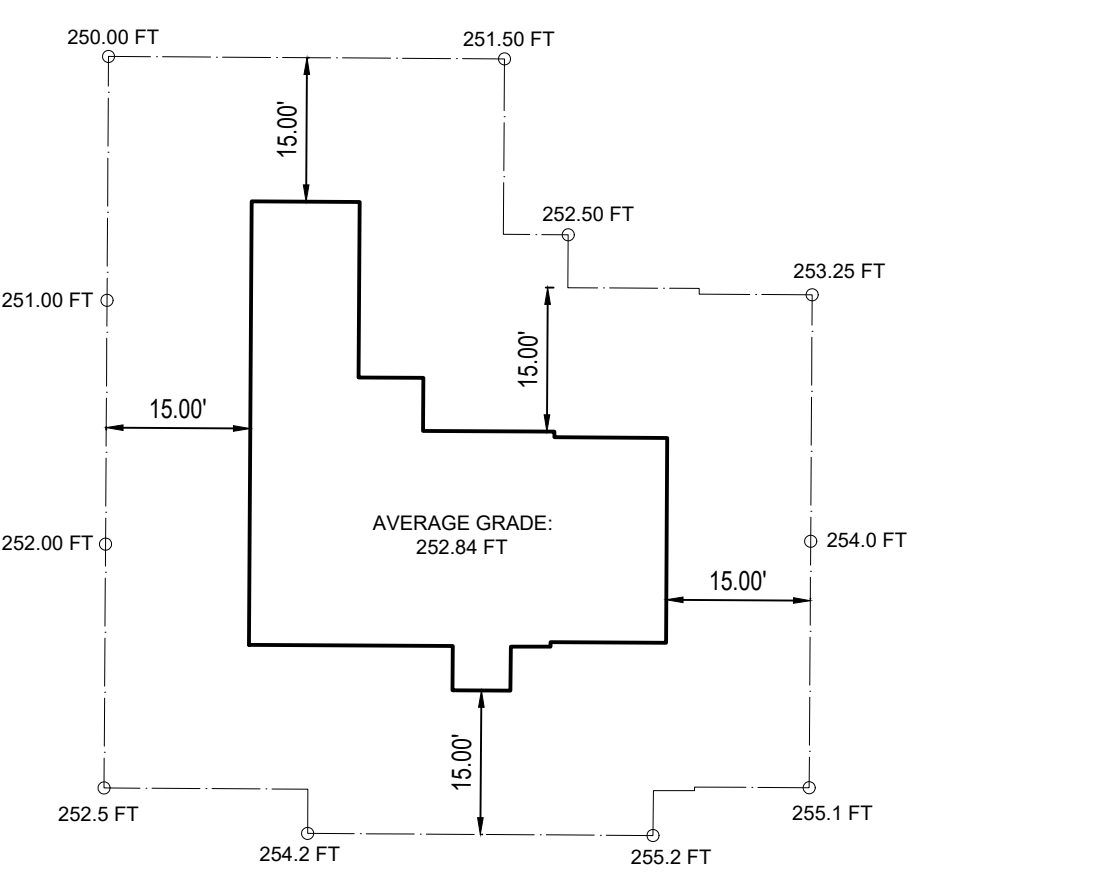


HILLCREST ROAD
(50'-0" R.O.W.)

ZONING DATA: THE KILLIAN RESIDENCE			
Address: 757 Hillcrest Road, Ridgewood, New Jersey 07450			
Zone:	R-1	Block:	1404
Use Group:	R-5	Lot:	21
		Construction Type:	5B
ITEM	REQUIRED/PERMITTED	EXISTING	PROPOSED
Lot Dimensions & Restrictions:			
Minimum Total Lot Area	14,000 SF	12,023 SF	(no change)
Minimum Total Lot Area (Within First 140')	14,000 SF	11,200 SF	(no change)
Street Width	-	50.0 Feet	(no change)
Minimum Lot Width	100.0 Feet At Front Setback 80.0 Feet At Any Other Point Within 140'	80.0 Feet 80.0 Feet	(no change) (no change)
Minimum Average Lot Width	100.0 Feet	80.0 Feet	(no change)
Minimum Lot Depth	120.0 Feet	150.0 Feet	(no change)
Principal Building Setbacks & Restrictions:			
Maximum Building Height (Average Grade to Highest Point)***	30.0 Feet** - 2 1/2 Stories	32.41 Feet	(no change) 31.25 Feet to Addition (To Align with Existing)
Minimum Front Yard Set Back	40.0 Feet** or Prevailing Setback 35.0 Feet to Enclosed Front Porch (5.0 Feet Allowable Encroachment)	45.3 Feet to House N/A	49.85 Feet to House 43.3 Feet to Porch
Minimum Side Yard Set Back	2/3 Ht of Princ Bldg or 15 Feet (32.41' * 2/3 = 21.61 Feet) (whichever is greater)	14.0 Feet (Left-Side)	14.1 Feet to House Addition (To Align with Existing) 13.88 Feet to Porch Addition (To Align with Existing)
		N/A	(no change)
		22.64 Feet (Right-Side)	7.75 Feet to Cellar Door
	10.0 Feet to Cellar Door**** 10.0 Feet to Generator**** 10.0 Feet to A/C Units****	N/A N/A 10.52 Feet to A/C Units	9.0 Feet to Generator 9.0 Feet to A/C Units
Minimum Both Side Yard Setbacks (Sum)	33% of Lot Width @ Front Setback (33% of 80.0 Feet = 26.4 Feet)	14.0' + 22.64' = 36.64 Feet	13.88' + 22.64' = 36.52 Feet
Minimum Rear Yard Set Back	30.0 Feet	53.96 Feet	(no change) (Addition to Align)
The height of principal buildings shall be permitted to be greater than 30 feet, but not more than 35 feet, when all of the following requirements are met: (a) The lot in question has a width, as defined in § 190-3, of at least 75 feet. (b) The height of the building does not exceed 150% of the shallowest side yard depth; and (c) The pitch of any roof greater than 30 feet high is at least 8:12 (eight inches vertical for every 12 inches horizontal). *The "average finished ground level" shall be calculated using an average of a representative sample of the various finished ground levels located within the following distances from the base of the building or roofed structure, provided that only ground levels located on the subject property shall be used in the calculation: Principal buildings or roofed structures: 15 feet Accessory buildings or roofed structures: 6 feet. ****As per notes from Zoning Official - Not depicted in Zoning Ordinance			
Accessory Building Setbacks & Restrictions:			
Maximum Building Height	15.0 Feet (18.0 Feet if Categories Met)	N/A	(no change)
Distance to Principal Building	12.0 Feet	39.10 Feet	34.35 Feet
Side / Rear Yard Setback	10.0 Feet / 10.0 Feet	5.81 Feet / 4.85 Feet	(no change)
Driveway Setbacks & Restrictions:			
Maximum Width	1/5 of Width of Lot = 16.0 Feet (1/5 of 80.0 Feet = 16 Feet) (no greater than 25 Feet)	20.22 Feet	(no change)
Minimum Width	10.0 Feet	8.39 Feet	10.0 Feet
Gross Building Area (GBA) Restrictions:			
Maximum Gross Building Area of Principal Building (Within 140 Feet)	32% of Lot Area Within 140 Ft or 4,060 SF (32.0% of 11,200.0 SF = 3,584.0 SF) (whichever is lesser)	19.72% (2,209.0 SF)	26.07% (2,920.0 SF)
Maximum Gross Building Area of Principal Building (Total Property)	32% of Land Area of the Lot or 4,060 SF (32.0% of 12,023.0 SF = 3,847.36 SF) (whichever is lesser)	18.37% (2,209.0 SF)	24.29% (2,920.0 SF)
Maximum Gross Building Area of Accessory Structures (Within 140 Feet)	6.5% of Lot Area Within 140 Ft or 840 SF (6.5% of 11,200.0 SF = 728.0 SF) (whichever is lesser)	3.28% (367.0 SF)	(no change) (367.0 SF)
Maximum Gross Building Area of Accessory Structures (Total Property)	6.5% of Land Area of the Lot or 840 SF (6.5% of 12,023.0 SF = 781.50 SF) (whichever is lesser)	3.76% (452.0 SF)	(no change) (452.0 SF)
Coverage by Above-Grade Structures Restrictions:			
Maximum Coverage by Above-Grade Structures (Within 140 Feet)	20% of Lot Area Within 140 Feet (20% of 11,200.0 SF = 2,240.0 SF)	14.35% (1,607.0 SF)	18.62% (2,085.0 SF)
Maximum Coverage by Above-Grade Structures (Total Property)	20% of Land Area of the Lot (20% of 12,023.0 SF = 2,404.6 SF)	14.07% (1,692.0 SF)	18.05% (2,170.0 SF)
Coverage by Improvement Restrictions:			
Maximum Coverage By Improvements (Within 140 Feet)	45% of Lot Area Within 140 Ft or 5,040 SF (45% of 11,200.0 SF = 5,040.0 SF) (whichever is lesser)	36.95% (4,138.0 SF)	40.94% (4,585.0 SF)
Maximum Coverage By Improvements (Total Property)	45% of Total Lot Area or 5,410.35 SF (45% of 12,023.0 SF = 5,410.35 SF) (whichever is lesser)	35.12% (4,223.0 SF)	38.84% (4,670.0 SF)

