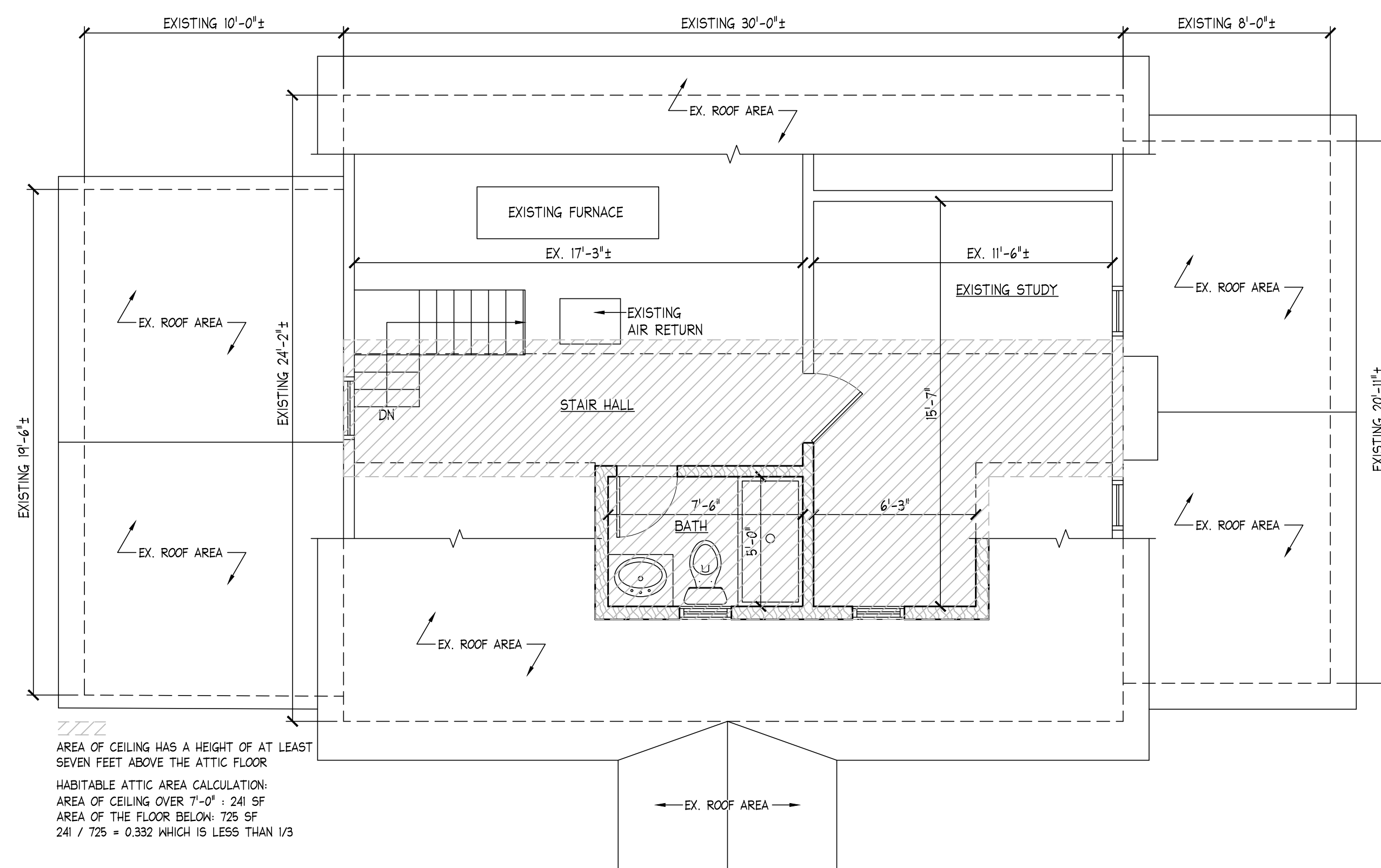


EXISTING ATTIC FLOOR PLAN
1/4"=1'-0"



AREA OF CEILING HAS A HEIGHT OF AT LEAST SEVEN FEET ABOVE THE ATTIC FLOOR
HABITABLE ATTIC AREA CALCULATION:
AREA OF CEILING OVER 7'-0" = 241 SF
AREA OF THE FLOOR BELOW: 725 SF
241 / 725 = 0.332 WHICH IS LESS THAN 1/3

