STANDARDS OF THE MUNICIPALITY



THIS DRAWING HAS BEEN FORMATTED TO PLAN-SHEET SIZE: 24" x 36"

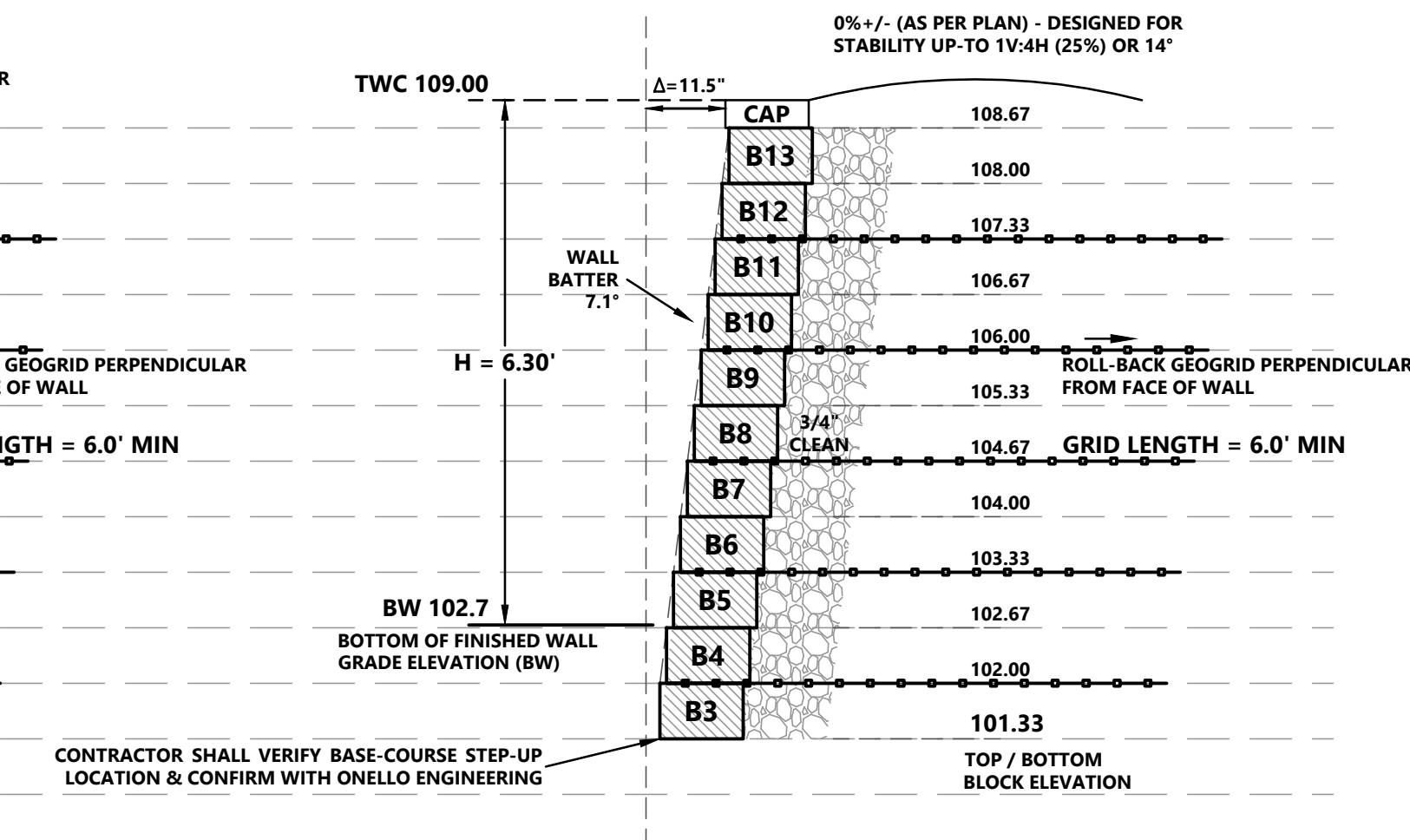
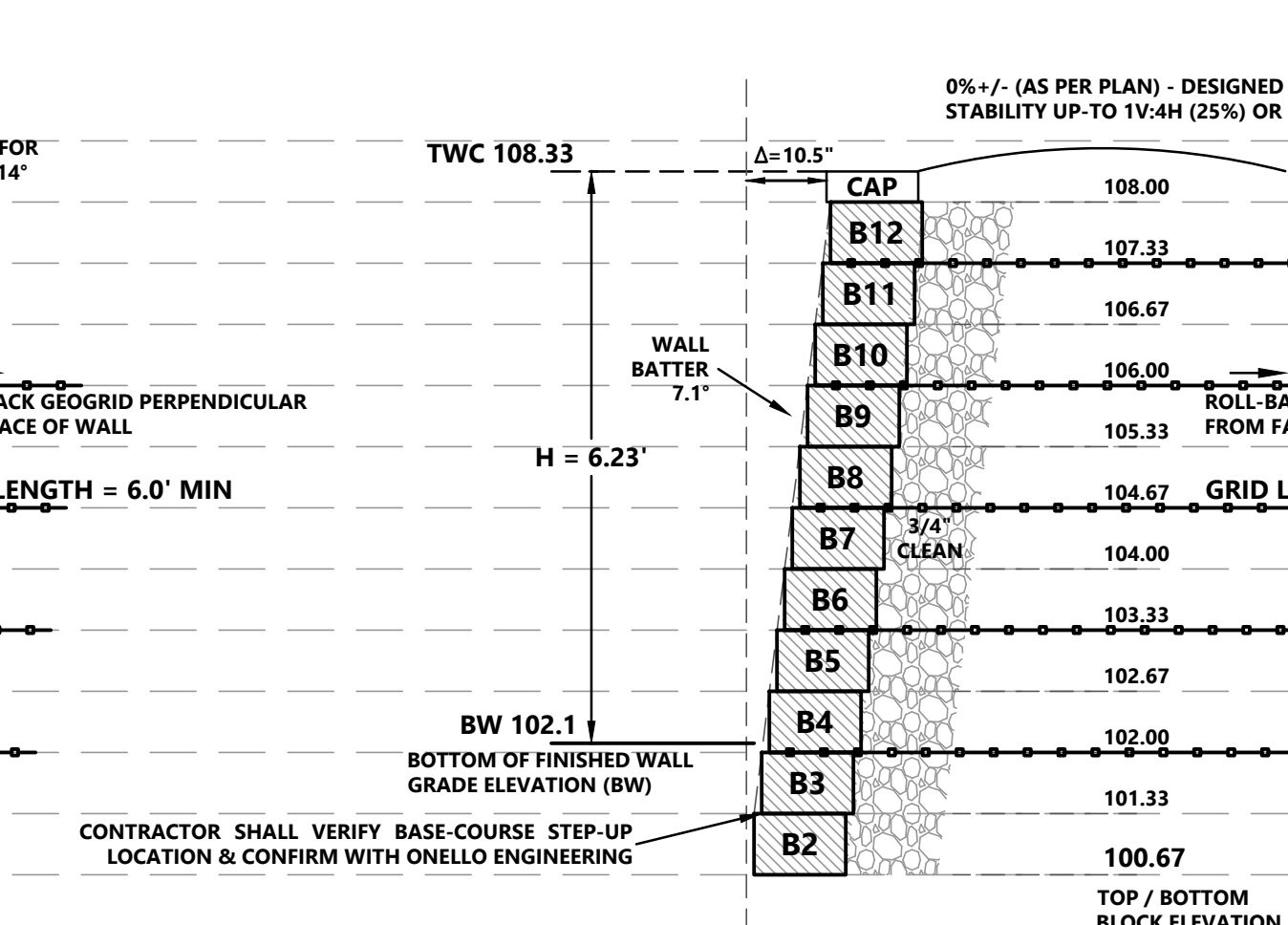
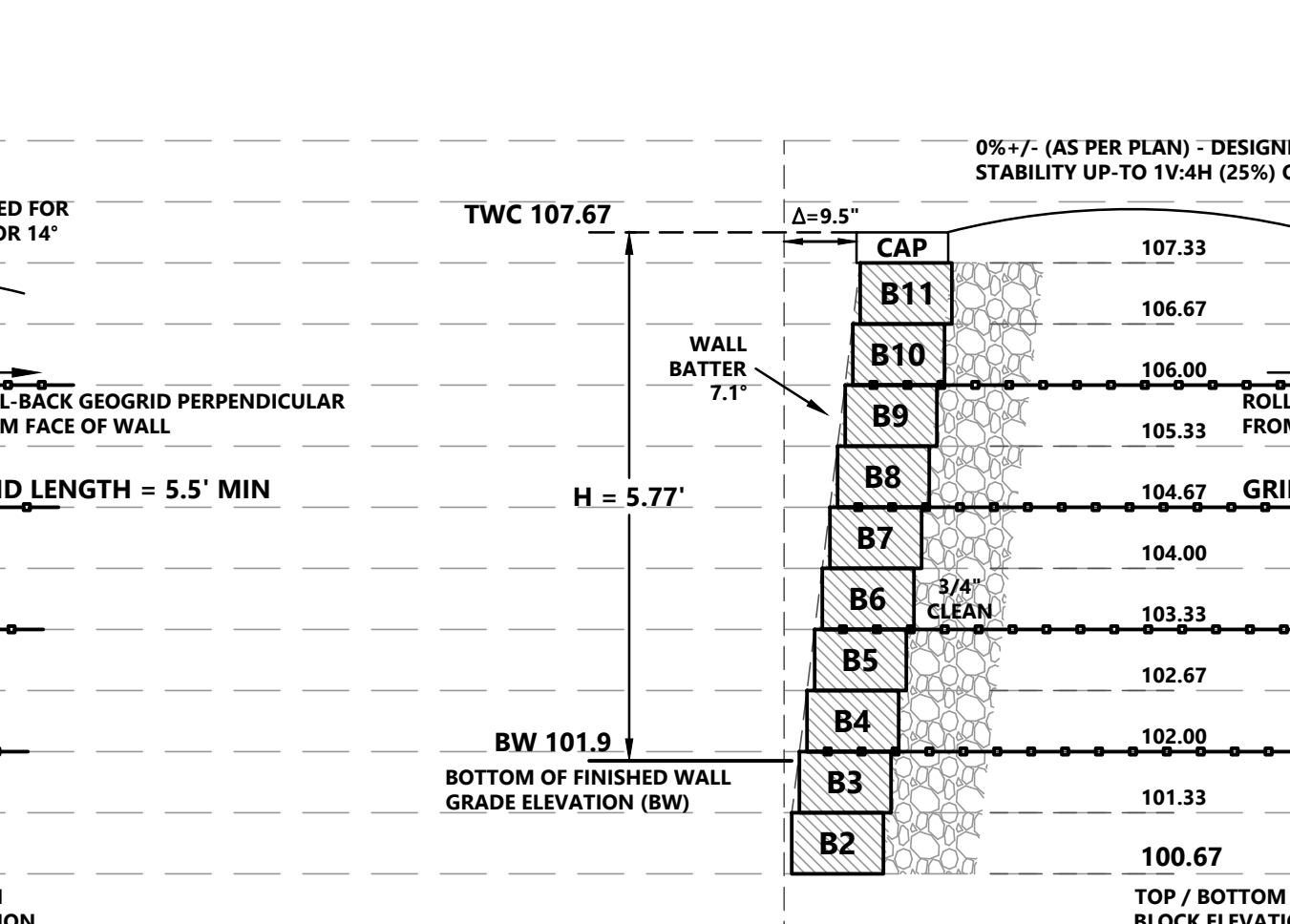
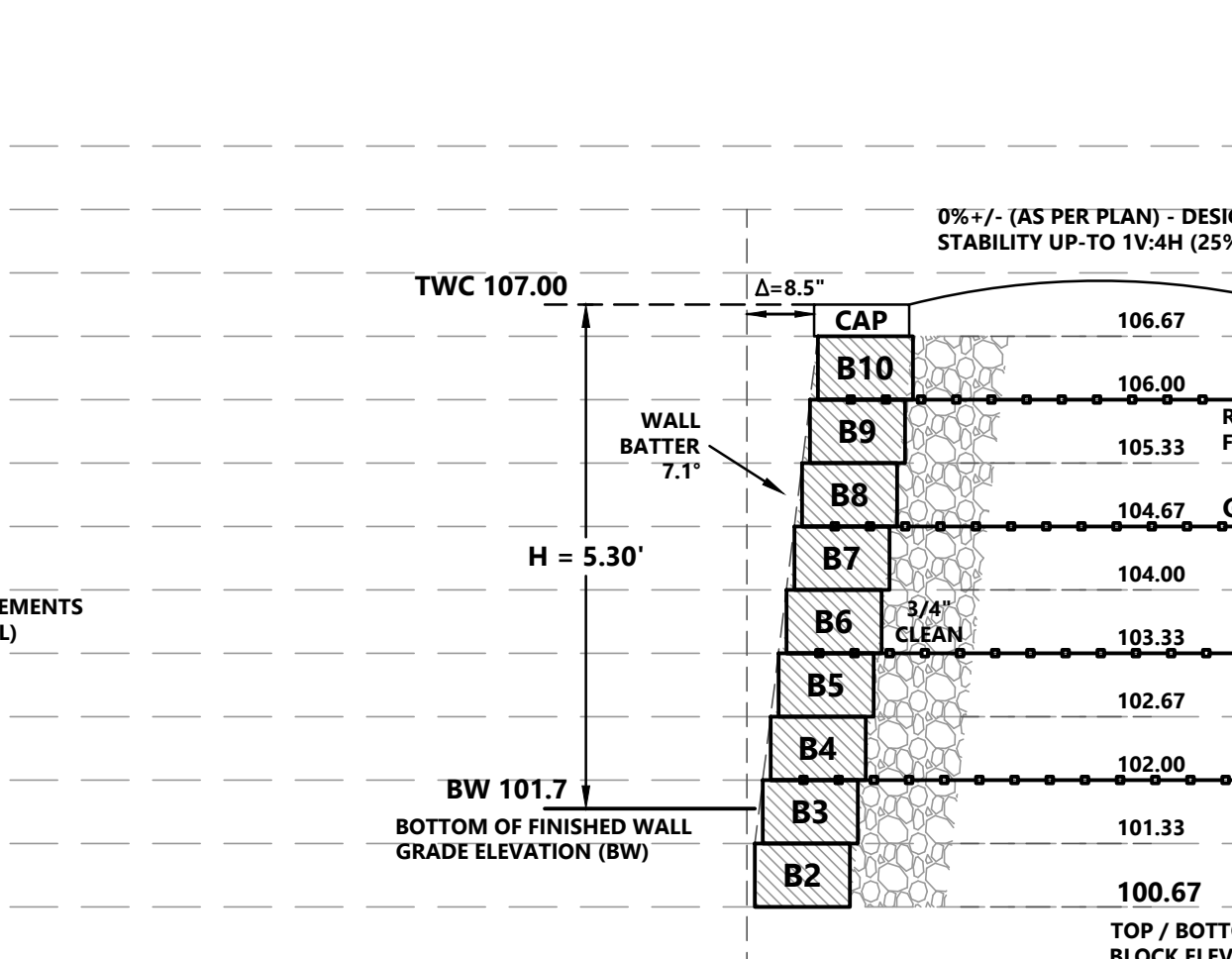