PLOT PLAN Scale: 1" = 20'-0"

Information for this Plot Plan has been taken from survey provided by Client
 Prepared by: Morgan Engineering & Surveying
 Surveyor: David J. Von Steenburg
 NJ License No: 34500 Dated: June 6th 2025



AVERAGE GRADE DIAGRAM

(V) Variance Required			
REQUIRED/PERMITTED	PROPOSED	DIFFERENCE	VARIANCE
MAXIMUM BUILDING HEIGHT - VARIANCE INFORMATION			
30.0 Feet	31.25 Feet (1.16 Feet Below Highest Ridge)	1.25 Feet	\$190-102-E (1)

(V) Variance Required			
REQUIRED/PERMITTED	PROPOSED	DIFFERENCE	VARIANCE
MINIMUM SIDE YARD SETBACK (LEFT-SIDE) - VARIANCE INFORMATION			
21.61 Feet to Principal Building (2/3 of Principal Building Height)	14.1 Feet to House Addition (To Align with Existing)	7.51 Feet	\$190-102-E (3)
	13.88 Feet to Porch Addition (To Align with Existing)	7.73 Feet	\$190-102-E (3)
10.0 Feet to Cellar Door****	7.75 Feet to Cellar Door	2.25 Feet****	\$190-102-E (3)
10.0 Feet to Generator****	9.0 Feet to Generator	1.0 Feet****	\$190-102-E (3)
10.0 Feet to A/C Units****	9.0 Feet to A/C Units	1.0 Feet****	\$190-102-E (3)

ADDITION ONLY	AREA (SF)	VOLUME (CU FT)
First Floor	222.00	1,968.00
Second Floor	434.00	3,472.00
TOTAL	656.00	5,440.00

Gross Building Area (GBA) for the Village of Ridgewood, New Jersey

Gross Building Area: The sum of the horizontal area or areas of each story or half story of all principal and accessory buildings on a site, measured from the exterior face of the exterior walls of such buildings. Gross building area shall not include basements, areas not enclosed by walls, screening, windows, etc., and areas having a vertical dimension of less than seven feet between the floor (or if there is no floor, then the joists) and the bottom of the roof structure.

Maximum Gross Building Area of Principal Building (Within First 140'): 32% = 3,584 SF

GROSS BUILDING AREA (GBA) [First 140 Feet]	EXISTING	PROPOSED
Square Footage of Lot Within First 140'	11,200.00 SF	11,200.00 SF
Gross Floor Areas Within First 140':		
Square Footage of First Floor	1,227.00 SF	1,449.00 SF
Square Footage of Second Floor	772.00 SF	1,206.00 SF
Square Footage of Habitable Attic Floor (7'-0" +)	210.00 SF	265.00 SF
Total Gross Building Area Within First 140':	2,209.00 SF	2,920.00 SF
Ratio of Floor Area to Lot (Within 140'):	19.72%	26.07%

Maximum Gross Building Area of Principal Building (Total Lot): 32% = 3,847.36 SF

GROSS BUILDING AREA (GBA) [Total Property]	EXISTING	PROPOSED
Square Footage of Total Lot Area	12,023.00 SF	12,023.00 SF
Total Gross Building Areas Within First 140':	2,209.00 SF	2,920.00 SF
Additional Structures Outside of First 140':	0.00 SF	0.00 SF
Total Gross Building Area:	2,209.00 SF	2,920.00 SF
Ratio of Floor Area to Lot (Total Lot):	18.37%	24.29%

Maximum Gross Building Area of Accessory Structures (Within First 140'): 6.5% = 728 SF