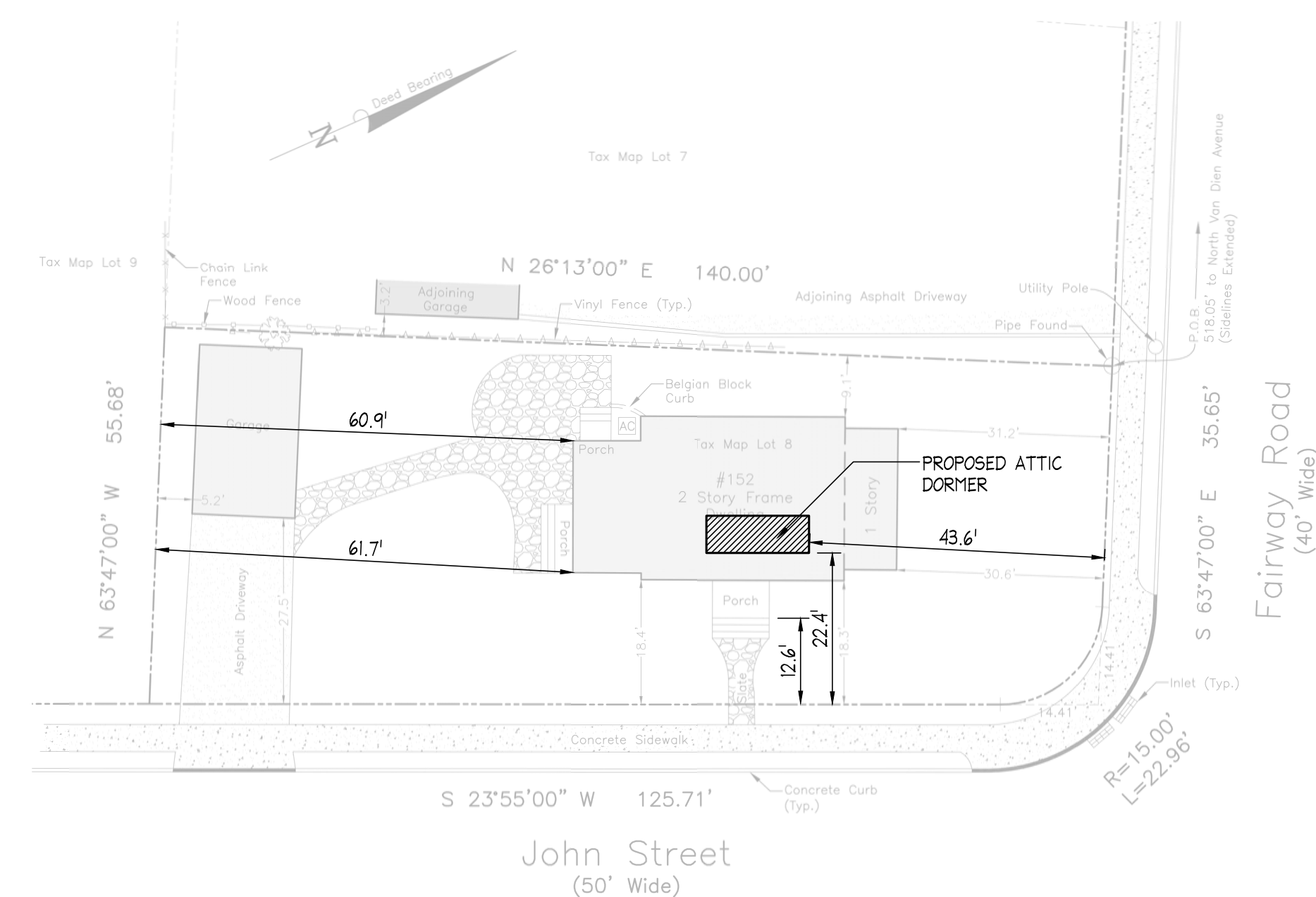
PROPOSED ATTIC FLOOR PLAN
1/4"=1'-0"