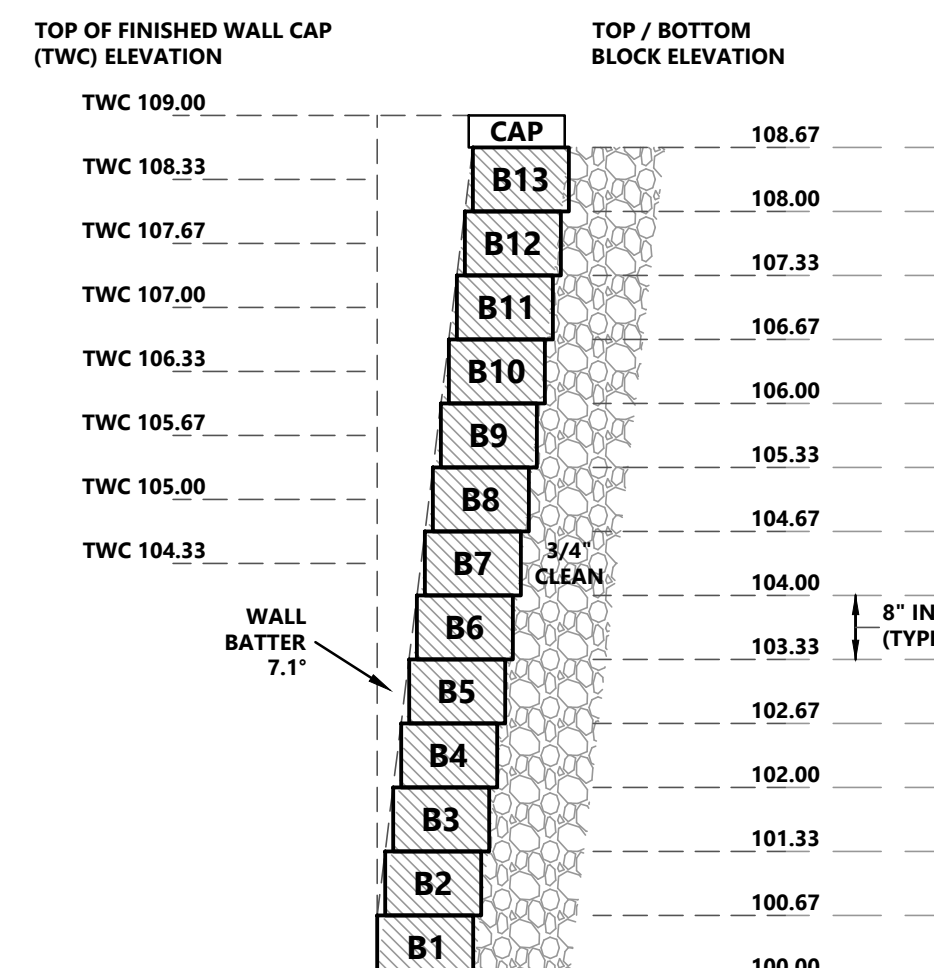
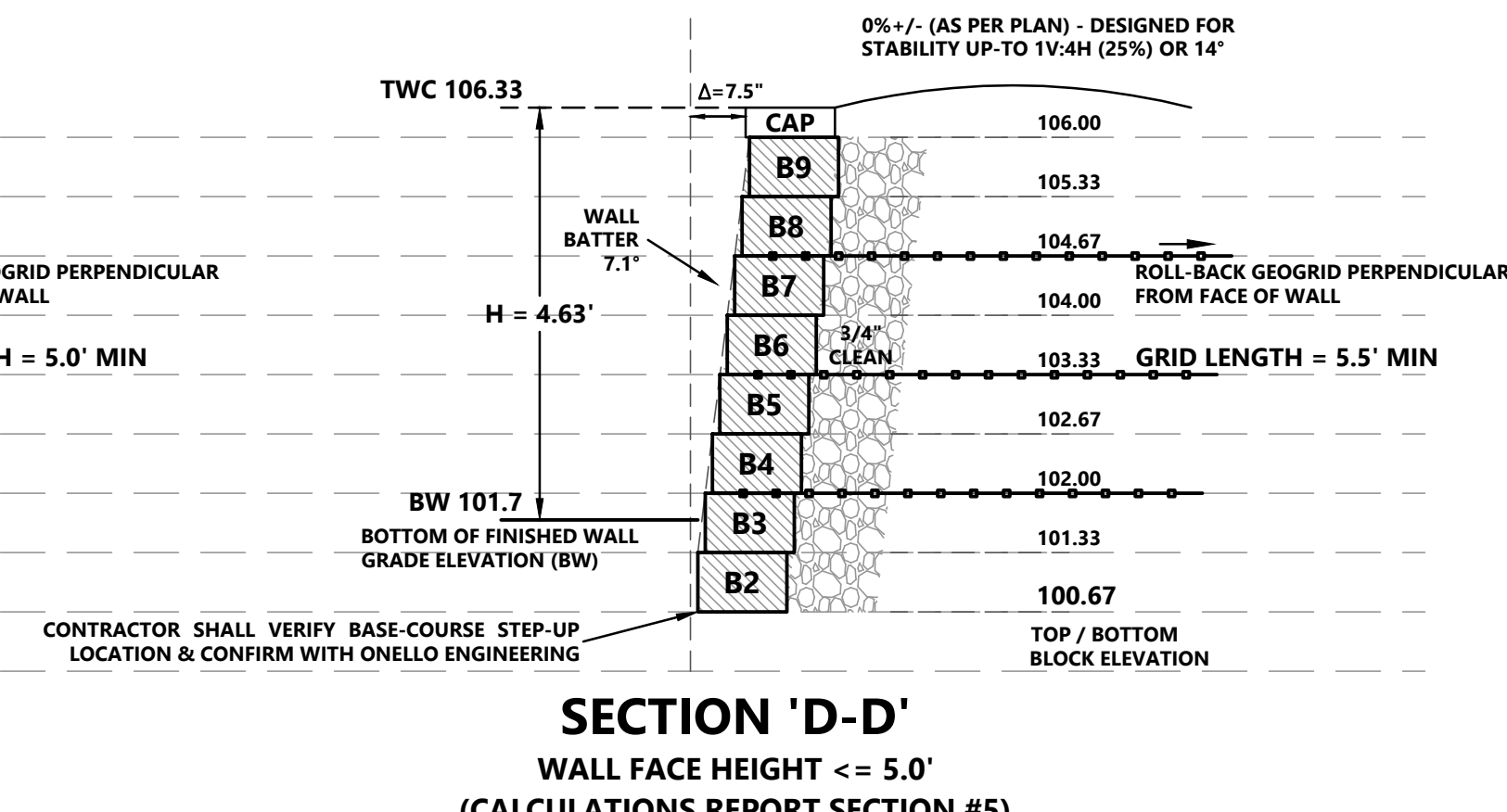
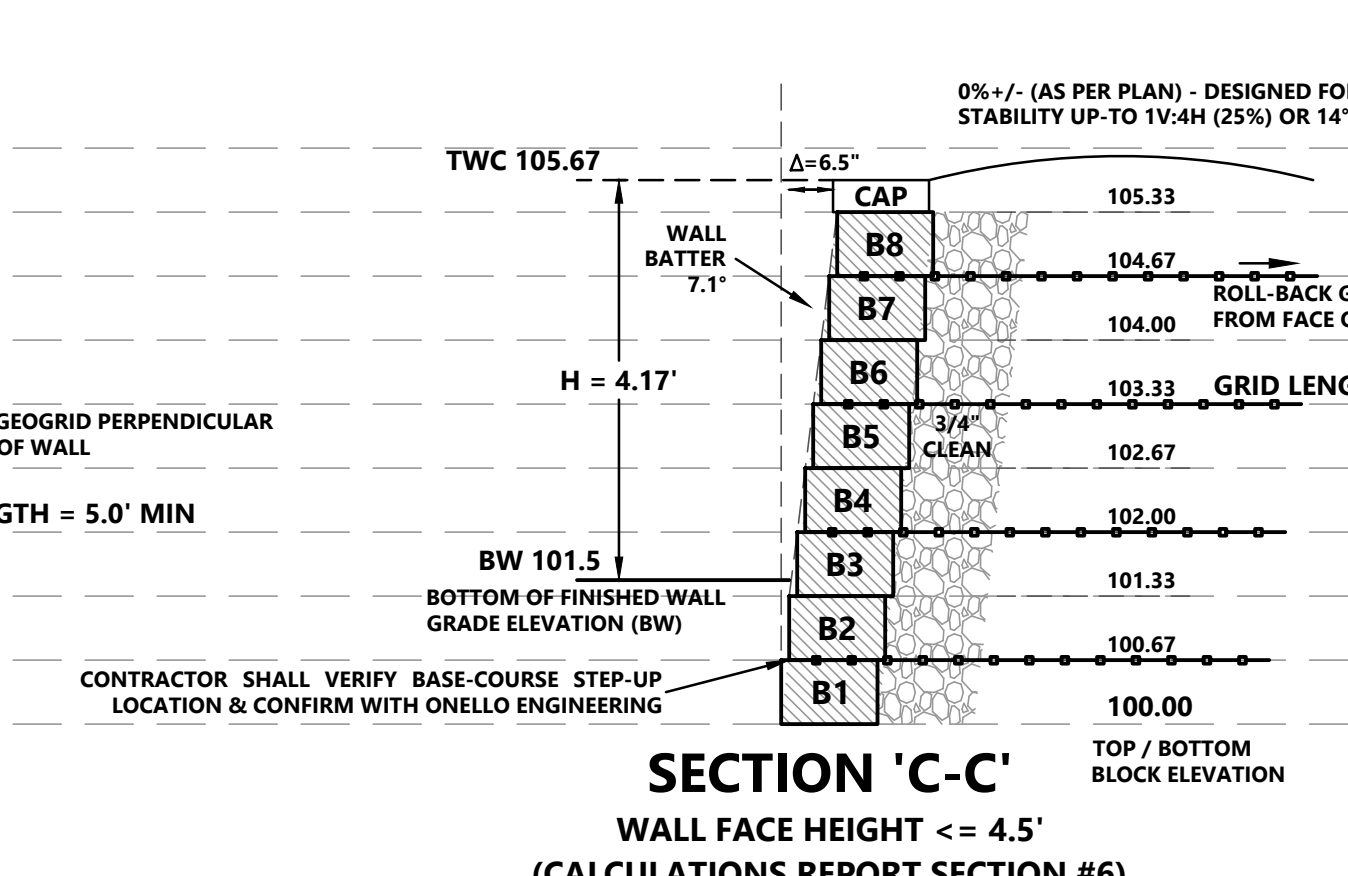
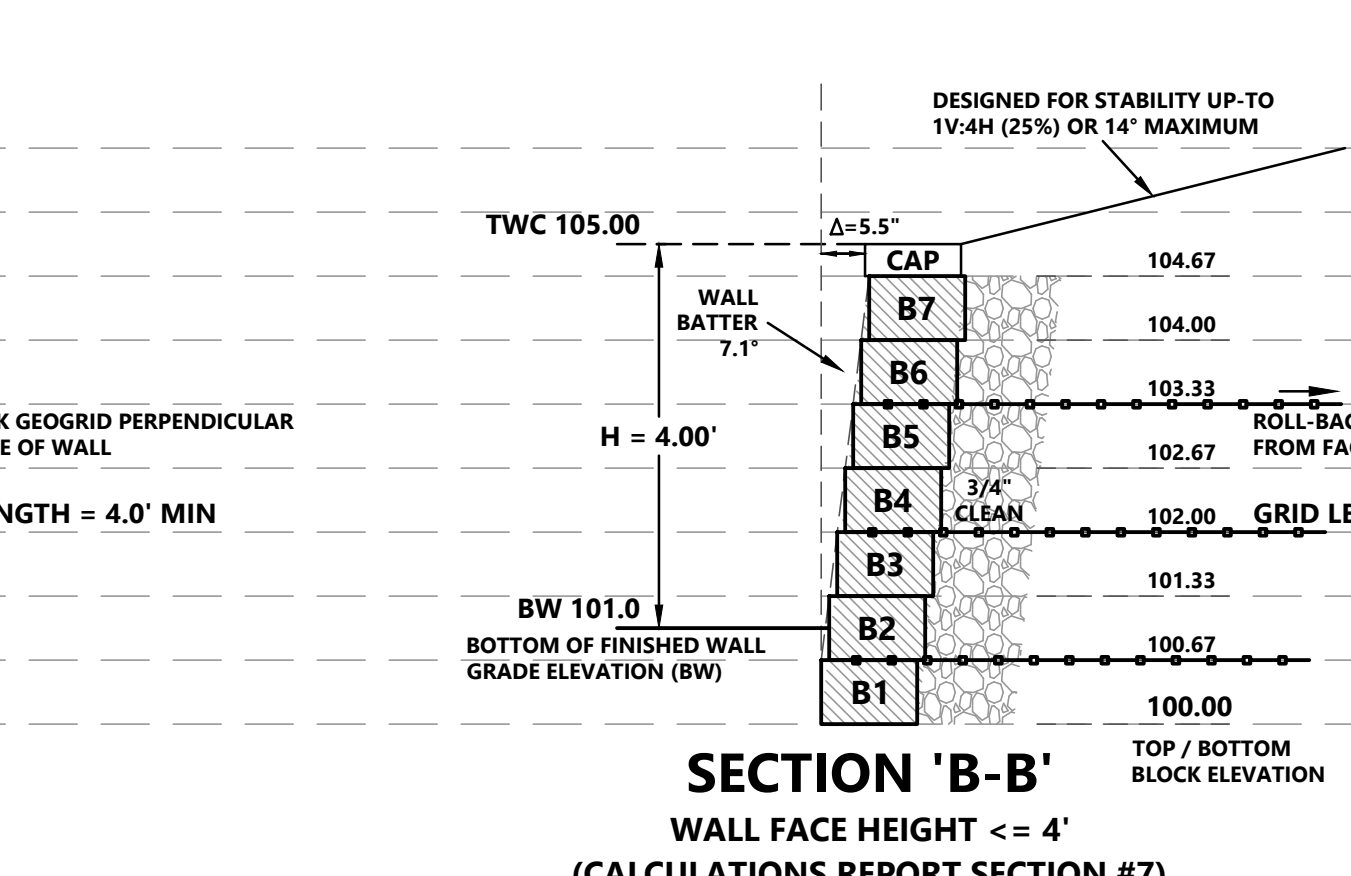
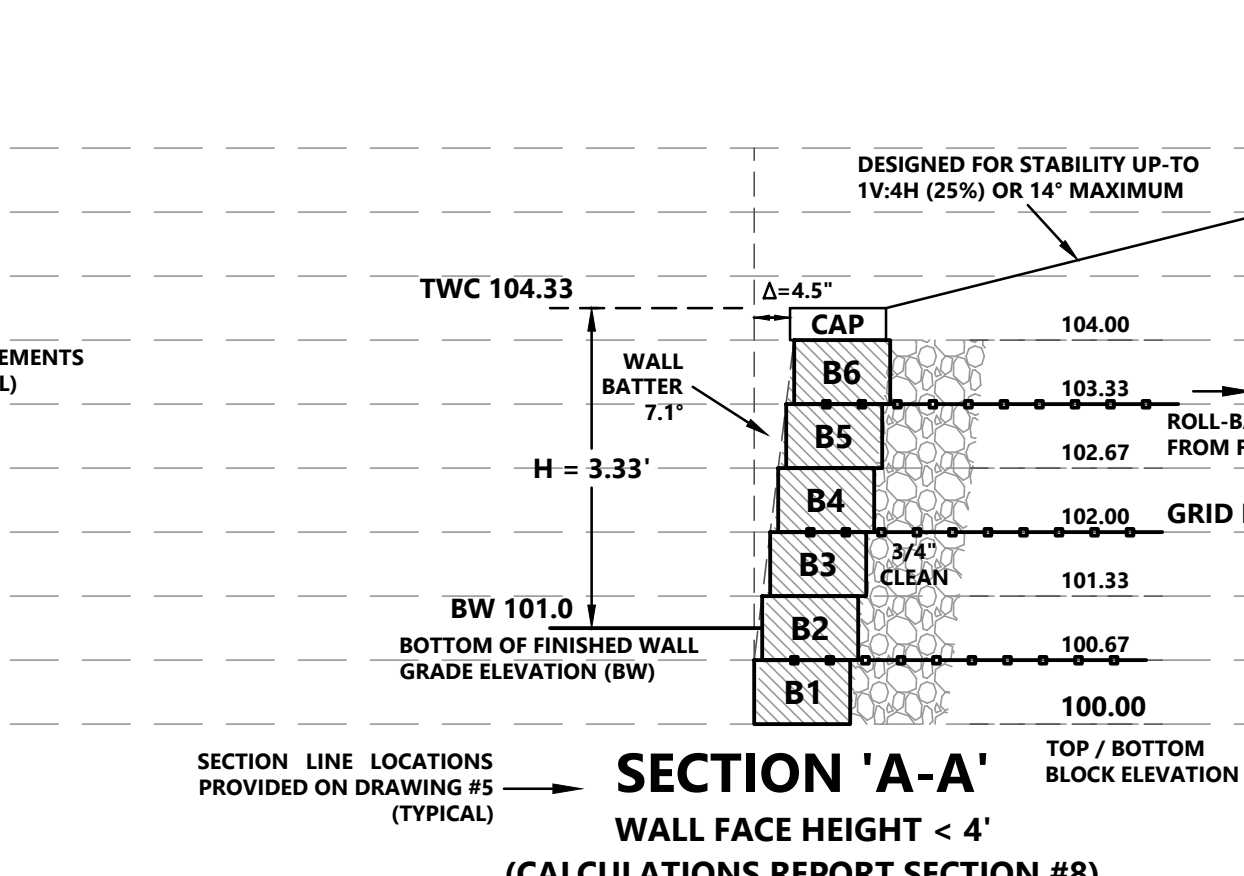
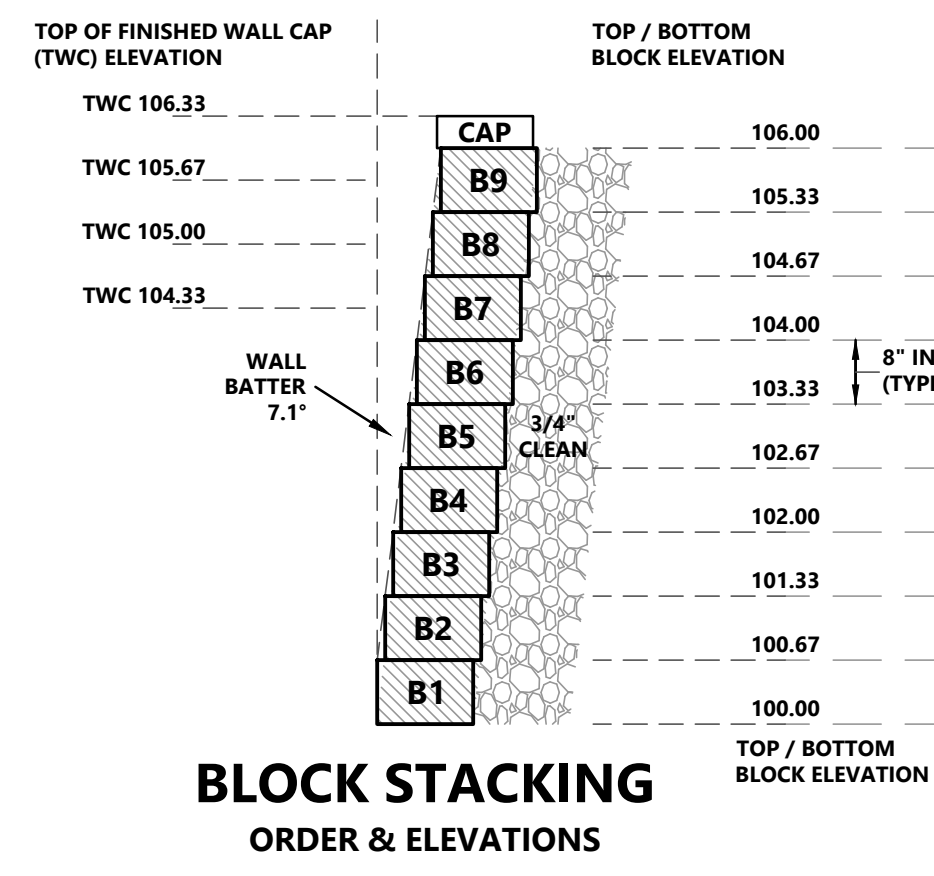
ONELLO ENGINEERING logo and contact information: 5 BEECHNUT STREET, HILLSDALE, NEW JERSEY 07642, 201-774-1444, Angelo@OnelloEng.com. Includes a table for plan date and zoning board adjustment, and a signature block for Angelo Onello III, PE.

