

NOTES:

- 1. PROPERTY KNOWN AS BLOCK 2404, LOT 3 AND BLOCK 2403, LOT 17.01, AS SHOWN ON THE OFFICIAL TAX MAP OF THE VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY.
2. AREA BLOCK 2404, LOT 3 TO 7 71,797 SQUARE FEET ON 3.64 ACRES. (SEE NOTE #10)
TOTAL AREA = 244,549 SQUARE FEET OR 5.614 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLY ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTOS PLANS AND UTILITY RECORDS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGON, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ANY OR ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS REFLECTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDING MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND/OR REFERENCE MAPPING, INCLUDING MARKOUT BY OTHERS.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILING.
ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.

- 4. THIS PLAN IS BASED ON A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. (THE SURVEYOR). INFORMATION PROVIDED BY THE CLIENT AND OTHER REFERENCE MATERIAL AS LISTED HEREON, CHANGES TO THE PROPERTY AFTER THE FIELD DATE ARE NOT THE RESPONSIBILITY OF THE SURVEYOR.
5. THIS SURVEY IS PREPARED WITH REFERENCE TO A REPORT OF TITLE PREPARED BY U.S. TITLE SOLUTIONS, FILE NO. U57697, WITH A COMMITMENT DATE OF 03/13/2025. WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, PART 8, FOR BLOCK 2403, BLOCK 2404:
3. COVENANTS AND RESTRICTIONS
a. RELEASE BETWEEN CLARENCE E. CHAPMAN, ADELAIDE L. CHAPMAN, PAUL J. HOWE AND ELZA L. HOWE, CARL M. VAL AND LAURA BAH VAL, MARGARET A. AMBROT AND FRANK J. AMBROT, HER HUSBAND AND LOUISE E. BARDEAU BY COCKE BELLS CONDOMINIUM AND WEST SIDE PRESBYTERIAN CHURCH OF RIDGEWOOD NEW JERSEY, DATED MAY 14, 1923, RECORDED JULY 10, 1923, IN BOOK 1291, PAGE 223 - BLANKET RELEASE OF RESTRICTIONS.
b. COVENANTS AND RESTRICTIONS CONTAINED IN THE DEEDS IN BOOK 839, PAGE 623 - BUILDING SETBACK FOR FILED MAP LOT 15, NOT TO BUILD NEARER THAN 45' FROM THE CURB LINE OF FRANKLIN AVENUE SHOWN HEREON.
BOOK 1819, PAGE 546 - BUILDING SETBACK FOR FILED MAP LOTS 16, 17, 18, 14, NOT TO BUILD LESS THAN 45' FROM THE INSIDE SIDEWALK OF HILLSIDE PLACE, PLACE 45' FROM FRANKLIN AVENUE, AND NOT LESS THAN 20' FROM ANY ADJACENT LOTS.
BOOK 1115, PAGE 78 - BUILDING SETBACK FOR FILED MAP LOT 8, NOT TO BUILD LESS THAN 45' FROM THE INSIDE SIDEWALK OF HILLSIDE PLACE 45' FROM FRANKLIN AVENUE, AND NOT LESS THAN 20' FROM ANY ADJACENT LOTS.
BOOK 1115, PAGE 81 - BUILDING SETBACK FOR FILED MAP LOT 9, NOT TO BUILD LESS THAN 45' FROM THE INSIDE SIDEWALK OF HILLSIDE PLACE 45' FROM FRANKLIN AVENUE, AND NOT LESS THAN 20' FROM ANY ADJACENT LOTS.