ZONING DATA				
ZONE: R-2	ORDINANCE	EXISTING	PROPOSED	VARIANCE
1. MINIMUM LOT AREA	10,500 SF	7,358 SF	NO CHANGE	NO
2. MINIMUM LOT WIDTH AT FRONT YARD SETBACK LINE	75 FT	140 FT	NO CHANGE	NO
3. MINIMUM LOT DEPTH	120 FT	53 FT	NO CHANGE	NO
4. MIN. FRONT YARD BLDG. SETBACK *	40 / 45 FT	22.4 / 43.6 **FT	NO CHANGE	YES
5. MIN. SIDE YARD BLDG. SETBACK	10 FT	60.9 FT	NO CHANGE	NO
6. MIN. REAR YARD BLDG. SETBACK	30 FT	9.1 FT	NO CHANGE	YES
7. MAXIMUM BUILDING HEIGHT (2-1/2 STORIES)	30 FT	27.3 FT	NO CHANGE	NO
8. MAXIMUM COVERAGE BY ABOVE-GRADE STRUCTURE	20% / 1,472 SF	20.6% / 1,513 SF	NO CHANGE	NO
9. MAXIMUM IMPERVIOUS COVERAGE	3,311 SF	2,610 SF	NO CHANGE	NO
10. MAX. GROSS BLDG. AREA (PRINCIPAL BLDG/SINGLE-FAMILY)	2,575 SF	2,163 SF	2,246 SF	NO

EXISTING PRINCIPAL BUILDING FLOOR AREA
FIRST FLOOR - 1,086 SF
SECOND FLOOR - 919 SF
ATTIC FLOOR - 158 SF
TOTAL - 2,163 SF

PROPOSED PRINCIPAL BUILDING FLOOR AREA
FIRST FLOOR - 1,086 SF
SECOND FLOOR - 919 SF
ATTIC FLOOR - 241 SF
TOTAL - 2,246 SF

* JOHN STREET - 40 FT REQUIRED
FAIRWAY ROAD - 45 FT REQUIRED
** FRONT YARD SETBACK TO PROPOSED DORMER
FRONT YARD SETBACK TO EXISTING HOUSE IS 12.6 FT AT JOHN ST
AND 30.6 FT AT FAIRWAY ROAD



PROPOSED ARCHITECTURAL SITE PLAN
1"=20'-0"

SITE INFORMATION TAKEN FROM SURVEY
DATED 05/09/22
PREPARED BY ANDREW A. SCHMIDT
P.L.S. - Lic# 24GS04330100

PO YI WU
656 MARTENSE AVENUE
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NJ #18691

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ISSUE	DATE
ZONING REVIEW	04.22.25
ZONING REVIEW REV1	09.29.25

REVISIONS	DESCRIPTION	DATE
1		
2		
3		
4		

PROJECT:
ADD AN ATTIC DORMER
FOR
SINGLE FAMILY RESIDENCE
152 JOHN STREET
RIDGEWOOD, NJ 07450

BLOCK: 3406 LOT: 8

DRAWING TITLE:
ARCHITECTURAL SITE PLAN /
EXISTING & PROPOSED ATTIC
PLANS

SEAL & SIGNATURE	DRAWN BY: PW
	CHECKED BY: PW
	DRAWING NUMBER: V-1
	PAGE NUMBER: 1
	SCALE:



EXISTING LEFT SIDE ELEVATION
1/4"=1'-0"



EXISTING FRONT ELEVATION
1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
1/4"=1'-0"



PROPOSED FRONT ELEVATION
1/4"=1'-0"

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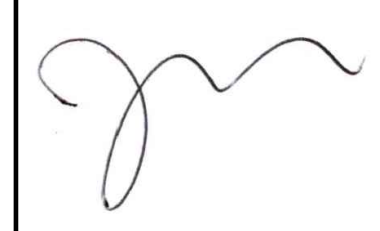
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FOR
SINGLE FAMILY RESIDENCE
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BLOCK: 3406 LOT: 8

DRAWING TITLE:
EXISTING & PROPOSED
BUILDING ELEVATIONS

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	CHECKED BY:	PW
	DRAWING NUMBER:	V-2
	PAGE NUMBER:	2
	SCALE:	