DATE	DESCRIPTION
2025 JUNE 16	ORIGINAL PLAN DATE
2026 JAN 26	ZONING BOARD OF ADJUSTMENT

RETAINING WALLS
SOIL EROSION CONTROL

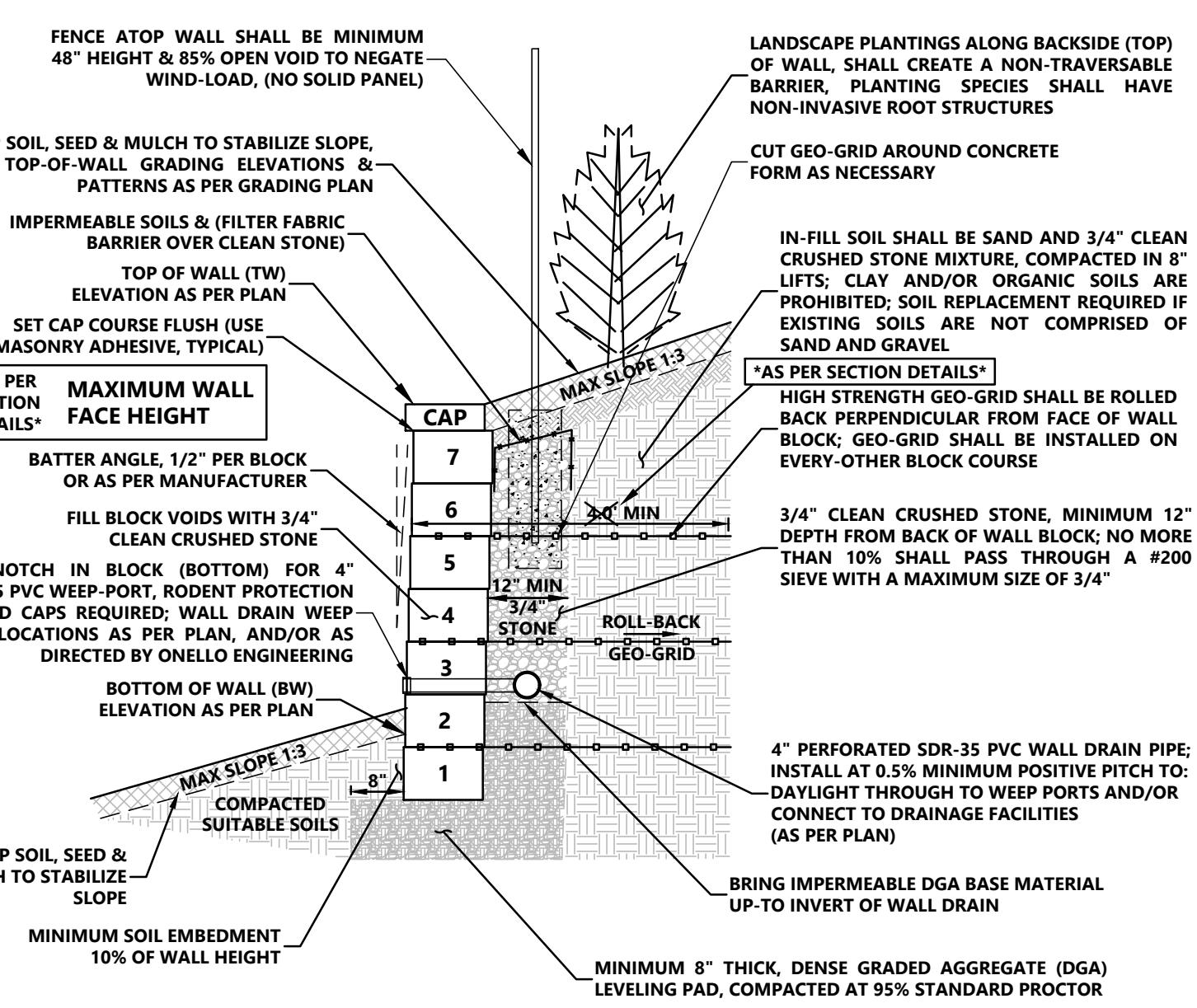
RAYABARAPU
#370 UPPER BOULEVARD
LOT 3 - BLOCK 1910
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

DWG # 6 OF 7



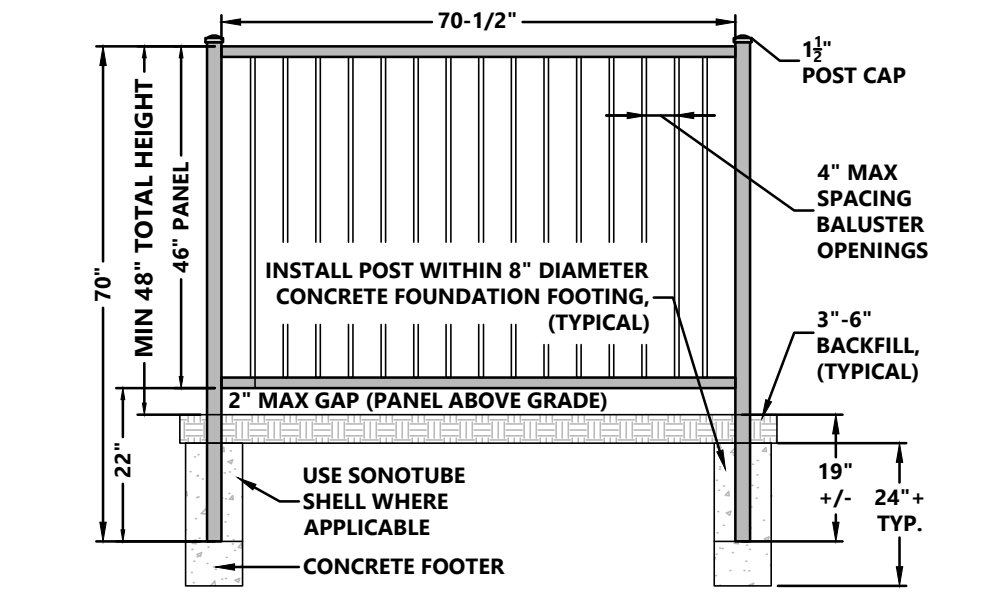
WALL CONSTRUCTION NOTES

- CONTRACTOR SHALL CONTACT ONELLO ENGINEERING PRIOR TO ANY CONSTRUCTION ACTIVITY IN RELATION TO RETAINING WALLS
- MODULAR BLOCK AND GEO-GRID MANUFACTURERS & PRODUCT MODELS SHALL BE APPROVED BY ONELLO ENGINEERING
- RETAINING WALL(S) SHALL BE INSPECTED DURING CONSTRUCTION BY ONELLO ENGINEERING OR SUB-AFFILIATE ENGINEER (SHALL BE AUTHORIZED BY ONELLO ENGINEERING)
- CONTRACTOR TO COORDINATE CONSTRUCTION & INSPECTION SCHEDULING WITH OWNER & ONELLO ENGINEERING
- ONELLO ENGINEERING SHALL BE GIVEN FIVE (5) BUSINESS DAYS MINIMUM NOTICE FOR SCHEDULING CONFIRMATION PURPOSES PRIOR TO RETAINING WALL INSTALLATIONS FOR INSPECTIONS
- COMPACT WALL BACKFILL (CRUSHED STONE AND SOILS) IN 8" LIFTS USING A MECHANICAL PLATE COMPACTOR WITH A MINIMUM OF TWO PASSES TO OBTAIN 95% STANDARD PROCTOR
- SET CYLINDRICAL CONCRETE FORM FOR FENCE POST FOUNDATION PRIOR TO GEOGRID PLACEMENT; MINIMUM 8" DIAMETER FOR 2" POST, 10" D FOR 3" P, 12" D FOR 4" P, & 18" D FOR 6" P

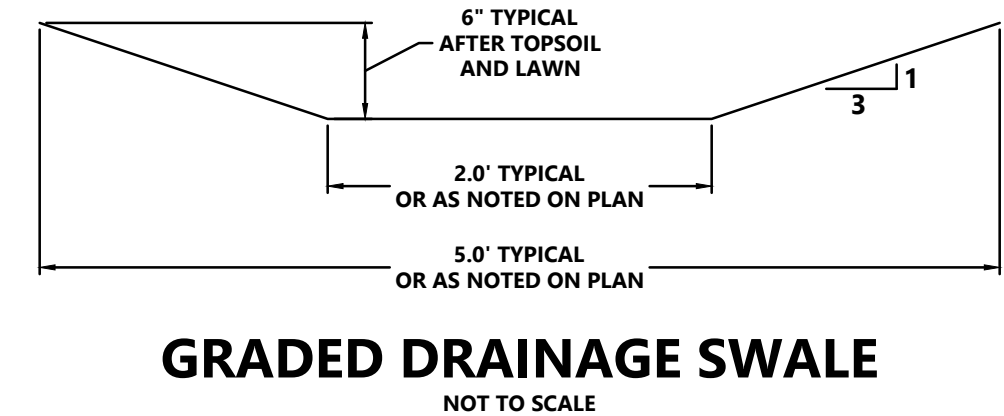


MODULAR BLOCK RETAINING WALL DETAIL
STANDARD SEGMENTAL UNIT 8" BLOCKS WITH GEO-GRID
NOT TO SCALE

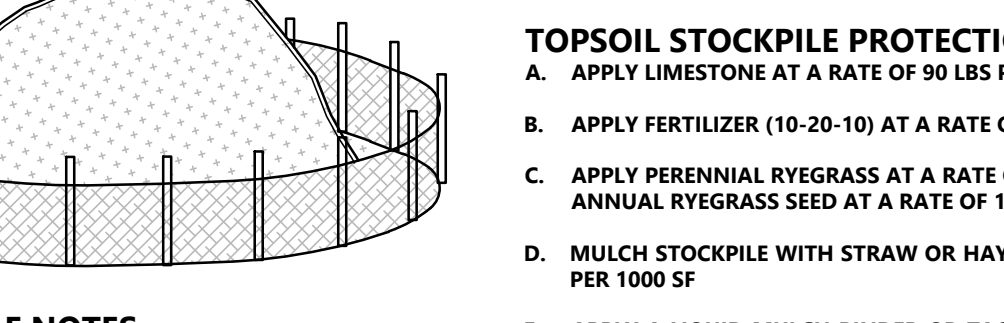
WALL BLOCK: ANCHOR WALL / BELGARD - DIAMOND PRO 8"
GEO-GRID: TENCATE GEOSYNTHETICS - MIRAFIX 3XT (OR EQUAL)



ALUMINUM POOL FENCE DETAIL
JERITH MANUFACTURING CO, INC
OVATION SERIES: 4" (48") MINIMUM HEIGHT
MODEL #04V8USN - NOT TO SCALE
FENCE DETAIL PROVIDED FOR RETAINING WALL FALL PROTECTION FEASIBILITY, WHEREAS ACTUAL (ALTERNATE) FENCE SPECIFICATIONS SHALL BE AS PER OWNER; CONTRACTOR SHALL CONFIRM & VERIFY WITH ONELLO ENGINEERING