- 6. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NOV 80 18 (NAVD83)), BASED ON GPS/GNSS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (NETRGTG).
TEMPORARY BENCHMARKS SET:
TBM-A X-CUT SET IN CONCRETE WALKWAY, ELEVATION = 133.47
TBM-B MAG. NAIL SET IN CONCRETE WALKWAY, ELEVATION = 136.68
SEVEN (7) DAYS PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN RECONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION. SURVEYOR IS NOT RESPONSIBLE FOR CONSTRUCTION DELAY DUE TO CONFLICTS.
8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
9. AN INSTRUMENT WAYER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.S.A. 49-9.36) AND N.J.A.C. 13-45.6 (I).
10. THE CURRENT RECORD DEED FOR LOT 17.01 INCLUDES LOT 22. A SEPARATE DEED FOR LOT 22 WAS NOT RECOVERED. THE DIVING LINE BETWEEN LOTS 17.01 AND 22 IS SHOWN PER THIS MAP AND IS SUBJECT TO RECOVERY AND REVIEW OF TITLE COMMITMENT. (SEE NOTE #5)
11. ZONING INFORMATION WAS NOT PROVIDED AT THE TIME OF SURVEY.
REFERENCES:
1. THE OFFICIAL TAX ASSESSORS MAP OF THE VILLAGE OF RIDGEWOOD, BERGEN COUNTY, NEW JERSEY, SHEET #44
2. FILED MAP ENTITLED "PROPERTY, OF, C.E. CHAPMAN, RIDGEWOOD, BERGEN CO., N.J." DATED OCT 1905 AND FILED IN THE BERGEN COUNTY CLERKS OFFICE AS FILED MAP #1176.

- LEGAL DESCRIPTION
BEGINNING AT A POINT IN THE NORTHERLY SIDELINE OF SOUTH HILLSIDE PLACE (40' R.O.W.), SAID POINT BEING DISTANT 35.00 FEET FROM THE INTERSECTION OF SAID NORTHERLY SIDELINE IF PROJECTED SOUTHEASTERLY WITH THE WESTERLY SIDELINE OF SOUTH MONROE STREET (60' R.O.W.) IF PROJECTED SOUTHERLY, RUNNING THENCE:
1. ALONG SAID NORTHERLY SIDELINE OF SOUTH HILLSIDE PLACE, NORTH 58° 30' 00" WEST, A DISTANCE OF 307.33 FEET TO A POINT; THENCE
2. LEAVING SAID NORTHERLY SIDELINE, NORTH 31° 30' 00" EAST, A DISTANCE OF 134.59 FEET TO A POINT; THENCE
3. SOUTH 55° 07' 22" EAST, A DISTANCE OF 34.66 FEET TO A POINT; THENCE
4. NORTH 30° 30' 00" EAST, A DISTANCE OF 131.93 FEET TO A POINT IN THE SOUTHERLY SIDELINE OF WEST RIDGEWOOD AVENUE (60' R.O.W.); THENCE
5. ALONG SAID SOUTHERLY SIDELINE OF WEST RIDGEWOOD AVENUE, SOUTH 53° 30' 00" EAST, A DISTANCE OF 188.00 FEET TO A POINT OF CURVATURE, THENCE
6. ALONG SAID SOUTHERLY SIDELINE ON A CURVE TO THE RIGHT HAVING AN ARC DISTANCE OF 78.02 FEET, A RADIUS OF 60.27 FEET AND A CENTRAL ANGLE OF 72° 10' 00" AND BEING SUSTAINED BY A CHORD WHICH BEARS SOUTH 17° 22' 00" EAST 71.08 FEET TO A POINT IN THE WESTERLY SIDELINE OF SOUTH MONROE STREET, THENCE
7. ALONG SAID WESTERLY SIDELINE OF SOUTH MONROE STREET, SOUTH 18° 46' 00" WEST, A DISTANCE OF 180.89 FEET TO A POINT OF CURVATURE, THENCE
8. ALONG SAID WESTERLY SIDELINE ON A CURVE TO THE RIGHT, HAVING AN ARC DISTANCE OF 35.83 FEET, A RADIUS OF 19.98 FEET AND A CENTRAL ANGLE OF 102° 44' 00" AND BEING SUSTAINED BY A CHORD WHICH BEARS SOUTH 70° 00' 00" WEST 31.22 FEET TO THE POINT OF BEGINNING.
\*\*THE ABOVE DESCRIPTION WAS TAKEN FROM THE MORTGAGE IN BOOK 15568, PAGE 178.
THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A REPORT OF TITLE PREPARED BY U.S. TITLE SOLUTIONS, FILE NO. U57697, WITH A COMMITMENT DATE OF 03/13/2025.