GROSS BUILDING AREA (GBA) [Accessory Structures]	EXISTING	PROPOSED
Square Footage of Lot Within First 140'	11,200.00 SF	11,200.00 SF
Accessory Structures Within First 140':		
Square Footage of Detached Garage (Within First 140')	367.00 SF	367.00 SF
Total GBA of Accessory Structures (Within First 140'):	367.00 SF	367.00 SF
Ratio of Accessory Structure Floor Area to Lot	3.28%	3.28%

Maximum Gross Building Area of Accessory Structures (Total Lot): 6.5% = 781.50 SF

GROSS BUILDING AREA (GBA) [Accessory Structures]	EXISTING	PROPOSED
Square Footage of Total Lot Area	12,023.00 SF	12,023.00 SF
Total GBA of Accessory Structures (Within First 140'):	367.00 SF	367.00 SF
Accessory Structures Outside of First 140':	85.00 SF	85.00 SF
Total GBA of Accessory Structures:	452.00 SF	452.00 SF
Ratio of Accessory Structure Floor Area to Lot	3.76%	3.76%

Structure Coverage Calculations for the Borough of Ridgewood, NJ

Coverage by Above-Grade Structures: The combined area of all buildings and other above-grade structures on a lot, including but not limited to porches, decks, balconies and cantilevered parts of the building at any level, but excluding, however, cornices, eaves and other structures which are specifically excluded by the ordinance of Ridgewood, NJ.

Maximum Coverage by Above-Grade Structures (Within First 140'): 20% = 2240 SF

COVERAGE BY ABOVE-GRADE STRUCTURES	EXISTING	PROPOSED
Square Footage of Lot Within First 140'	11,200.00 SF	11,200.00 SF
Above-Grade Structures (Within 140'):		
Square Footage of House	1,227.00 SF	1,449.00 SF
Square Footage of Front Open Porch	0.00 SF	203.00 SF
Square Footage of Rear Deck & Steps	0.00 SF	42.00 SF
Square Footage of Rear Mudroom Landing & Steps	0.00 SF	24.00 SF
Square Footage of Rear Steps	13.00 SF	0.00 SF
Square Footage of Detached Garage (Within First 140')	367.00 SF	367.00 SF
Total Area of Above-Grade Structures (Within 140')	1,607.00 SF	2,085.00 SF
Ratio of Structures to Lot (Within 140'):	14.35%	18.62%

Maximum Coverage by Above-Grade Structures (Total Lot): 20% = 2404.6 SF

COVERAGE BY ABOVE-GRADE STRUCTURES	EXISTING	PROPOSED
Square Footage of Total Lot Area	12,023.00 SF	12,023.00 SF
Area of Above-Grade Structures (Within 140')	1,607.00 SF	2,085.00 SF
Above-Grade Structures (Beyond First 140'):		
Square Footage of Detached Garage (Beyond First 140')	85.00 SF	85.00 SF
Total Area of Above-Grade Structures	1,692.00 SF	2,170.00 SF
Ratio of Structures to Lot (Total Lot):	14.07%	18.05%

Coverage by Improvements Calculations for the Borough of Ridgewood, NJ

Coverage by Improvements (Improvement Coverage): The coverage by buildings and other above-grade structures on a lot as defined by this chapter, plus the coverage of any other structures, including but not limited to driveways, sidewalks, patios, decks, swimming pools, tennis courts, parking areas and other paved areas, whether constructed of asphalt, concrete, brick, stone, gravel or other paving materials, but excluding structures, or portions of structures, that are located below the surface of the ground and which are not visible from above the surface of the ground.

Maximum Improvement Coverage (Within First 140'): 45% = 5,040.0 SF

COVERAGE BY IMPROVEMENTS	EXISTING	PROPOSED
Square Footage of Lot Within First 140'	11,200.00 SF	11,200.00 SF
Total Area of Above-Grade Structures (Within 140')	1,607.00 SF	2,085.00 SF
Area of Impervious Surfaces (Within First 140'):		
Square Footage of Driveway	1,568.00 SF	1,652.00 SF
Square Footage of Front Walkway	0.00 SF	125.00 SF
Square Footage of Cellar Door	0.00 SF	34.00 SF
Square Footage of Generator	0.00 SF	16.00 SF
Square Footage of A/C Units	12.00 SF	27.00 SF
Square Footage of Left-Side Walkway	93.00 SF	0.00 SF
Square Footage of Rear Walkway	29.00 SF	0.00 SF
Square Footage of Rear Patio	798.00 SF	616.00 SF
Square Footage of Rear Concrete Wall	28.00 SF	28.00 SF
Square Footage of Step Near Garage	3.00 SF	3.00 SF
Total Area of Improvements Within First 140':	4,138.00 SF	4,585.00 SF
Ratio of Impervious Surfaces to Lot (Within 140'):	36.95%	40.94%

Maximum Improvement Coverage (Total Lot): 45% = 5,410.35 SF

COVERAGE BY IMPROVEMENTS	EXISTING	PROPOSED
Square Footage of Total Lot Area	12,023.00 SF	12,023.00 SF
Total Area of Improvements Within First 140':	4,138.00 SF	4,585.00 SF
Area of Above-Grade Structures (Beyond First 140'):		
Square Footage of Detached Garage (Beyond First 140')	85.00 SF	85.00 SF
Area of Impervious Surfaces (Beyond First 140'):		
	0.00 SF	0.00 SF
Total Area of Improvements of Total Lot	4,223.00 SF	4,670.00 SF
Ratio of Impervious Surfaces to Lot (Total Lot):	35.12%	38.84%