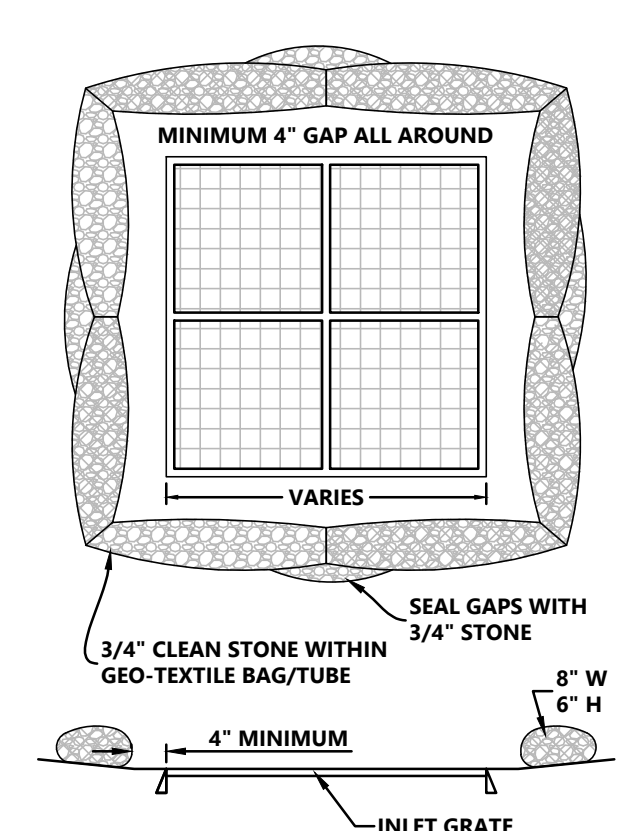
GRADED DRAINAGE SWALE
NOT TO SCALE



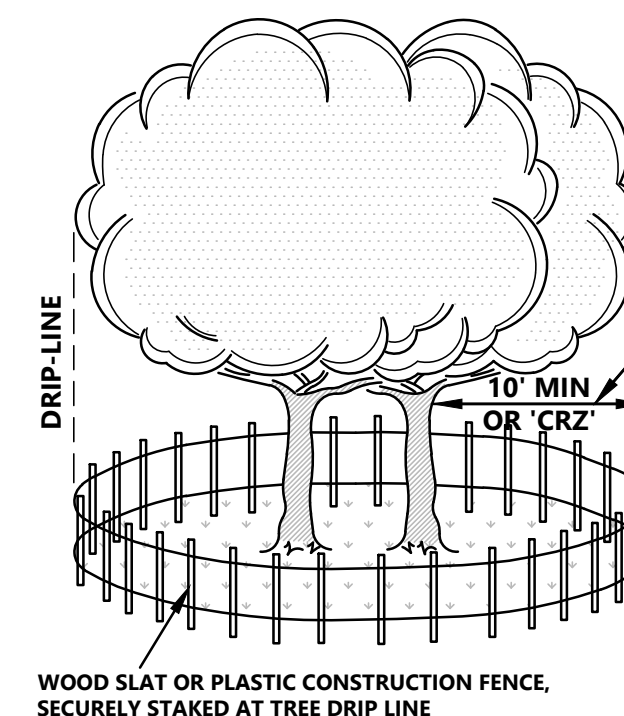
TOPSOIL STOCKPILE PROTECTION

- APPLY LIMESTONE AT A RATE OF 90 LBS PER 1000 SF
- APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SF
- APPLY PERENNIAL RYEGRASS AT A RATE OF 1 LB PER 1000 SF & ANNUAL RYEGRASS SEED AT A RATE OF 1 LB PER 1000 SF
- MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 90 LBS PER 1000 SF
- APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH
- PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE

TOPSOIL STOCKPILE DETAIL
NOT TO SCALE



SOIL EROSION CONTROL INLET FILTER DETAIL
FOR STORMWATER CATCH-BASIN GRATES
NOT TO SCALE



TREE PROTECTION DETAIL
NOT TO SCALE

INLET FILTER NOTES

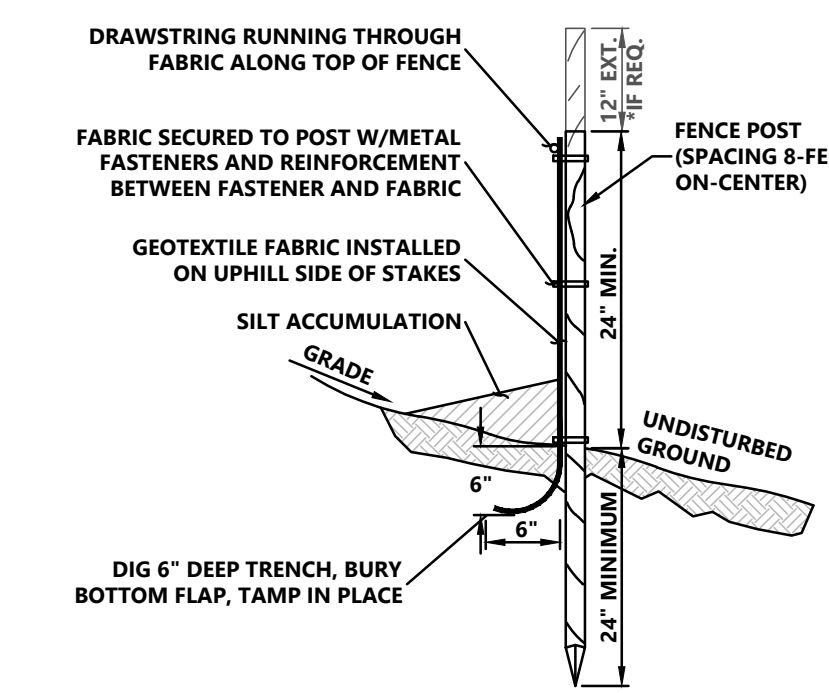
- GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT GEOTEX 117F, BY PROPEX GEOTEXTILE SYSTEMS, OR APPROVED EQUAL
- 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE TUBE/BAG, SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE
- WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCRICLE THE DRAIN INLET
- INLET GRATE OPENING TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1-YEAR, 24-HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM
- INSPECTIONS SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED, THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED
- OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT

TREE PROTECTION NOTES

- ALL SPECIMEN TREES AS SHOWN ON THE PLANS ARE TO BE PROTECTED DURING CONSTRUCTION
- THE CONTRACTOR SHALL INSTALL SNOW FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN VICINITY OF THE TREE
- CRITICAL ROOT ZONE (CRZ) FORMULA: ONE INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH) EQUALS ONE FOOT OF RADIUS PROTECTION OF TREE FROM CENTER OF TREE OUTWARDS

TREE NOTES

- IF TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION, THE OWNER SHALL OBTAIN A TREE REMOVAL PERMIT FROM THE MUNICIPALITY
- CONSTRUCTION ACTIVITY SHALL BE KEPT CLEAR OF ALL TREES TO REMAIN, WHEREAS TREE PROTECTION SHALL BE INSTALLED IF AND WHERE NECESSARY AS PER THE PROVIDED CONSTRUCTION DETAIL WITHIN THIS PLAN SET
- NO ADJACENT PROPERTY(S) TREE ROOTS SHALL BE COMPROMISED AS A RESULT OF THIS APPLICATION, IF ADJACENT PROPERTY(S) TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THE IMMEDIATE AREA EXCAVATION SHALL COME TO A HALT, WHEREAS THE ADJACENT PROPERTY OWNER(S) SHALL BE CONTACTED ACCORDINGLY. A TREE EXPERT SHALL BE ENGAGED TO EVALUATE THE PROPOSED EXCAVATION ACTIVITIES AT THE SOLE COST OF THE OWNER



SILT FENCE DETAIL
NOT TO SCALE

REQUIREMENTS FOR SILT FENCE

- FENCE POSTS SHALL BE SPACED 8 FEET ON-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FT. HEIGHT MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED, THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED

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RETAINING WALLS
CONST DETAILS & WALL SECTIONS

RAYABARAPU
#370 UPPER BOULEVARD
LOT 3 - BLOCK 1910
VILLAGE OF RIDGEWOOD
BERGEN COUNTY, NEW JERSEY

2025	JUNE 16	ORIGINAL PLAN DATE
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DWG #	7	OF
		7

Master Plant List

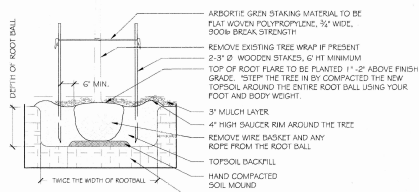
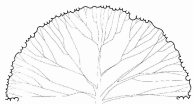
Key	Botanical Name	Common Name	Qty.	Size	Spacing	Mature ht.
Trees						
ARO	Acer rubrum 'October Glory'	October Glory Red Maple	2	2'-2.5' cal.		40'-50' ht.
CJ	Cryptomeria japonica	Japanese Cedar	1	9'-10' ht.		40'-50' ht.
SJ	Styrax japonicus	Japanese Snowbell	1	2'-2.5' cal.		20'-30' ht.
TGG	Thuja plicata 'Green Giant'	Green Giant Arborvitae	23	7'-8' ht.	6' o.c.	30'-40' ht.
Shrubs						
BSN	Buxus sinica 'Nana'	Nana Insularis Boxwood	43	12' ht.	24" o.c.	12"-24" ht.
BWG	Buxus 'Winter Green'	Winter Green Boxwood	9	24" ht.	30" o.c.	3'-4' ht.
BWM	Buxus 'Winter Gem'	Winter Gem Boxwood	32	30" ht.	36" o.c.	3'-4' ht.
CHD	Cephalotaxus 'Dukes Garden'	Dukes Garden Plum Yew	6	30" ht.	36" o.c.	3'-4' ht.
CHF	Cephalotaxus 'Fastigiata'	Upright Plum Yew	16	24" ht.	24" o.c.	5'-6' ht.
DGN	Deutzia gracilis 'Nikko'	Nikko Slender Deutzia	3	3g	36" o.c.	12"-24" ht.
IEC	Hydrangea 'Endless Summer'	Endless Summer Hydrangea	2	5g		3'-4' ht.
HYE	Ilex 'Emerald Colonnade'	Emerald Colonnade Holly	6	4'-5' ht.		8'-10' ht.
JPN	Juniperus procumbens 'Nana'	Japanese Garden Juniper	13	3g	36" o.c.	6"-12" ht.
PSL	Prunus 'Skip Laurel'	Skip Laurel Cherry Laurel	15	5'-6' ht.	5' o.c.	10"-12" ht.
SMP	Syringa meyeri 'Palibin'	Compact Meyer Lilac	6	3' ht.	5' o.c.	4'-5' ht.
Perennials/Groundcovers						
HB	Stachys officinalis 'Hummelo'	Hummelo Betony	24	1g	12" o.c.	18"-24" ht.
NPP	Nepeta 'Picture Perfect'	Picture Perfect Catmint	18	1g	18" o.c.	10"-12" ht.
NWJ	Nepeta 'Walkers Low Jr.'	Walkers Low Jr. Catmint	25	1g	24" o.c.	14"-16" ht.
RF	Rudbeckia 'Goldstrum'	Goldstrum Coneflower	40	1g	24" o.c.	18"-24" ht.
Grasses/Sedges/Rushes						
HM	Hakonechloa 'All Gold'	All Gold Hakone Grass	20	2g	24" o.c.	18" ht.

Planting Notes

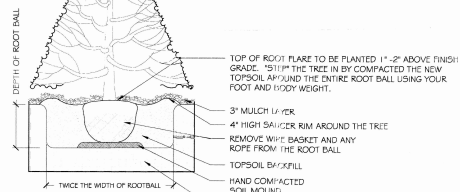
- All plantings shall conform to the work detailed in the Drawings and described in the Notes. The Contractor, and all sub-Contractors where applicable, shall furnish all materials, equipment, and labor necessary to execute such work.
- The Contractor shall schedule the planting work in coordination with all other work of the project.
- The Contractor shall verify all quantities of plant materials shown on the Drawing and Plant List, and shall bring all discrepancies to the immediate attention of the Landscape Architect. Without such notice, all discrepancies shall be resolved in favor of the higher quantity, at the Contractor's expense.
- Plant materials shall be provided in accordance with the American Association of Nurserymen Standards for size, health, and typical habit or growth. No plant substitutions will be permitted without the consent of the Landscape Architect.
- The site shall be properly prepared prior to the commencement of all planting operations. This includes: proper grading, in accordance with the Engineer's Drawings, and the preparation of plantings beds.
- For all plantings, beds shall be a full depth of backfilled, or rototilled, topsoil mixture, consisting of seven parts topsoil to one part humus. Topsoil shall be obtained from outside sources provided by the Contractor. Edges for planting beds shall be as per drawings. Depth of shrub beds shall be a minimum of six inches wider than the nearest plant ball, and not less than 18" deep; beds for groundcovers shall be 12" deep. For individual trees or major shrubs, planting holes shall be twelve inches larger in diameter and six inches deeper than the ball of the plant. Contractor shall test the soil, and provide lime or fertilizer as necessary.
- Unless so specifically requested otherwise, the Contractor shall lay out all plant material in accordance with the Drawings.
- Planting operations shall be executed in accordance with the best practices of the industry. Plants shall be properly protected and handled at all times. Plants shall be planted straight and true, and at the proper depths. All tags, labels, non-biodegradable ball material, branch bindings, and bailing shall be removed immediately after plants are backfilled. Unless otherwise requested by the Landscape Architect, all trees over one and one half inch caliper shall be staked or guyed; the Contractor shall use cedar stakes with wire and protective hose. Newly planted materials shall be pruned by the Contractor as directed by the Landscape Architect.
- All planting beds shall be mulched with two to three inches of double shredded hardwood mulch, or as currently used on site.
- The Contractor shall properly maintain all plantings prior to Final Acceptance.
- All planting work shall be guaranteed for a period of one year after Final Acceptance. During this period of guarantee, all plants in which at least fifty percent of the branches are dead shall be replaced at no cost to the Owner. Provided that, in the opinion of the Landscape Architect, there has been reasonable and adequate care for the plantings, by the Owner. This shall be a one-time only replacement.