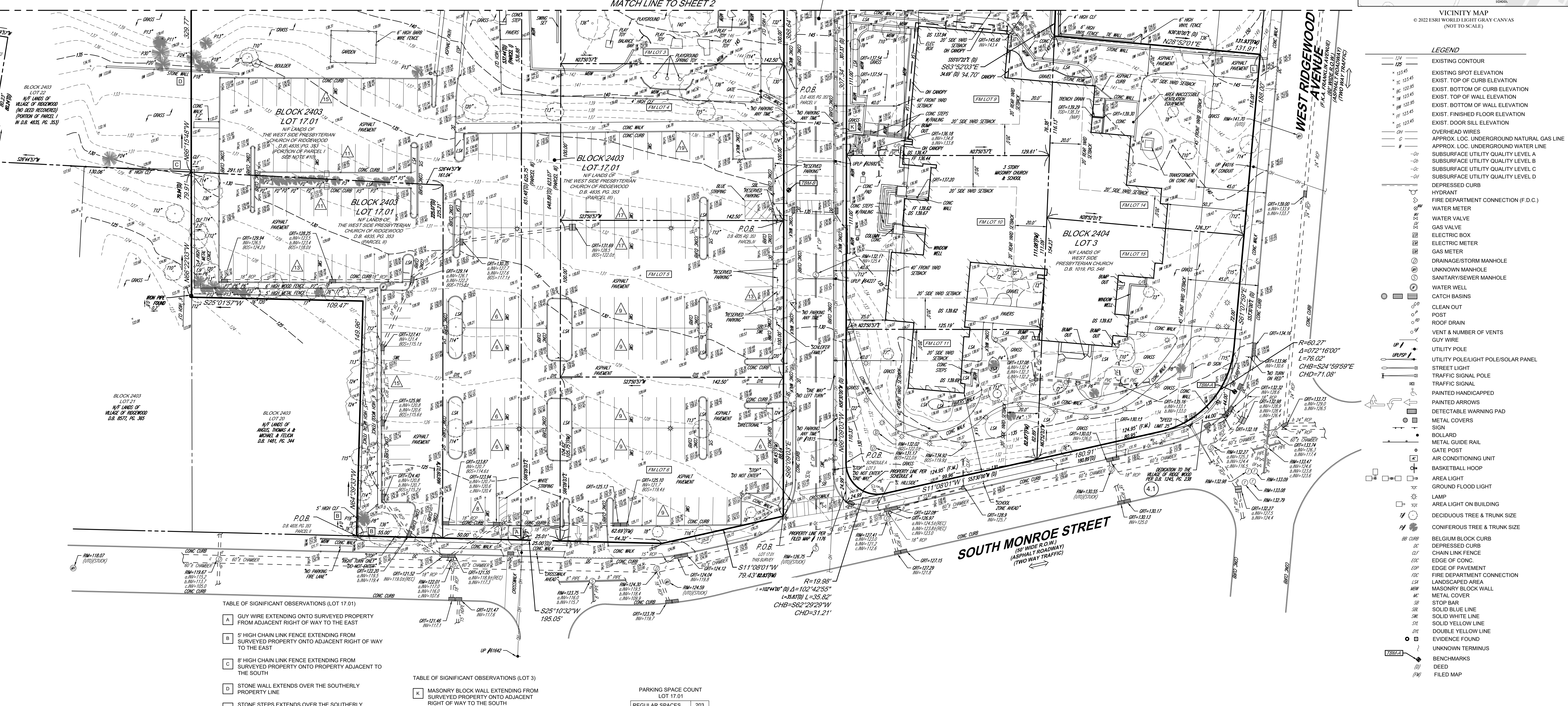
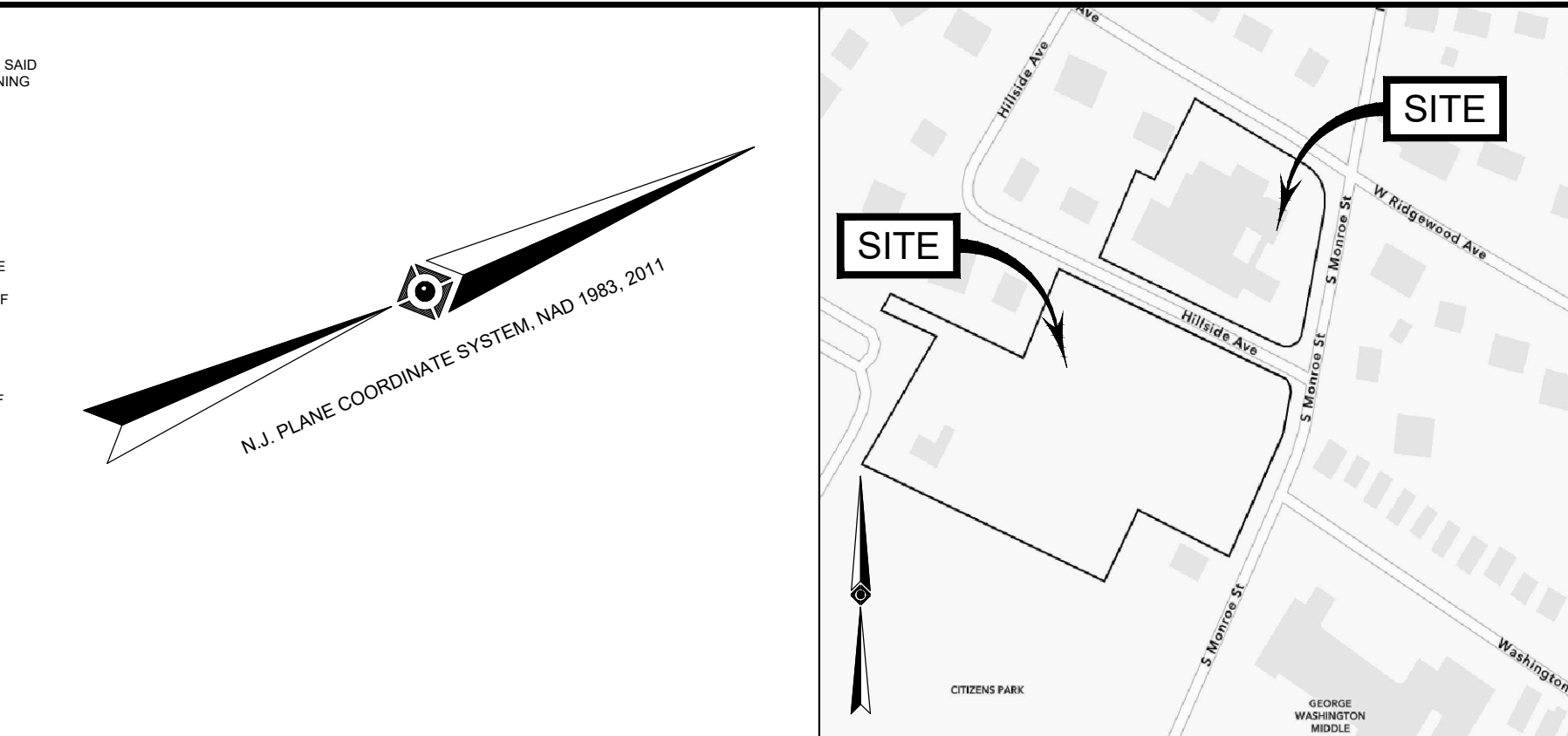