REV	DATE	COMMENT

Paredes - Grube Architecture

240 Rock Road, Suite 101, 2nd Floor
 Glen Rock, New Jersey 07452
 (201) 444-6003



Xiomara C. Paredes, AIA NJRA/AI 12305 NYRA 022493

PROJECT:
 ADDITION & RENOVATION FOR:
 THE KILLIAN RESIDENCE
 757 HILLCREST ROAD
 RIDGEWOOD, NEW JERSEY 07450

DRAWING TITLE:
 PLOT PLAN AND ZONING ANALYSIS

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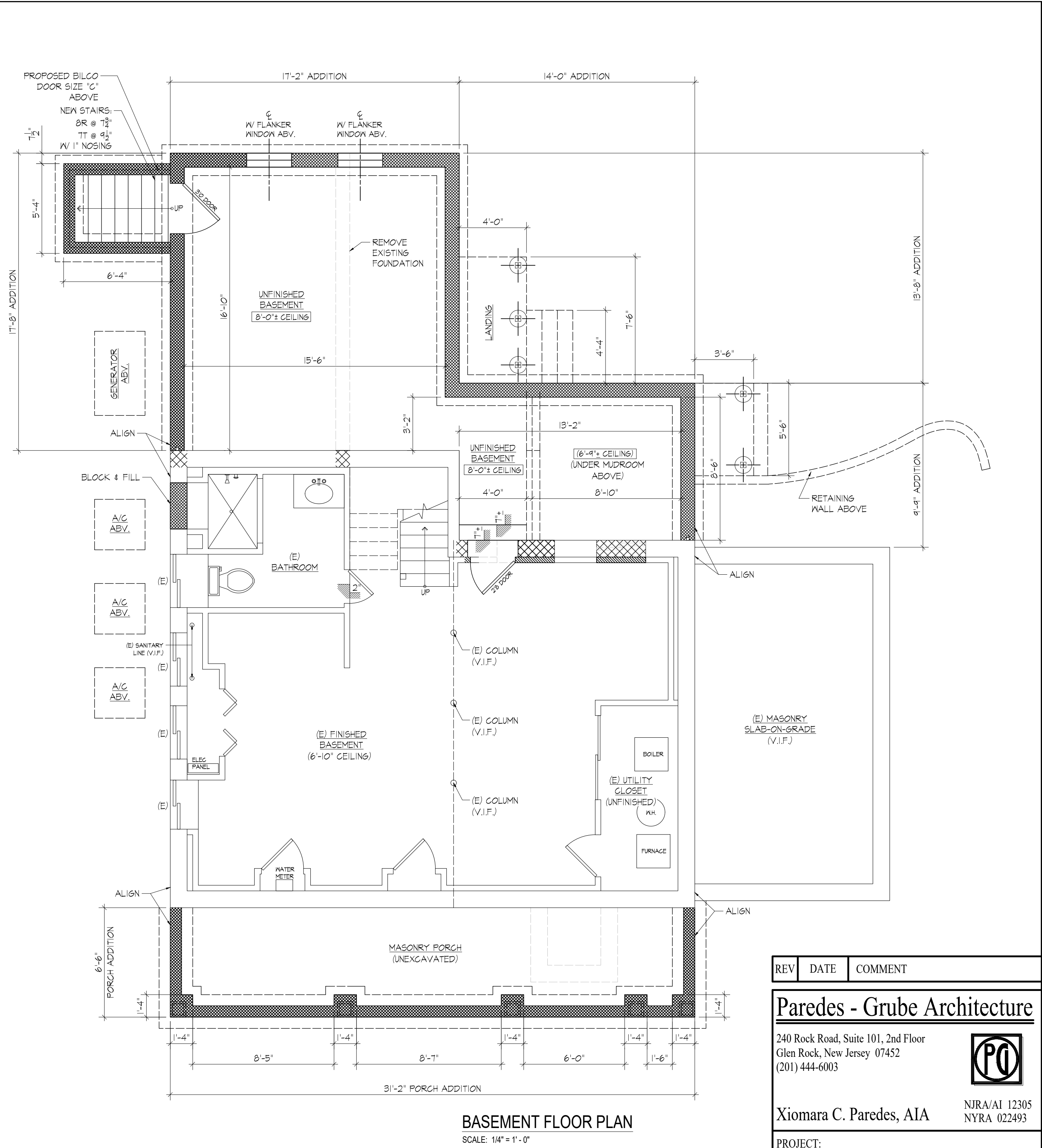
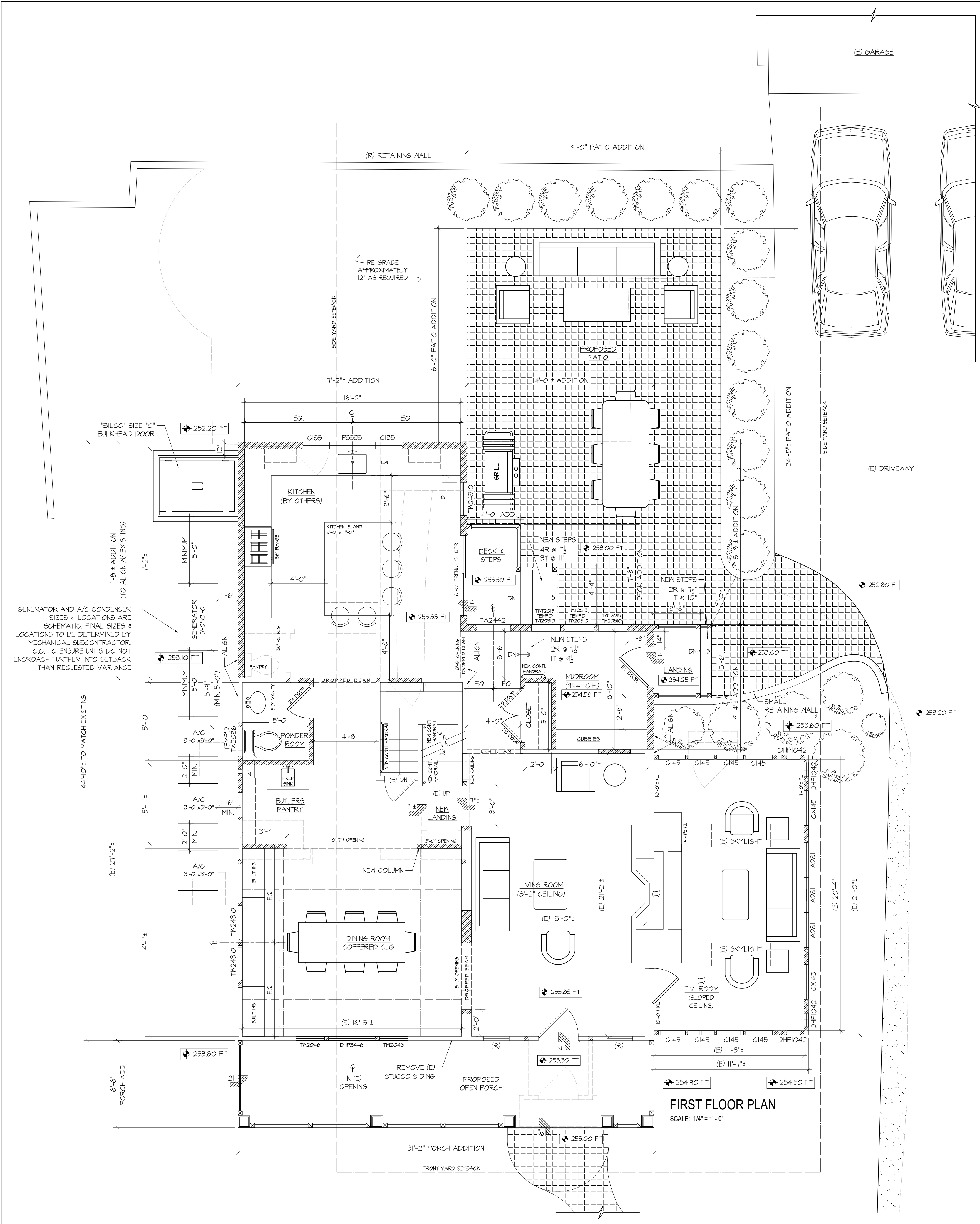
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DATE: 10 OCT. 2025