Lighting Key

Symbol	Description	Qty	Manuf.	Model	Volt.	Finish	Bulb	Accessories/Notes
◁	Up Light	6	Cast	SLMR162W27	12	Bronze	2W LED	40 degree
◀	Wall Wash	5	Cast	SLMR162M27	12	Bronze	2W LED	30 degree
⊕	Path Light	4	Cast	CCH2CB	12	Bronze	n/a	CALED2 LED Module



DECIDUOUS TREE PLANTING DETAIL

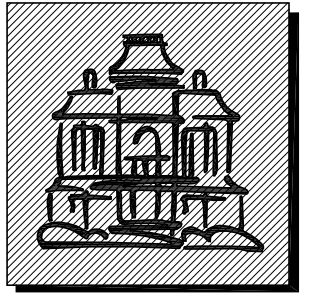


EVERGREEN TREE PLANTING DETAIL

Christopher L. Karach NJLLA AS00923

REVISED 1/23/20 - VILLAGE ENGINEER'S COMMENTS

Rayabarapu Residence
 370 Upper Boulevard Ridgewood, NJ
 Christopher L. Karach • Landscape Architect
 PO Box 114 Cresskill, NJ 07626
 Phone: 201-501-8577 Fax: 201-501-8677
Sheet Title: Schematic Landscape Plan
 Scale: 1"=10'-0" Drawn by: Christopher Karach NJLLA AS00923
 Lot: 3 Block: 1910 Sheet 1 of 1
 Date: July 17, 2025 Drawing #: L-2539



Jordan Rosenberg
ARCHITECTS
& ASSOCIATES

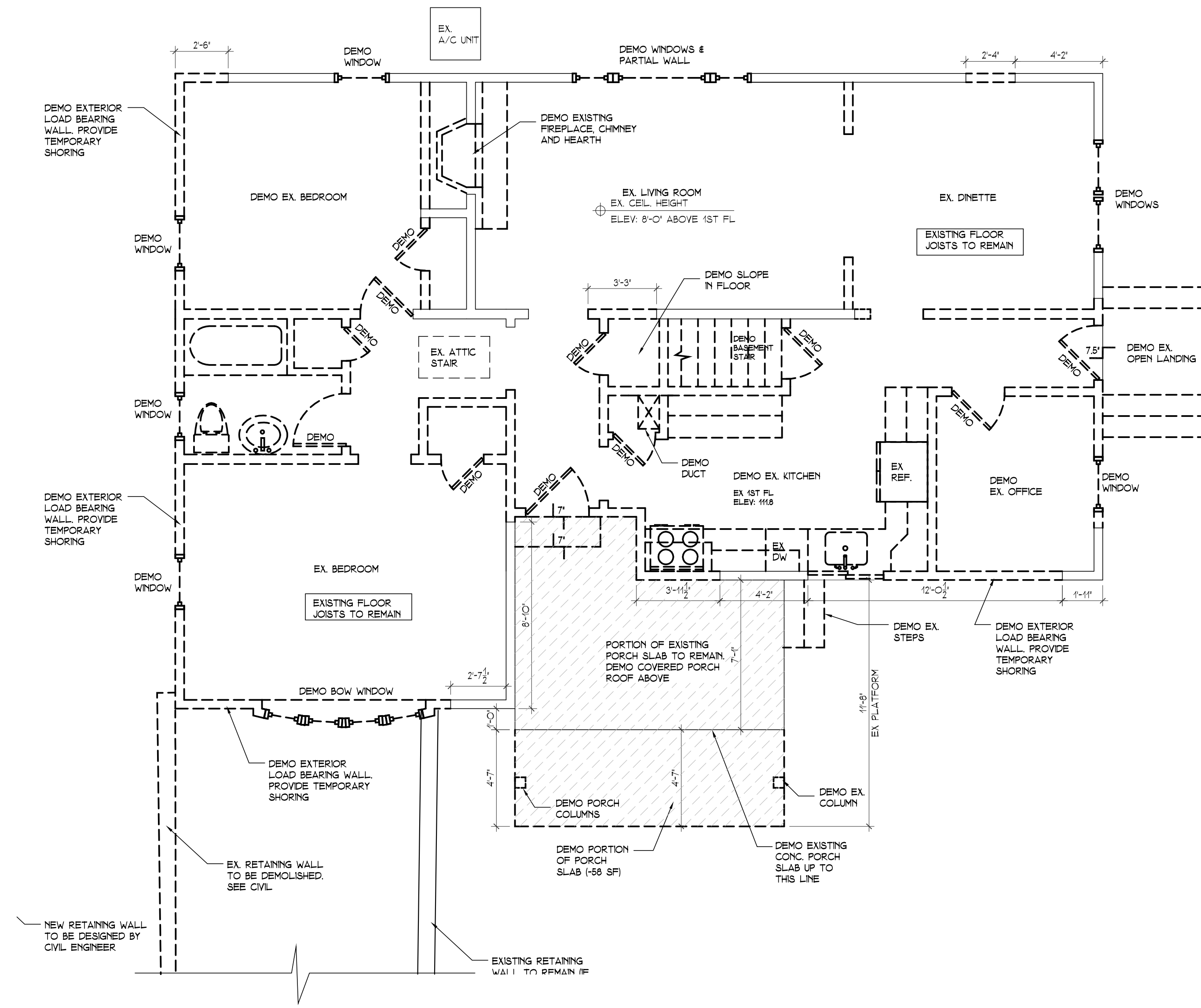
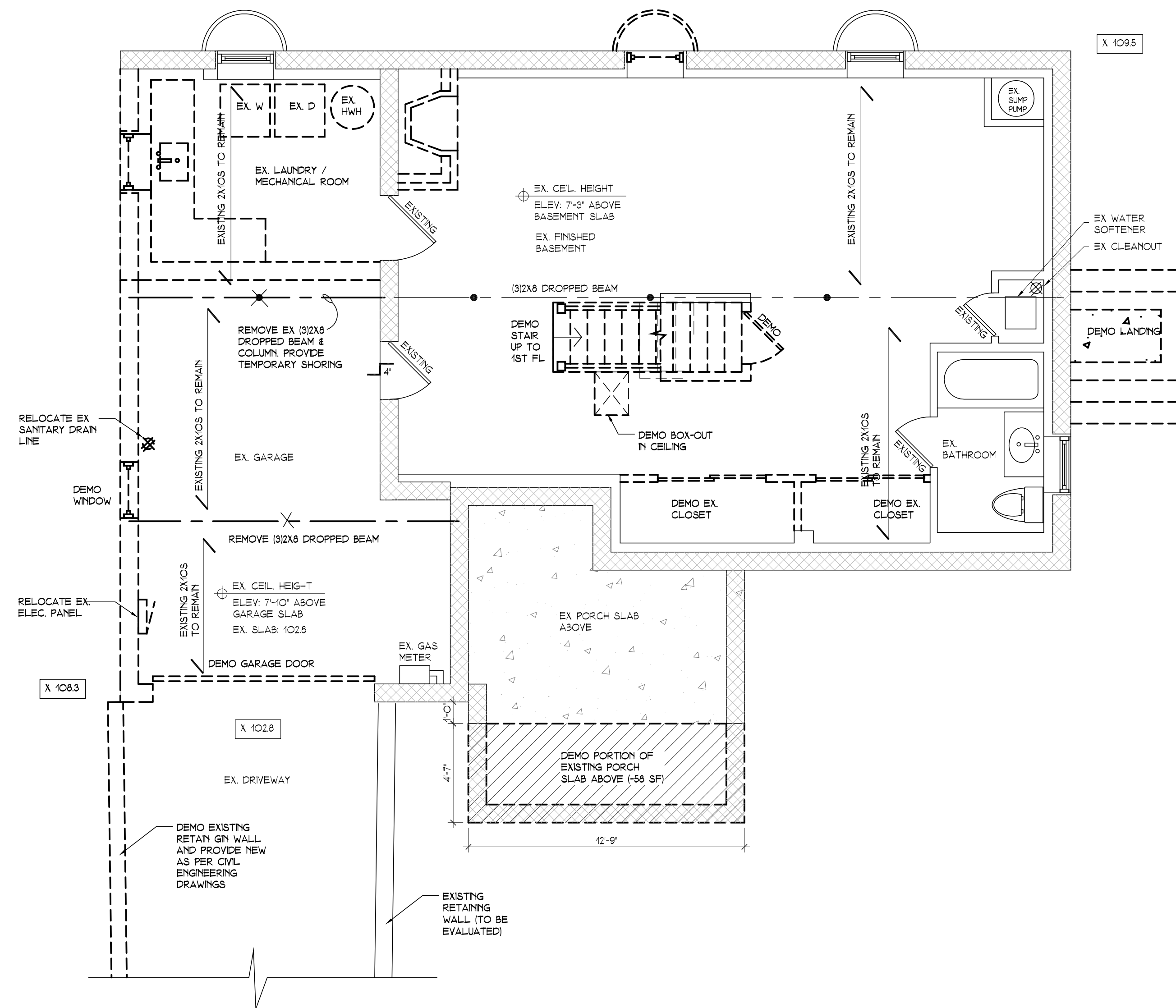
27 N. Broad Street
Second Floor
(201) 669-8614
www.jrarchitect.com
JRarchitect@gmail.com

New Single Family home over existing foundation Private Residence

370 Upper Boulevard, Ridgewood, NJ

ALL DRAWINGS HERE WITHIN SHALL CONFORM TO THE LATEST LOCAL AND STATE CODES AS LISTED BELOW:
REHABILITATION SUBCODE (NJAC 5:23-6)
INTERNATIONAL RESIDENTIAL CODE/2021, NJ ED (NJAC 5:23-3.21)
NATIONAL STANDARD PLUMBING CODE/2021, NJ ED
NATIONAL ELECTRICAL CREHABILITATION SUBCODE (NJAC 5:23-6) CODE (NFPA 70)/2020
INTERNATIONAL ENERGY CONSERVATION CODE/2021 (LOW-RISE RESIDENTIAL)
ASHRAE 90.1-2019 (COMMERCIAL & ALL OTHER RESIDENTIAL)
INTERNATIONAL MECHANICAL CODE/2021 (NJAC 5:23-3.20)
INTERNATIONAL FUEL GAS CODE/2021 (NJAC 5:23-3.22)

BUILDING CHARACTERISTICS	
BUILDING CLASSIFICATION	SINGLE FAMILY RESIDENCE
USE GROUP	R5
CONSTRUCTION TYPE	5B
NUMBER OF STORIES	2
AREA OF LARGEST FLOOR	1,421 SF
VOLUME OF NEW STRUCTURE	26,736 CUFT.
NEW BUILDING AREA	
BASEMENT LEVEL GARAGE	268 SF
1ST FLOOR ADDITION	268 SF
2ND FLOOR ADDITION	1,421 SF



SET ISSUES & DATES:

DATE	ISSUE
1-30-25	CONCEPTUAL DESIGN DRAWINGS
2-10-25	REVISED DRAWINGS AS PER CLIENT COMMENTS
2-24-25	PHASE 1 CONCEPTUAL DESIGN DRAWINGS 100% COMPLETE
6-8-25	FOR ZONING REVIEW SUBMISSION
10-21-25	FOR ZONING REVIEW RE-SUBMISSION
1-26-26	FOR VARIANCE BOARD RESUBMISSION

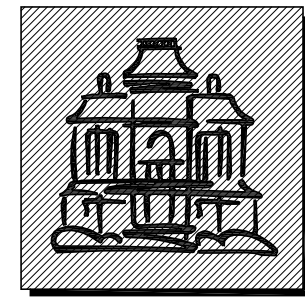
PRIVATE RESIDENCE
NEW SINGLE FAMILY HOME OVER
EXISTING FOUNDATION
370 UPPER BOULEVARD, RIDGEWOOD, NJ