TABLE OF SIGNIFICANT OBSERVATIONS (LOT 17.01)
A GUY WIRE EXTENDING ONTO SURVEYED PROPERTY FROM ADJACENT RIGHT OF WAY TO THE EAST
B 5' HIGH CHAIN LINK FENCE EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE EAST
C 8' HIGH CHAIN LINK FENCE EXTENDING FROM SURVEYED PROPERTY ONTO PROPERTY ADJACENT TO THE SOUTH
D STONE WALL EXTENDS OVER THE SOUTHERLY PROPERTY LINE
E STONE STEPS EXTENDS OVER THE SOUTHERLY PROPERTY LINE
F CONCRETE WALL WITH 4' HIGH CHAIN LINK FENCE EXTENDS OVER THE SOUTHERLY PROPERTY LINE
G 6' HIGH CHAIN LINK FENCE EXTENDS OVER THE SOUTHERLY PROPERTY LINE
H MASONRY WALL EXTENDS ONTO SURVEYED PROPERTY FROM PROPERTY ADJACENT TO THE NORTH
I STONE WALL MEANDERS ALONG THE WESTERLY PROPERTY LINE
J OVERHEAD WIRE EXTENDING ONTO SURVEYED PROPERTY FROM ADJACENT RIGHT OF WAY TO THE NORTH