JOB NUMBER: 2524 SHEET 1 OF 5

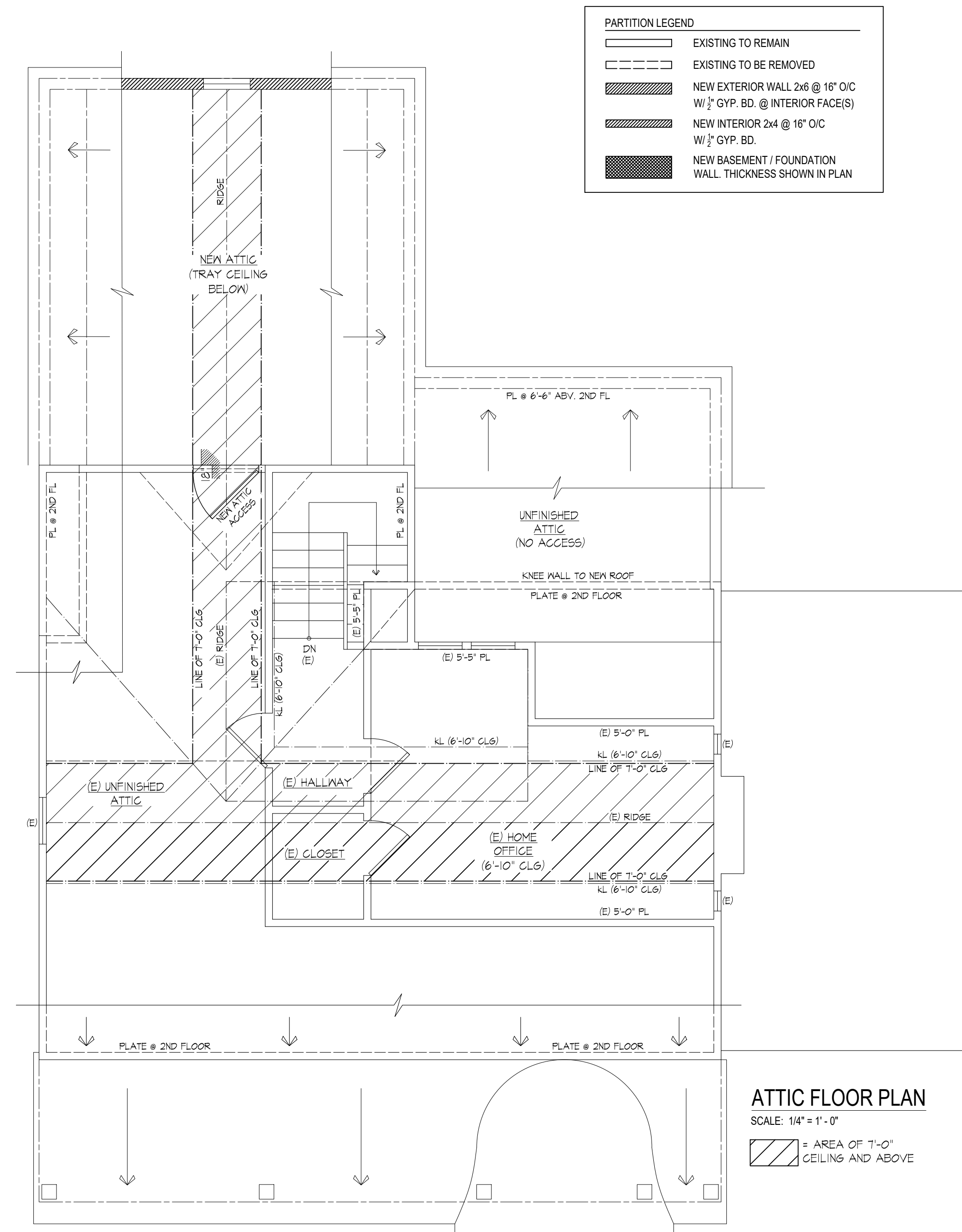
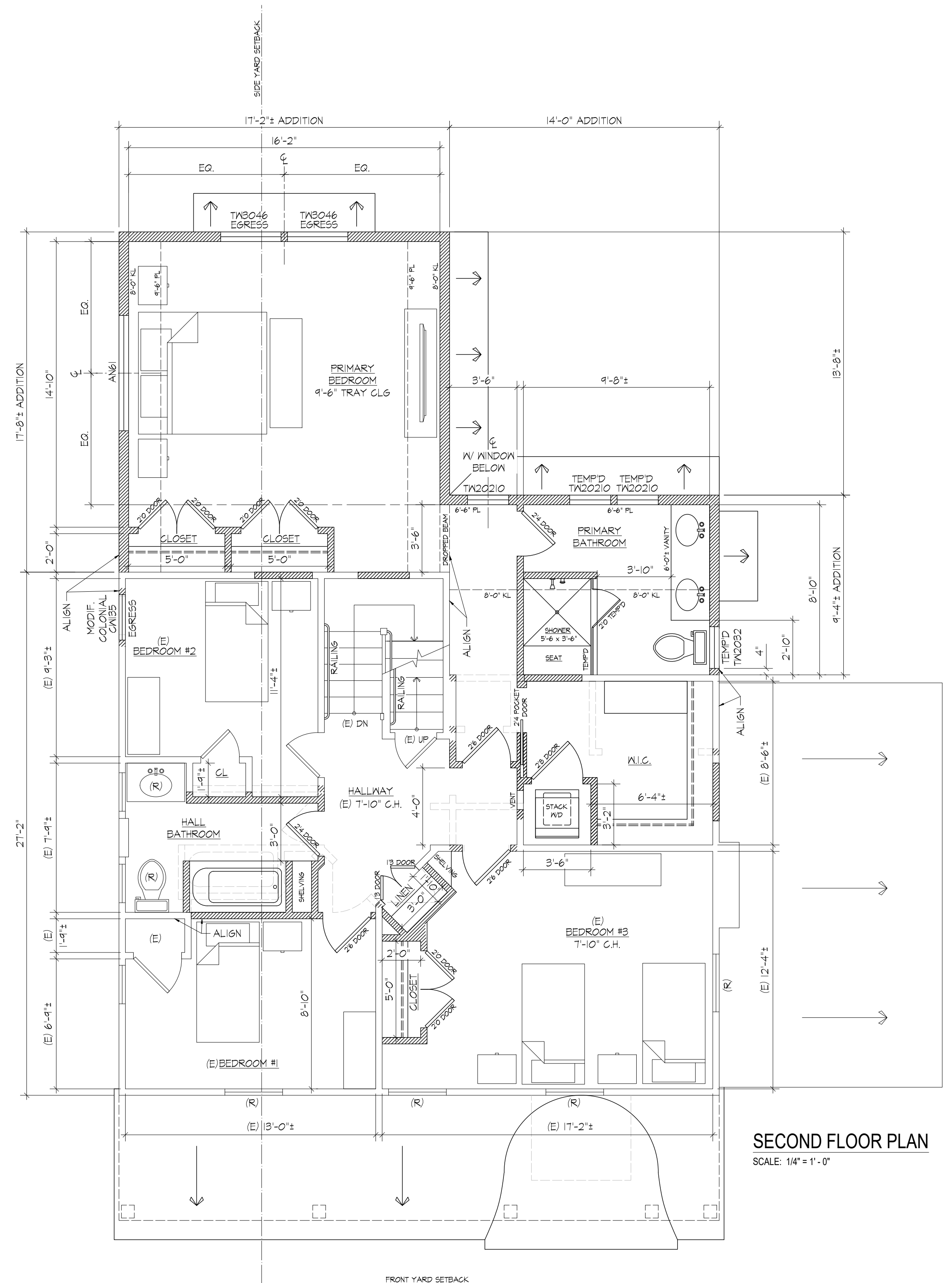
VAR-1