JORDAN ROSENBERG, P.A.
NJ ARCHITECT: #16495

DRAWING TITLE:	ORIG. DATE
	12-10-25
REV. DATE	1-26-26
SCALE:	
SEE DRAWING TITLE	D-01
DRAWN BY:	JR

WALL LEGEND

	EXISTING WALL, WINDOW, DOOR, ETC. TO BE DEMOLISHED.
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN




Jordan Rosenberg
ARCHITECTS
& ASSOCIATES

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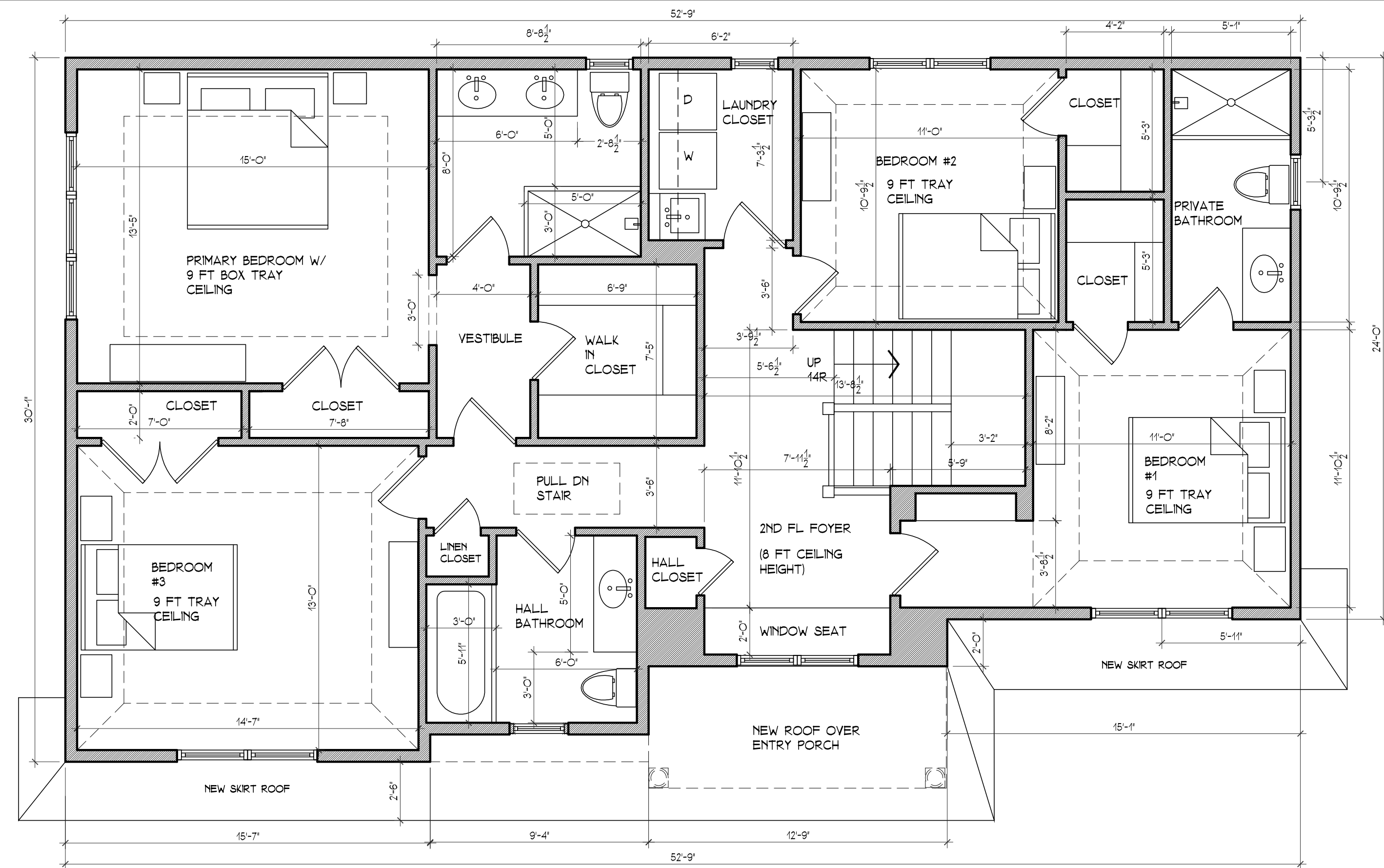
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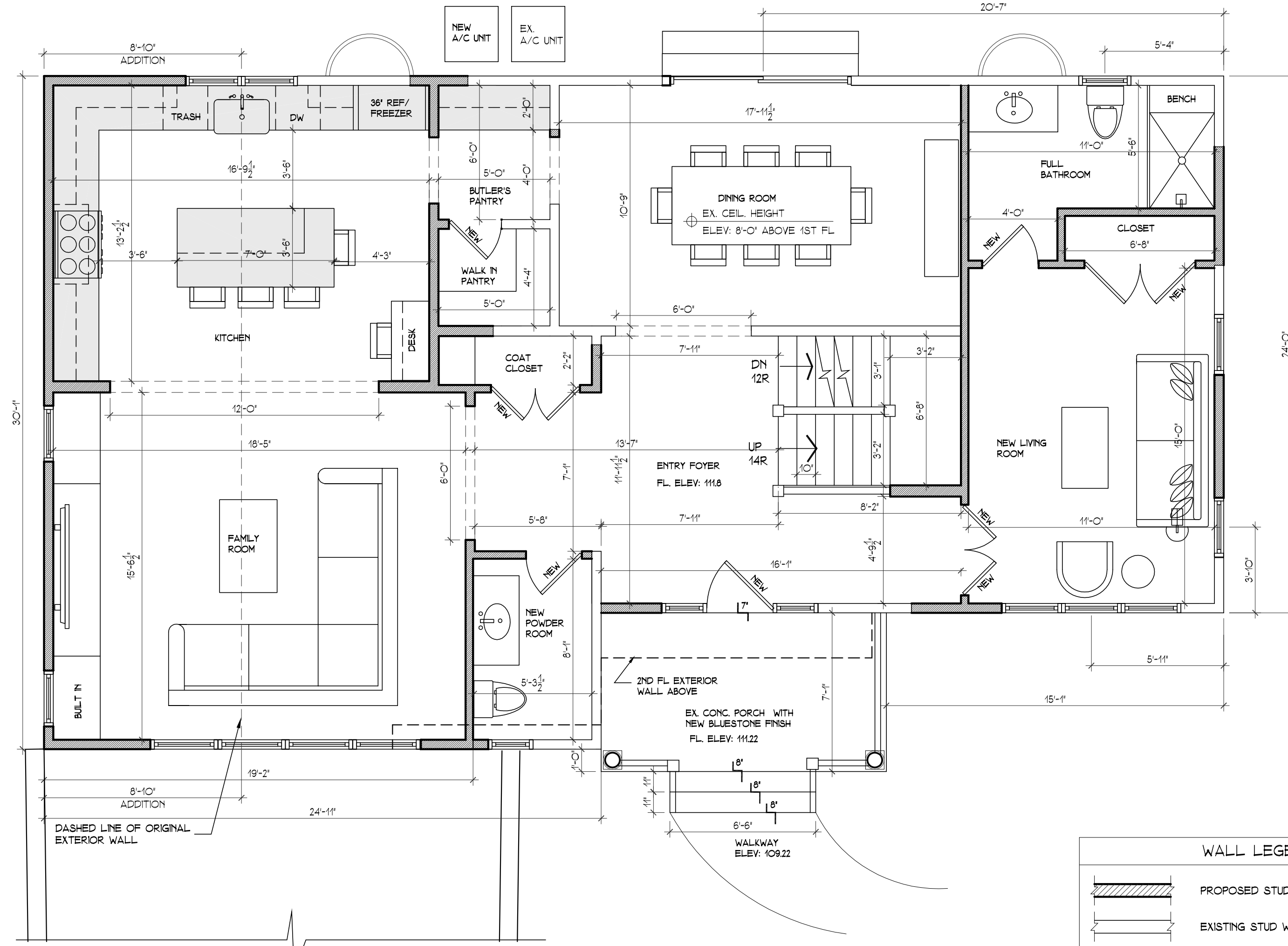


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SEE DRAWING TITLE	12-10-25
DRAWN BY:	REV. DATE:
JR	1-26-26
SCALE:	A-01



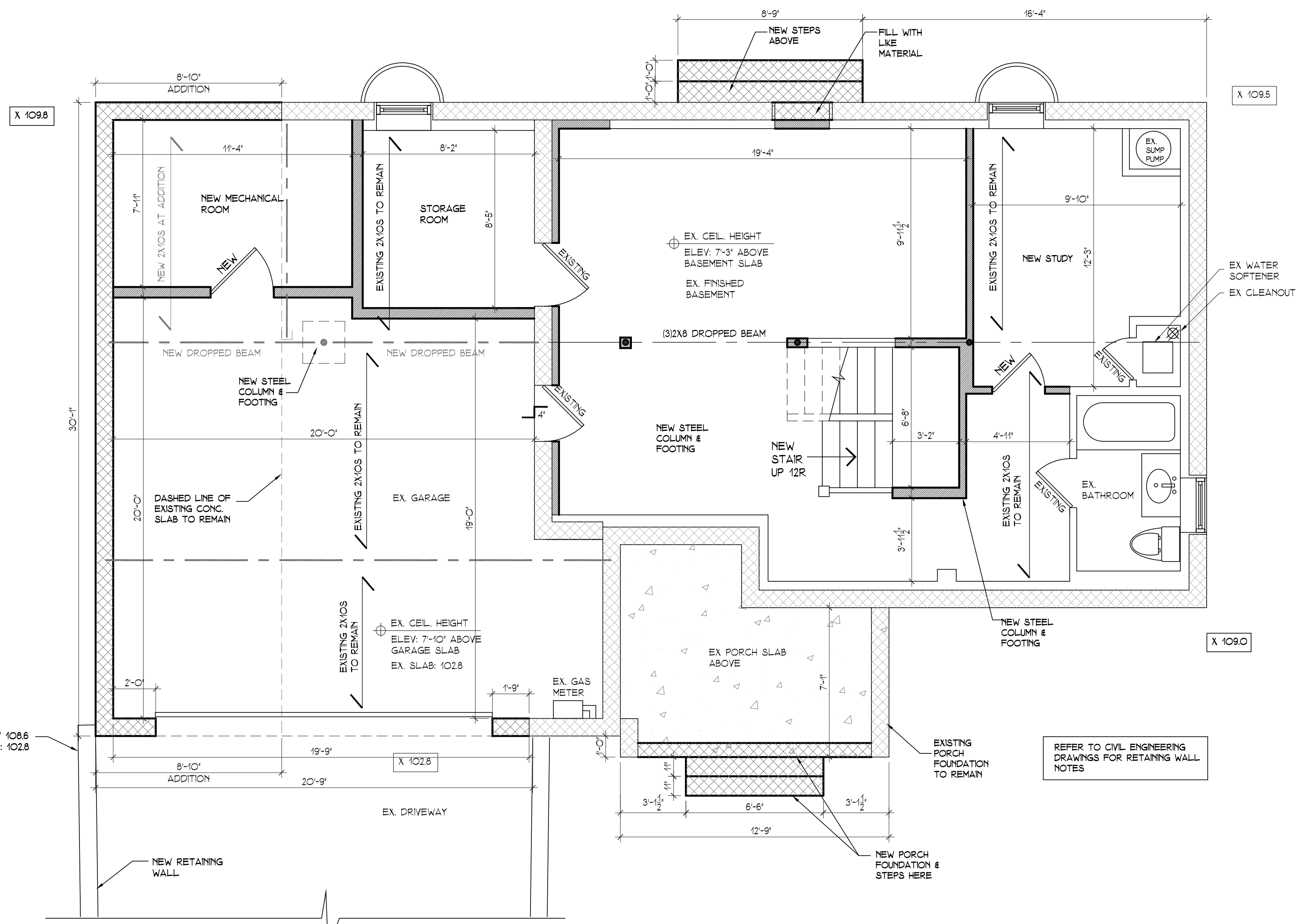
3 PROPOSED 2ND FL PLAN
A-01 SCALE: 1/4" = 1'-0"