TABLE OF SIGNIFICANT OBSERVATIONS (LOT 3)
K MASONRY BLOCK WALL EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE SOUTH
L STONE BLOCK EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE NORTH
NOTE: THESE ARE THE SIGNIFICANT OBSERVATIONS NOTED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

PARKING SPACE COUNT
LOT 17.01
REGULAR SPACES 203
HANDICAP SPACES 11
TOTAL SPACES 214
NOTE: PHYSICAL FEATURES SHOWN ARE THOSE EXISTING ON 12-19-2024. CURRENT CONDITIONS HAVE NOT BEEN SHOWN.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13 & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 12-19-2024.

ALTA/NSPS LAND TITLE SURVEY
BLOCK 2404, LOT 3 & BLOCK 2403, LOT 17.01
6 SOUTH MONROE STREET
VILLAGE OF RIDGEWOOD, BERGEN COUNTY
STATE OF NEW JERSEY
CONTROL POINT ASSOCIATES, INC.
38 INDEPENDENCE BOULEVARD, SUITE 100
WARREN, NJ 07059
JAMES D. SENS
NEW JERSEY PROFESSIONAL LAND SURVEYOR #24GS04322600
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24GA27938600
FIELD DATE 12-19-2024
FIELD BOOK NO. 24-22
FIELD BOOK PGS. 70-76
FIELD CREW CS
DRAWN: BTW
REVIEWED: KVG
APPROVED: JDS
DATE 06-27-2025
SCALE 1" = 30'
FILE NO. 01-240377-00
SHEET 1 OF 2

TABLE OF SIGNIFICANT OBSERVATIONS (LOT 17.01)