PARTITION LEGEND

[Solid line]	EXISTING TO REMAIN
[Dashed line]	EXISTING TO BE REMOVED
[Hatched pattern]	NEW EXTERIOR WALL 2x6 @ 16" O/C W/ 1/2" GYP. BD. @ INTERIOR FACE(S)
[Dotted pattern]	NEW INTERIOR 2x4 @ 16" O/C W/ 1/2" GYP. BD.
[Thick solid line]	NEW BASEMENT / FOUNDATION WALL THICKNESS SHOWN IN PLAN

REV	DATE	COMMENT
Paredes - Grube Architecture 240 Rock Road, Suite 101, 2nd Floor Glen Rock, New Jersey 07452 (201) 444-6003		
Xiomara C. Paredes, AIA		NJRA/AI 12305 NYRA 022493
PROJECT: ADDITION & RENOVATION FOR: THE KILLIAN RESIDENCE 757 HILLCREST ROAD RIDGEWOOD, NEW JERSEY 07450		
DRAWING TITLE: FIRST FLOOR PLAN AND BASEMENT PLAN		
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SCALE: AS NOTED		VAR-2 SHEET 2 OF 5
DATE: 10 OCT. 2025		
JOB NUMBER: 2524		



REV	DATE	COMMENT
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Glen Rock, New Jersey 07452
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Xiomara C. Paredes, AIA

NJRA/AI 12305
NYRA 022493

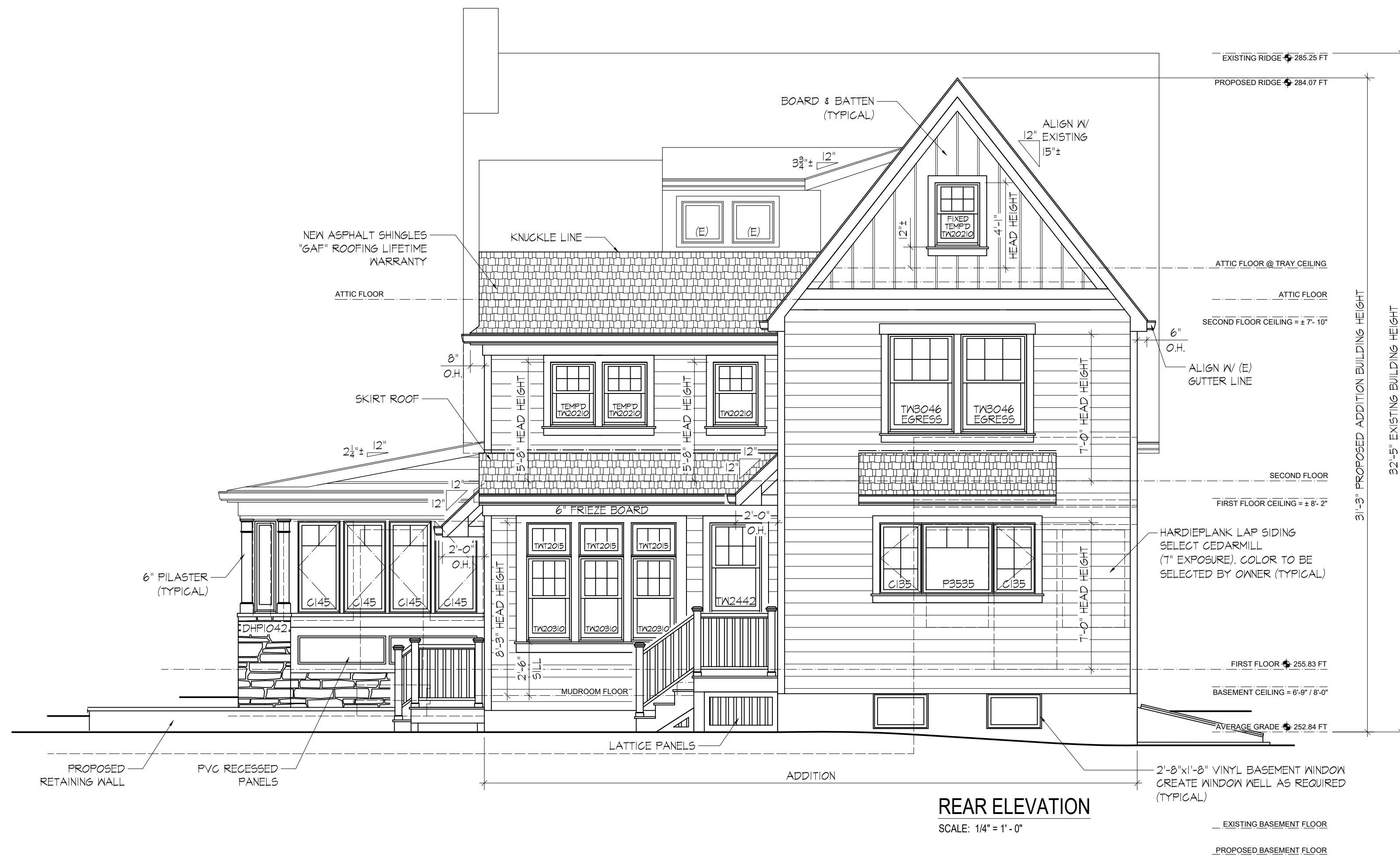
PROJECT:
ADDITION & RENOVATION FOR:
THE KILLIAN RESIDENCE
757 HILLCREST ROAD
RIDGWOOD, NEW JERSEY 07450