GROSS BUILDING AREA	
1ST FL:	1,417 SF
2ND FL:	1,421 SF
TOTAL:	2,838 SF

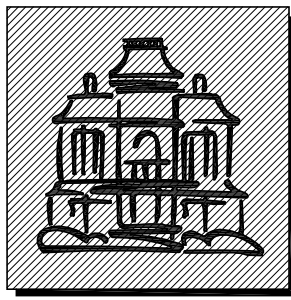


2 PROPOSED 1ST FL PLAN
A-01 SCALE: 1/4" = 1'-0"

WALL LEGEND	
	PROPOSED STUD WALL
	EXISTING STUD WALL TO REMAIN
	EXISTING CONC. WALL TO REMAIN
	PROPOSED CONC. WALL



1 PROPOSED GARAGE/BASEMENT PLAN
A-01 SCALE: 1/4" = 1'-0"



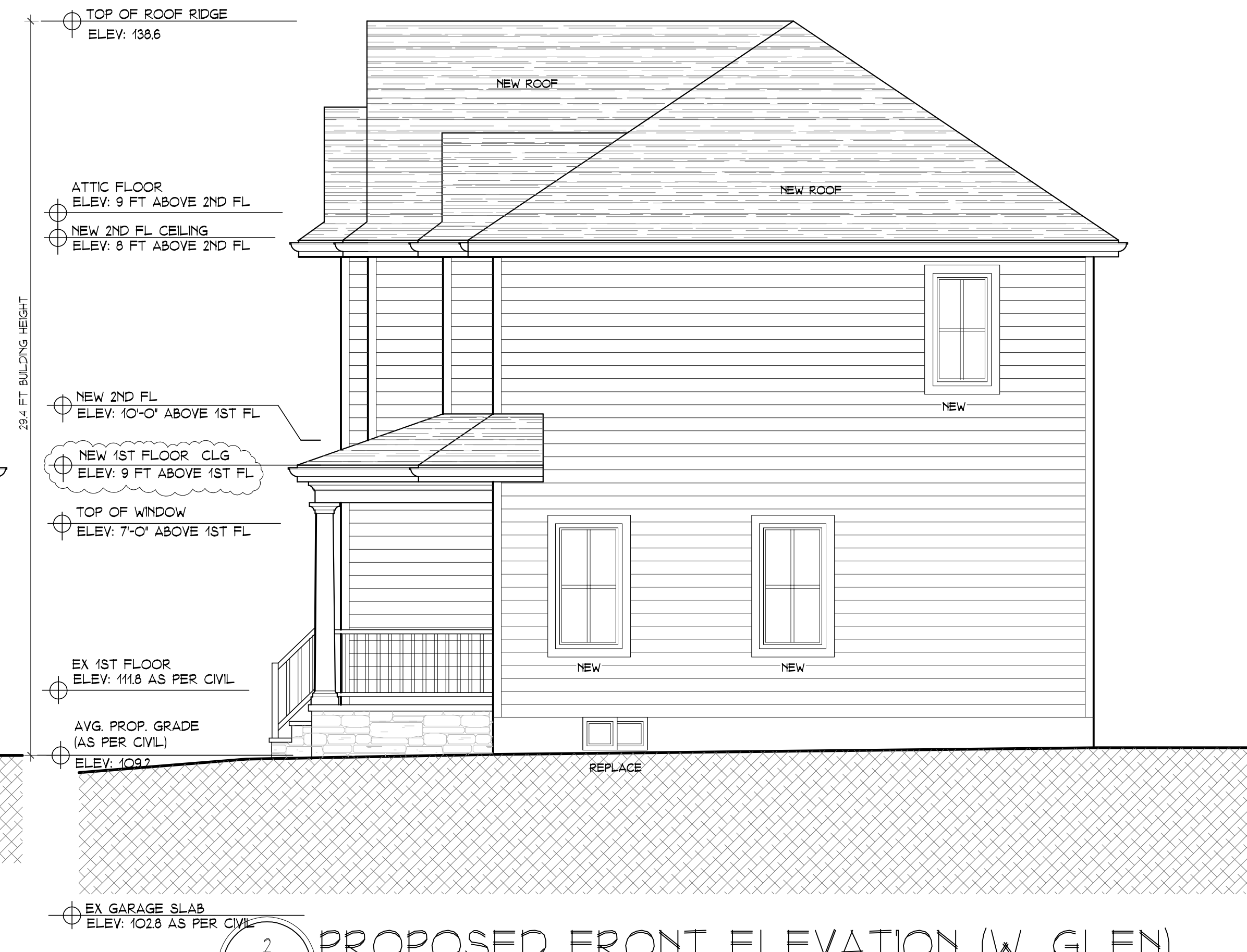
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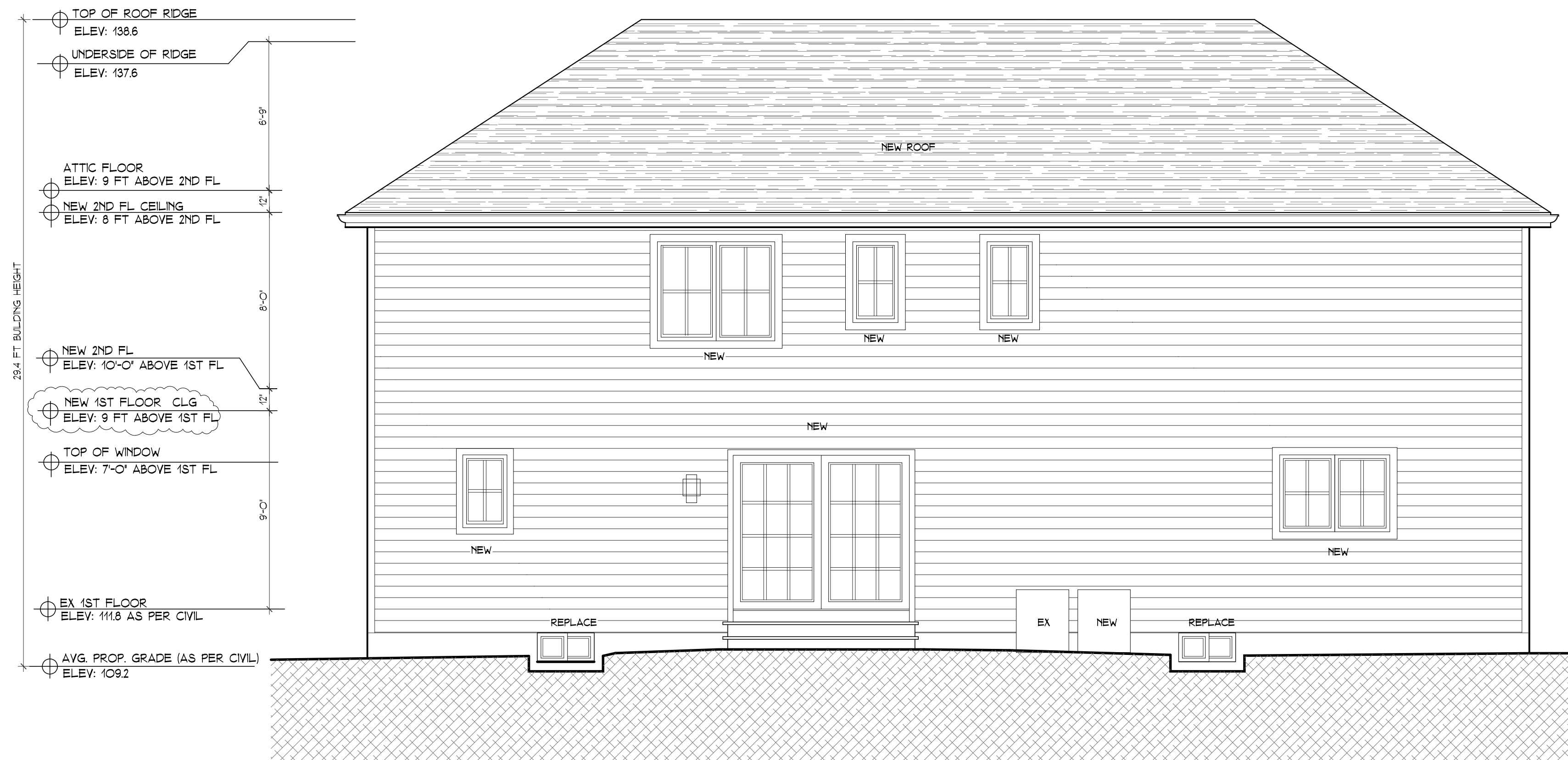
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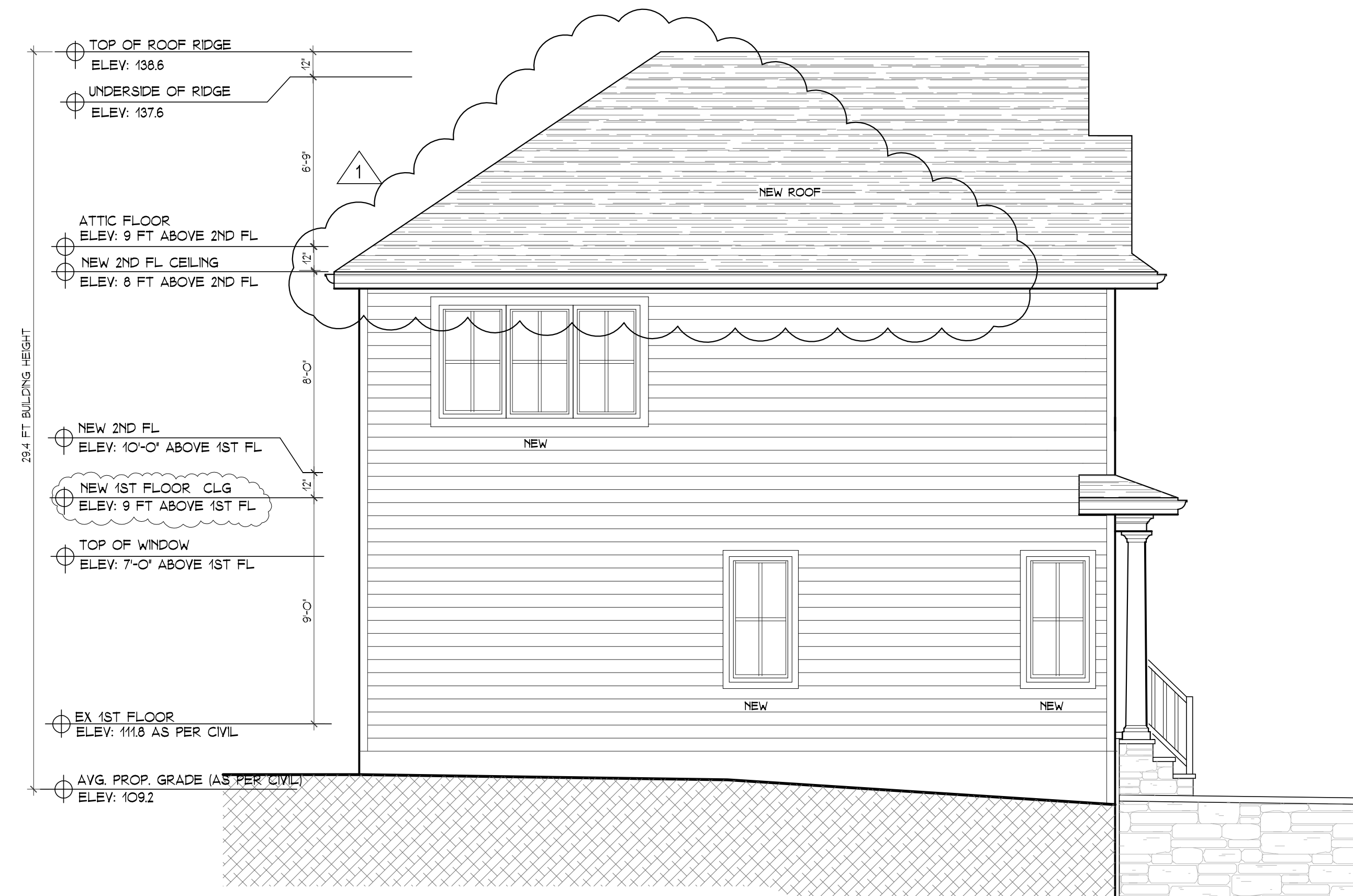
1 PROPOSED FRONT ELEVATION (UPPER BLVD)
A-02 SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION (W. GLEN)
A-02 SCALE: 1/4" = 1'-0"



3 PROPOSED SIDE ELEVATION
A-02 SCALE: 1/4" = 1'-0"



4 PROPOSED REAR ELEVATION
A-02 SCALE: 1/4" = 1'-0"

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