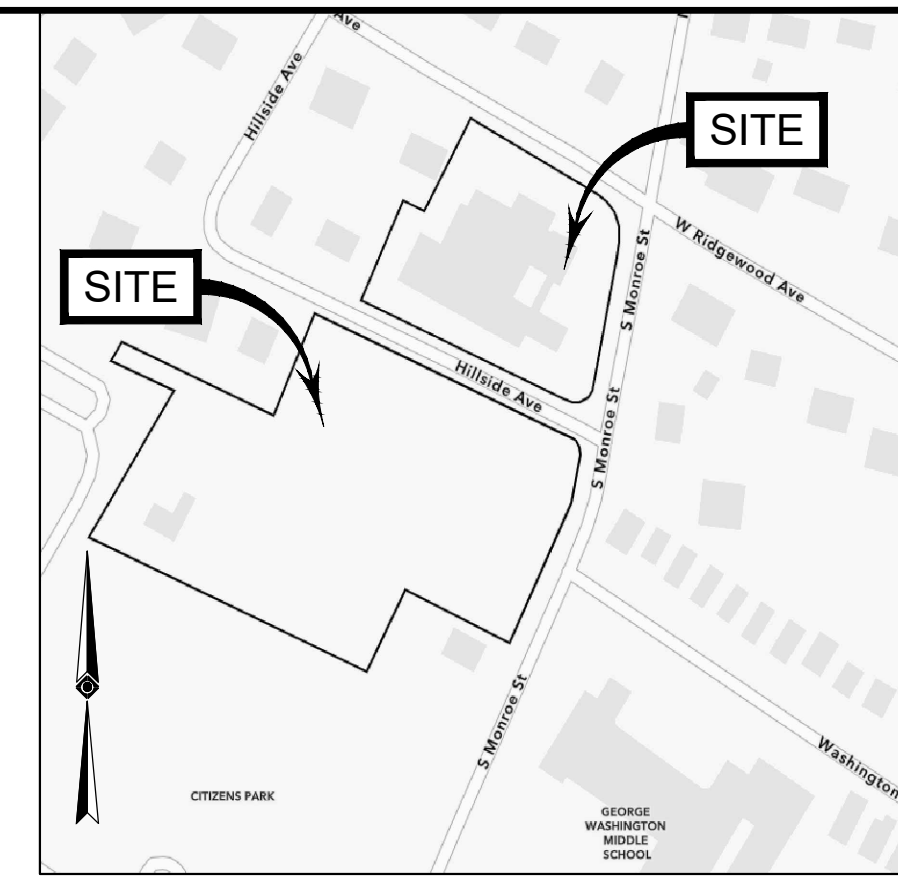
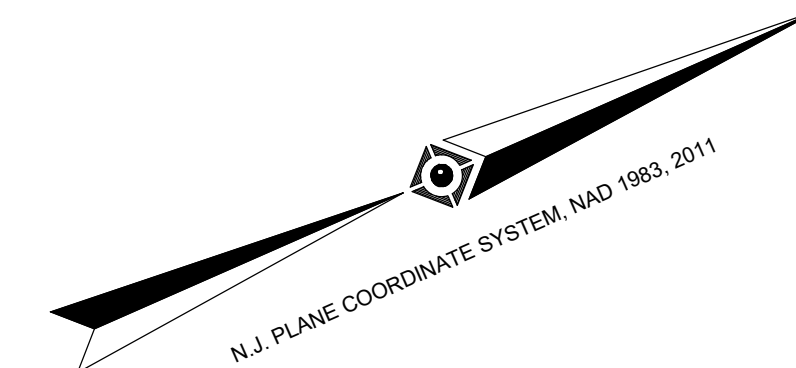
- A GUY WIRE EXTENDING ONTO SURVEYED PROPERTY FROM ADJACENT RIGHT OF WAY TO THE EAST
- B 5' HIGH CHAIN LINK FENCE EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE EAST
- C 8' HIGH CHAIN LINK FENCE EXTENDING FROM SURVEYED PROPERTY ONTO PROPERTY ADJACENT TO THE SOUTH
- D STONE WALL EXTENDS OVER THE SOUTHERLY PROPERTY LINE
- E STONE STEPS EXTENDS OVER THE SOUTHERLY PROPERTY LINE
- F CONCRETE WALL WITH 4' HIGH CHAIN LINK FENCE EXTENDS OVER THE SOUTHERLY PROPERTY LINE
- G 8' HIGH CHAIN LINK FENCE EXTENDS OVER THE SOUTHERLY PROPERTY LINE
- H MASONRY WALL EXTENDS ONTO SURVEYED PROPERTY FROM PROPERTY ADJACENT TO THE NORTH
- I STONE WALL MEANDERS ALONG THE WESTERLY PROPERTY LINE
- J OVERHEAD WIRE EXTENDING ONTO SURVEYED PROPERTY FROM ADJACENT RIGHT OF WAY TO THE NORTH