DRAWING TITLE:
SECOND FLOOR PLAN & ATTIC FLOOR PLAN

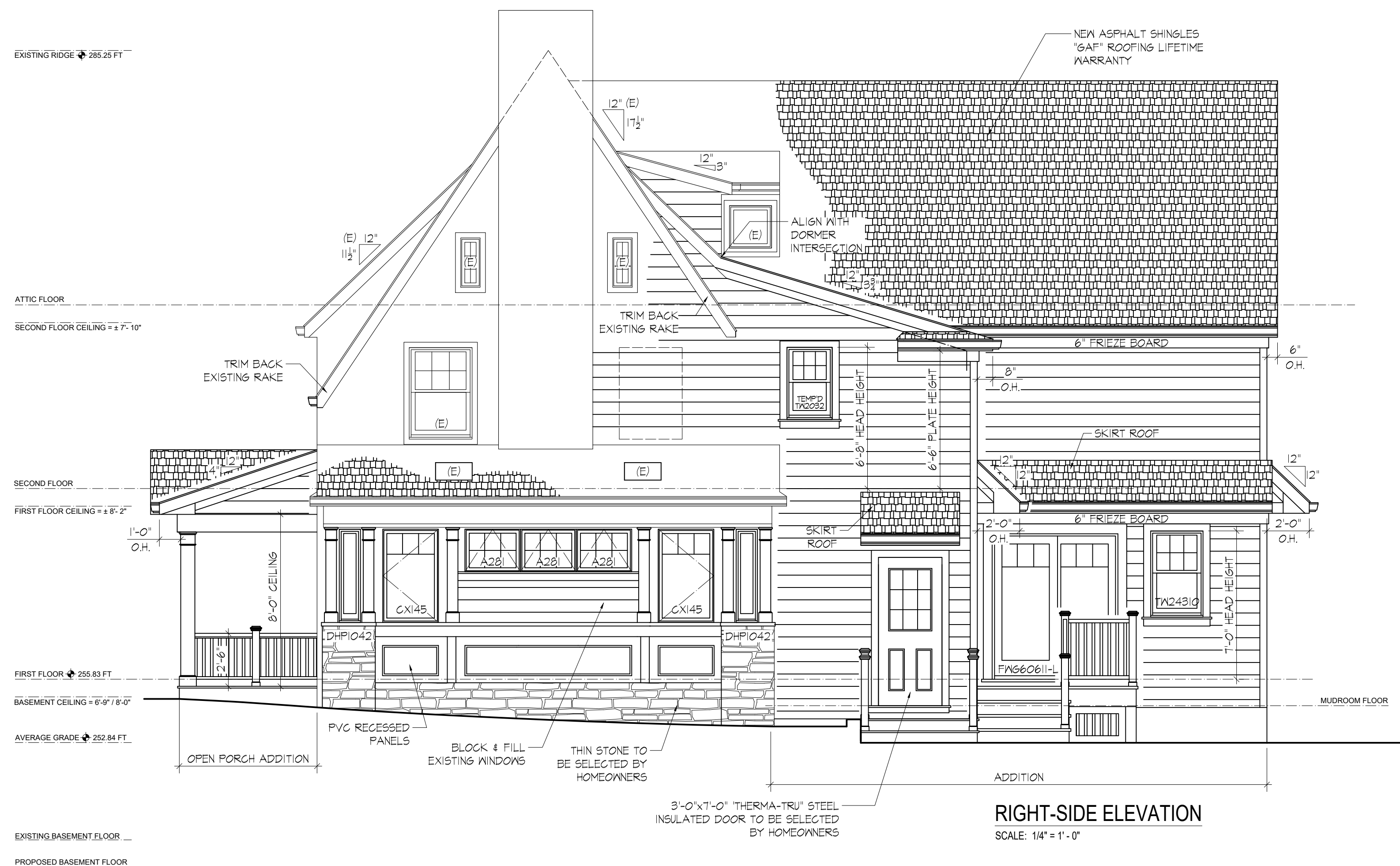
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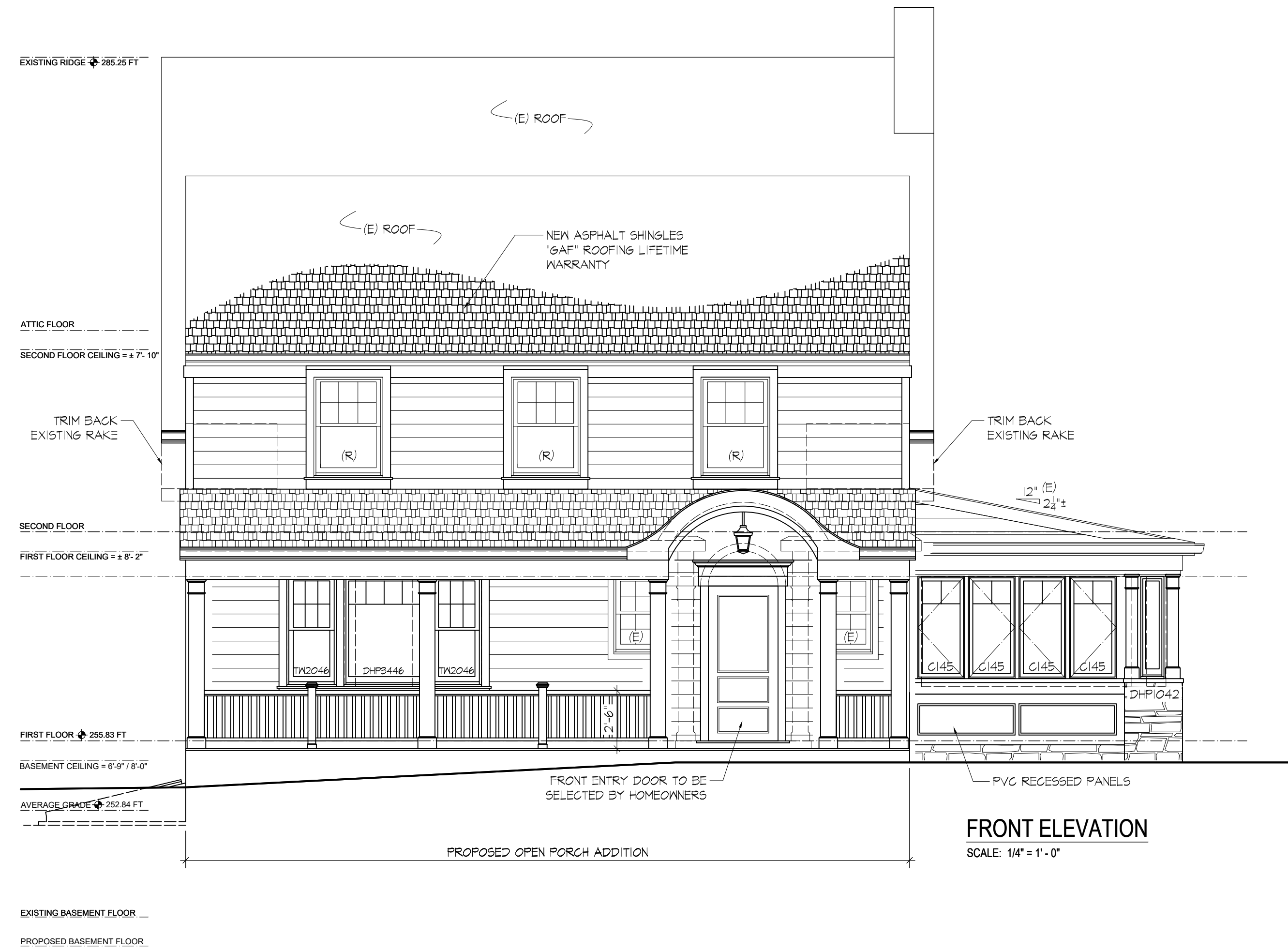
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DATE: 10 OCT. 2025	
JOB NUMBER: 2524	SHEET 3 OF 5