NOTE: THESE ARE THE SIGNIFICANT OBSERVATIONS NOTED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

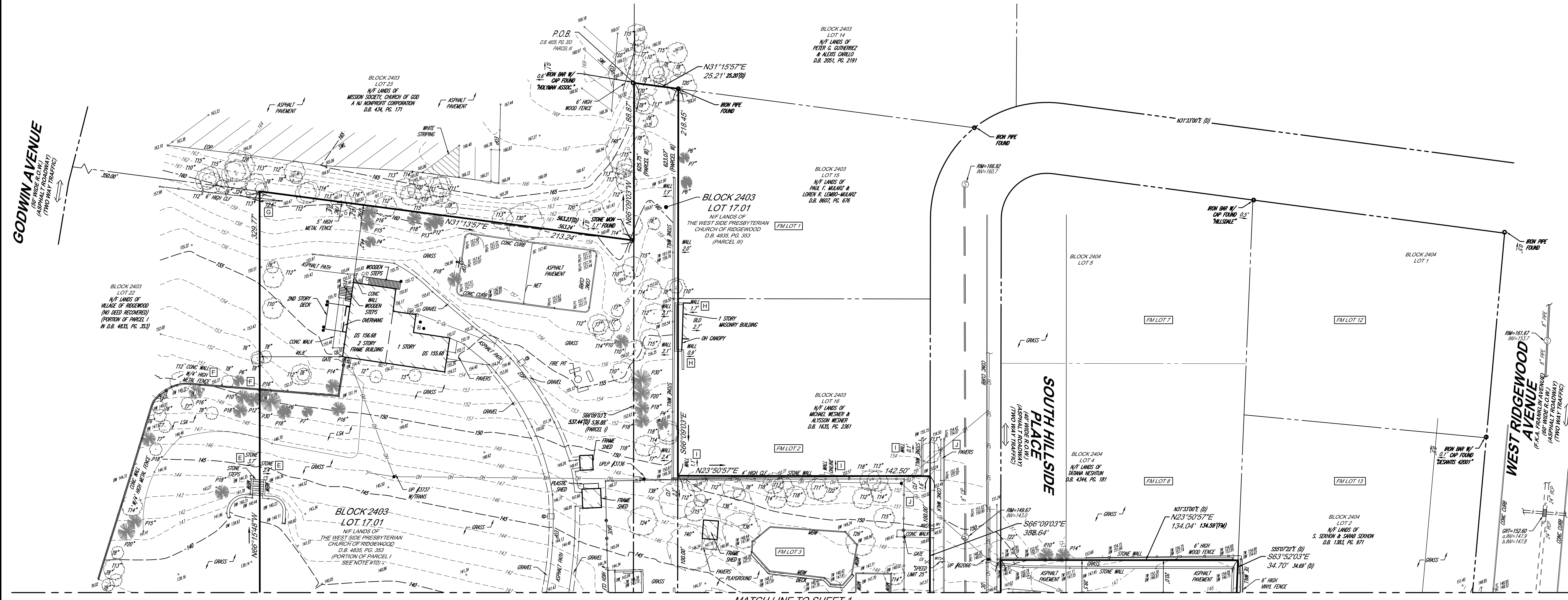
TABLE OF SIGNIFICANT OBSERVATIONS (LOT 3)

- K MASONRY BLOCK WALL EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE SOUTH
- L STONE BLOCK EXTENDING FROM SURVEYED PROPERTY ONTO ADJACENT RIGHT OF WAY TO THE NORTH

NOTE: THESE ARE THE SIGNIFICANT OBSERVATIONS NOTED DURING THE PROCESS OF CONDUCTING THE FIELD WORK. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



VICINITY MAP  
© 2022 ESRI WORLD LIGHT GRAY CANVAS  
(NOT TO SCALE)