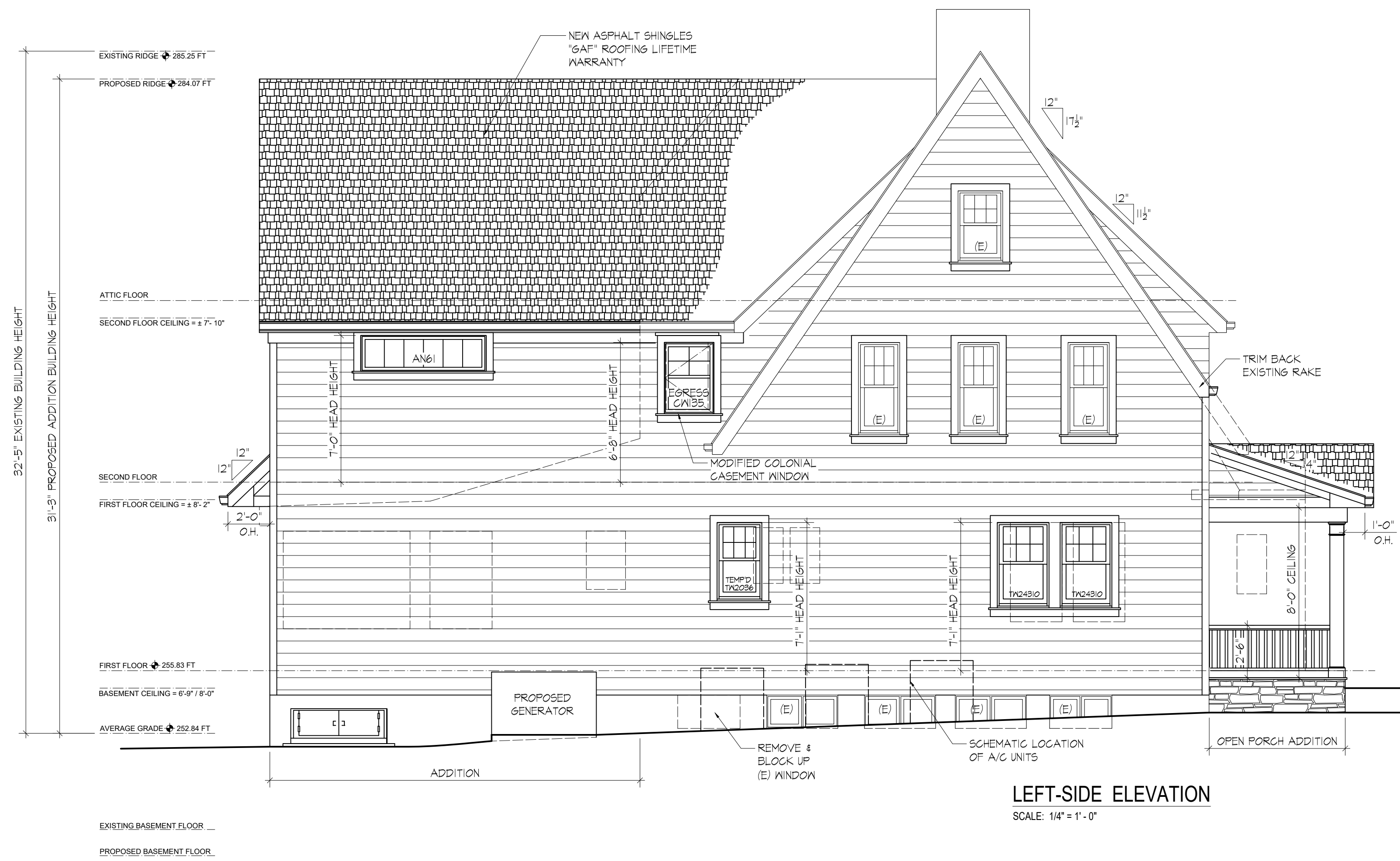
EXTERIOR RENDERING



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Xiomara C. Paredes, AIA		
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DATE: 10 OCT. 2025		
JOB NUMBER: 2524		SHEET 4 OF 5



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT-SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BASIC 3-D MODEL

REV	DATE	COMMENT
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PROJECT: ADDITION & RENOVATION FOR: THE KILLIAN RESIDENCE 757 HILLCREST ROAD RIDGEWOOD, NEW JERSEY 07450		
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DATE: 10 OCT. 2025		
JOB NUMBER: 2524	SHEET 5 OF 5	