**LEGEND**

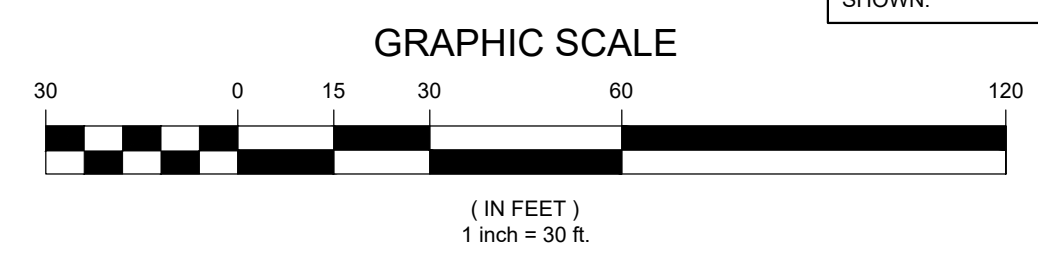
---	EXISTING CONTOUR
•	EXISTING SPOT ELEVATION
—	EXIST. TOP OF CURB ELEVATION
—	EXIST. BOTTOM OF CURB ELEVATION
—	EXIST. TOP OF WALL ELEVATION
—	EXIST. BOTTOM OF WALL ELEVATION
—	EXIST. FINISHED FLOOR ELEVATION
—	EXIST. DOOR SILL ELEVATION
—	OVERHEAD WIRES
—	APPROX. LOC. UNDERGROUND NATURAL GAS LINE
—	APPROX. LOC. UNDERGROUND WATER LINE
—	SUBSURFACE UTILITY QUALITY LEVEL A
—	SUBSURFACE UTILITY QUALITY LEVEL B
—	SUBSURFACE UTILITY QUALITY LEVEL C
—	SUBSURFACE UTILITY QUALITY LEVEL D
—	DEPRESSED CURB
⊕	FIRE DEPARTMENT CONNECTION (F.D.C.)
⊕	WATER METER
⊕	WATER VALVE
⊕	GAS VALVE
⊕	ELECTRIC BOX
⊕	ELECTRIC METER
⊕	GAS METER
⊕	DRAINAGE/STORM MANHOLE
⊕	UNKNOWN MANHOLE
⊕	SANITARY/SEWER MANHOLE
⊕	WATER WELL
⊕	CATCH BASINS
⊕	CLEAN OUT
⊕	POST
⊕	ROOF DRAIN
⊕	VENT & NUMBER OF VENTS
⊕	GUY WIRE
⊕	UTILITY POLE
⊕	UTILITY POLE/LIGHT POLE/SOLAR PANEL
⊕	STREET LIGHT
⊕	TRAFFIC SIGNAL POLE
⊕	TRAFFIC SIGNAL
⊕	PAINTED HANDICAPPED
⊕	PAINTED ARROWS
⊕	DETECTABLE WARNING PAD
⊕	METAL COVERS
⊕	SIGN
⊕	BOLLARD
⊕	METAL GUIDE RAIL
⊕	GATE POST
⊕	AIR CONDITIONING UNIT
⊕	BASKETBALL HOOP
⊕	AREA LIGHT
⊕	GROUND FLOOD LIGHT
⊕	LAMP
⊕	AREA LIGHT ON BUILDING
⊕	DECIDUOUS TREE & TRUNK SIZE
⊕	CONIFEROUS TREE & TRUNK SIZE
⊕	BELGIUM BLOCK CURB
⊕	DEPRESSED CURB
⊕	CHAIN LINK FENCE
⊕	EDGE OF CONC.
⊕	EDGE OF PAVEMENT
⊕	FIRE DEPARTMENT CONNECTION
⊕	LANDSCAPED AREA
⊕	MASONRY BLOCK WALL
⊕	METAL COVER
⊕	STOP BAR
⊕	SOLID BLUE LINE
⊕	SOLID WHITE LINE
⊕	SOLID YELLOW LINE
⊕	DOUBLE YELLOW LINE
⊕	EVIDENCE FOUND
⊕	UNKNOWN TERMINUS
⊕	BENCHMARK
⊕	DEED
⊕	FILED MAP

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THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

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NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION SEAL

**JAMES D. SENS**  
NEW JERSEY PROFESSIONAL LAND SURVEYOR #242660  
NEW JERSEY CERTIFICATE OF AUTHORIZATION #242660

FIELD DATE	12-19-2024	<b>ALTA/NSPS LAND TITLE SURVEY</b> <b>BLOCK 2404, LOT 3 &amp; BLOCK 2403, LOT 17.01</b> 6 SOUTH MONROE STREET VILLAGE OF RIDGEWOOD, BERGEN COUNTY STATE OF NEW JERSEY	
FIELD BOOK NO.	24-22		
FIELD BOOK PGS.	70-76		
FIELD CREW	CS		
DRAWN BY	BTW	<b>CONTROL POINT ASSOCIATES, INC.</b> 30 INDEPENDENCE BOULEVARD, SUITE 100 WARREN, NJ 07059 908.668.0099 WWW.CPASURVEY.COM	
REVIEWED BY	KVG		
APPROVED BY	JDS		
DATE	06-27-2025		
SCALE	1" = 30'	FILE NO.	01-240377-00
SHEET	2	OF	2